

Redland City Council -Request

| | | | |
|------------------------|--|------------------------|----------------|
| Request Number: | CREH514357 | Priority: | 002 |
| Date Received: | 24/01/2019 08:56:36 am | Resp Workgroup: | COM05 |
| Source: | 00 | Raised By: | Katherine Shaw |
| Status: | Current | User ID: | Ellen Hill |
| Group: | Health and Environmental Issues -Customer Requests | | |
| Category: | Nuisances | | |
| Sub Categories: | Commercial Nuisance | | |
| Related AR: | | | |

| | | | |
|------------------------------|---------------------------------------|---------------------|--------|
| Property Number: | 33574 | Land Number: | 115261 |
| Property Address: | 35-39 Gordon Street Ormiston QLD 4160 | | |
| Property Description: | Lot 101 C627 | | |
| Caller Name: | | | |
| Caller Address: | | | |
| Home Phone: | | | |
| Work Phone: | | | |
| Email: | | Mobile: | |
| | | Fax: | |
| | | Callback: | False |

Request Details:

Noise Diary Returned - Refer to Objective ID: A3576211.

CREH514288 - Commercial Nuisance AC runs from 5.30 till after 7 in the evening have approached centre in person also sent them a letter with fact sheets and has not had a response. Customer has noise log available has measured noise on ap believes it exceeds DBAI count by at least 20 DBa.

Comments:

Event History:

| Description | Status | Decision | Commenced Finalised | Target Date | Role Name User |
|--|--------|------------|--|------------------------|--|
| Customer Request Lodged | Past | Complete | 24/01/2019 08:56:38 am 24/01/2019 08:56:40 am | | P1.RES.ENVIRONMENTALHEAL |
| Initial Response - 5 Working Days | Past | Assigned | 24/01/2019 08:56:00 am 24/01/2019 09:25:33 am | 01/02/2019 08:56:40 am | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| 24/1 - Left voice mail message on complainants phone requesting a call back to book in monitoring. EH | | | | | |
| -- Issue Advisory Letter | Past | NotReq | 24/01/2019 09:25:00 am 24/01/2019 01:43:20 pm | | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| Initial Action | Past | Furtinvest | 24/01/2019 01:43:00 pm 24/01/2019 01:44:20 pm | 31/01/2019 09:25:33 am | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| 24/1 - EH has booked in time for monitoring for 8.30am on 25/1 with complainant and spoke with Shantelle from the childcare centre who confirmed someone would be able to switch the air con on and off in the morning. EH | | | | | |
| Follow Up Investigation/Action | Past | Breach-YES | 24/01/2019 01:44:21 pm 25/01/2019 10:48:15 am | 08/02/2019 01:44:20 pm | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| 25/1/19 - EH & JS undertook monitoring from [redacted] of complainants house from 8:30am. Noise results & report indicate air con breaches EPAAct by 19dBA for day time criteria. Notice to be prepared. EH | | | | | |

Redland City Council -Request

| Description | Status | Decision | Commenced Finalised | Target Date | Role Name User |
|---|---------|------------|--|------------------------|---|
| Issue Direction Notice | Past | Issue | 25/01/2019 10:48.15 am 25/01/2019 10:48.27 am | | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 25/1 - Waiting for TL approval. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 25/01/2019 10:48.00 am 30/01/2019 08:30.23 am | 11/02/2019 10:48.15 am | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 30/1/19 - EH spoke with Jeff (owner of Jungle Cubs) to explain Direction Notice. He advised he had not received the email as they are having issues with their email provider. EH explained that the conclusions of the monitoring results was that the Centre's air con was breaching allowable limit by 19dB and that from 5pm 31/1/19 onwards if Council was to receive a call that the air con is still being used and again detected a breach that penalties can apply. Jeff voiced his disagreement with this saying that he had an engineer at the Centre for other matters last week and he mentioned that as the air con was existing when the units were built that Council & the developer should take some responsibility as conditions on the DA for the units should reflect the existence of child care centre and noise associated. Jeff also believes that the 31st deadline is too restrictive & that Council should consider the fact that there are small children that will be affected. EH explained that this... | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 30/01/2019 08:30.23 am 30/01/2019 08:32.10 am | 13/02/2019 08:30.23 am | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| ...was taken into consideration & standard procedure is for Direction Notices to come into affect immediately after a breach has been detected , EH advised Jeff to put his concerns in an email to me for further discussion with TL . EH received email from Jeff at approx 4pm on 29/1. EH forwarded this email to TL on 30/1 at 7am. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 30/01/2019 08:32.10 am 31/01/2019 12:51.46 pm | 13/02/2019 08:32.10 am | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 31/1/19 - EH spoke with Jeff at 11am & explained she was still waiting on a decision from management in relation to his request. Jeff wanted to know what the measured background level was at the time of monitoring. EH provided him wit this information. Jeff also stated he has sought legal advice about the matter and wanted to know who would have been responsible for doing the original acoustic report for the Units adjacent. EH explained Council does not do the reports and it is up to the applicant to engage an acoustic consultant to provide Council with a report and Council then conditions this report for DA approval. Jeff wanted to know the RTI process for obtaining this report as he stated he believes someone must be held accountable for falsifying information to Council. EH emailed link to RCC RTI website (email in Objective). Jeff also stated that he phoned some time ago after receiving the initial advisory letter and spoke with another Officer and explained his situation and ... | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 31/01/2019 12:51.47 pm 31/01/2019 12:53.06 pm | 14/02/2019 12:51.46 pm | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| ...was told he would be given time to rectify the air conditioner if a breach was detected and therefore believes the timeframe on the Direction Notice does not reflect this advice. Jeff also stated that he may be talking to a Councillor about his concerns . EH stated she would be in touch when she has a decision from management about his request. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 31/01/2019 12:53.06 pm 01/02/2019 07:34.10 am | 14/02/2019 12:53.06 pm | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 1/2/19 - EH was advised by Management on 31/1/19 to extend the date of the Direction Notice 2 weeks giving the AO until 14 Feb 2019 5pm to rectify air conditioner so it is no longer breaching the standard under EPAact. Email sent to AO explaining this on 31/1/19 with formal Direction Notice Review Letter attached. Refer Objective A3591250. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 01/02/2019 07:34.10 am 01/02/2019 09:36.14 am | 14/02/2019 12:53.06 pm | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 1/2/19 9:35am - Left voice mail message on complainant's phone requesting a return call so he can be advised of outcome thus far. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 01/02/2019 09:36.14 am 08/02/2019 08:09.48 am | 15/02/2019 09:36.14 am | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 8/2/19 8:09am - EH left voice mail message on complainants phone requesting a call back to provide update. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 08/02/2019 08:09.48 am 08/02/2019 11:21.38 am | 22/02/2019 08:09.48 am | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 8/2/19 11:21am - EH left additional voice mail message on complainant's phone requesting a call back. EH | | | | | |
| Follow Up Investigation/Action | Past | FurtInvest | 08/02/2019 11:21.38 am 13/02/2019 08:07.10 am | 22/02/2019 11:21.38 am | P1.RES.ENVIRONMENTALHEAL' Ellen Hill |
| 13/2/19 8am - EH left voice mail message on complainant's phone requesting a call back to discuss complaint progress. EH | | | | | |
| Follow Up Investigation/Action | Current | | 13/02/2019 08:07.11 am | 27/02/2019 08:07.10 am | P1.RES.ENVIRONMENTALHEAL' |
| ##CLOSE & Advise Complainant of Results## Future | | | | | P1.RES.ENVIRONMENTALHEAL' |

Redland City Council -Request

| Description | Status | Decision | Commenced Finalised | Target Date | Role Name User |
|--------------------------|--------|----------|------------------------|-------------|--------------------------|
| Notes | | | | | |
| Back Office Note/Comment | Future | | | | P1.RES.ENVIRONMENTALHEAL |

Right to Information Released

Redland City Council -Request

Request Number: CREH514288 Priority: 002

Date Received: 02/01/2019 02:18.38 pm Resp Workgroup: COM05

Source: 00 Raised By: Shantelle Clay

Status: Past User ID: Ellen Hill

Group: Health and Environmental Issues -Customer Requests

Category: Nuisances

Sub Categories: Commercial Nuisance

Related AR:

Property Number: 33574

Property Address: 35-39 Gordon Street Ormiston QLD 4160

Property Description: Lot 101 C627 Land Number: 115261

Caller Name: Home Phone:

Caller Address: Work Phone:

Email: Mobile:

Fax:

Callback: False

Request Details:

Commercial Nuisance AC runs from 5.30 till after 7 in the evening have approached centre in person also sent them a letter with fact sheets and has not had a response. Customer has noise log available has measured noise on ap believes it exceeds DBA count by at least 20 DBa

Comments:

Event History:

| Description | Status | Decision | Commenced Finalised | Target Date | Role Name User |
|---|--------|------------|--|------------------------|--|
| Customer Request Lodged | Past | Complete | 02/01/2019 02:18.40 pm 02/01/2019 02:18.42 pm | | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| Initial Response - 5 Working Days | Past | AckLtrNois | 02/01/2019 02:18.00 pm 03/01/2019 10:29.47 am | 09/01/2019 02:18.42 pm | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| 3/1/19 - Voice mail left on phone. Letter & diary to be sent in meantime. EH | | | | | |
| -- Issue Advisory Letter | Past | Required | 03/01/2019 10:29.00 am 03/01/2019 10:46.55 am | | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| Initial Action | Past | NFA | 03/01/2019 10:46.00 am 03/01/2019 11:04.32 am | 09/01/2019 10:29.47 am | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| 3/1/19 phoned EH back and spoke about history of noise issues with child care centre. He stated the air con runs from 5.30am - 7pm at night and mainly affects him during the day | | | | | |
| stated he spoke with the center about a year ago about how bad the noise is but has been back and forth since | | | | | |
| Officer explained investigation process and that he must return completed diary happy to do this. | | | | | |
| NFA until diary received. EH | | | | | |
| ##CLOSE & Advise Complainant of Results## | Past | Yes-Phone | 03/01/2019 11:04.00 am 03/01/2019 11:04.49 am | 10/01/2019 11:04.00 am | P1.RES.ENVIRONMENTALHEAL Ellen Hill |
| 3/1/19 - See notes above. EH | | | | | |

Redland City Council -Request

| Description | Status | Decision | Commenced Finalised | Target Date | Role Name User |
|---|---------|----------|--|-------------|--|
| Notes | | | | | |
| Back Office Note/Comment | Past | AddNote | 03/01/2019 11:04.00 am 09/01/2019 01:12.18 pm | | P1.RES.ENVIRONMENTALHEAL' Adam Bright |
| 9/1/19- Officer Adam Bright received a call from Jeff O'neil (manager of the child care centre) he said he had received an advisory letter and wanted to know the next step. Officer said no monitoring would occur until a completed noise diary was lodged to council from the complainant so we know the appropriate time frames to measure the device. Officer advised this would occur at the complainants property and that we would contact him prior to monitoring so the device can be turned on and off. Jeff advised there has been 6k upgrade to the air conditioning equipment and said it was run from 7am to about 3pm in the afternoon. Jeff thanked officer for their time. AB | | | | | |
| Back Office Note/Comment | Current | | 09/01/2019 01:12.18 pm | | P1.RES.ENVIRONMENTALHEAL' |

Ellen Hill

From: Katherine Shaw
Sent: Thursday, 24 January 2019 9:18 AM
To: [REDACTED]
Cc: Ellen Hill
Subject: CREH514357 Noise Diary Acknowledgement
Attachments: Noise Diary CREH514288.pdf

Good morning,

Thank you for returning your noise diary to Council.

I have forwarded your diary onto Ellen Hill to further investigate your concerns.

If you require further information, please do not hesitate to contact me on 3829 8419 and quote reference number CREH514357.

Kind regards,

Katie Shaw
Business Support Officer
Environmental Health
Redland City Council
P +617 3829 8419



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I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

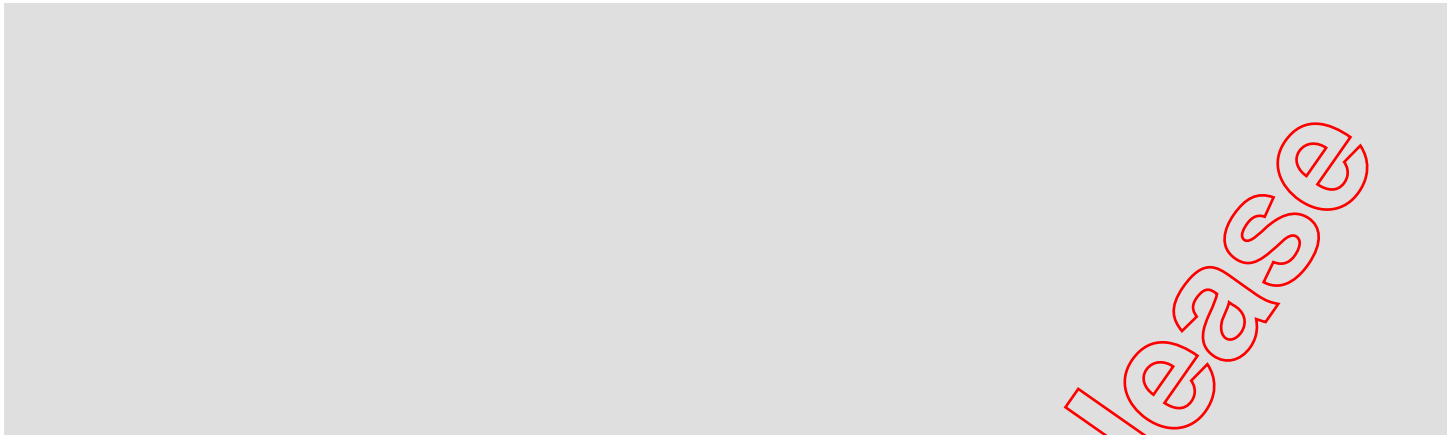
From: [REDACTED]
Sent: Wednesday, 23 January 2019 9:54 AM
To: Corporate eMailbox
Subject: Attention Health Department Ref CREH514288

Hello,

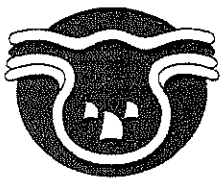
Please find the completed Noise Diary.

Kind Regards,





Right to Information Release



Redland
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Noise Diary

Your Name

CREH514288

Your Email Address:

Telephone:

Your Address:

Location of Noise Source: 35 Gordon St, Ormiston

(Jungle Cubs)

| DATE | TIME | DURATION | NOISE SOURCE | HOW DOES IT AFFECT YOU? | OTHER COMMENTS |
|------------|---------|-----------------|-----------------|--|---|
| eg. 9/5/00 | 10.00AM | 20MIN | compressor | I am not able to hear the television without turning it up very loudly | Clear cool day, light south easterly wind vibration |
| 7/1/19 | 5.55 AM | All day 6.15 PM | Air Conditioner | | Warm day |
| 8/1/19 | 5.52 AM | All day 6.20 PM | " | " | Warm day |
| 9/1/19 | 5.55 AM | All day 6.23 PM | " | " | Warm day |
| 10/1/19 | 5.58 AM | All day 6.17 PM | " | " | Warm day |
| 11/1/19 | 6am | All day 6.18 PM | " | " | Warm day |
| 12/1/19 | 8am | All day 4 PM | " | " | Warm day |
| 14/1/19 | 6am | 7.25 PM | " | " | Warm day |
| 15/1/19 | 5.50 AM | 6.20 PM | " | " | Warm day |
| 16/1/19 | 6.10 AM | 18.18 PM | " | " | Warm day |

I declare that the information provided in this diary to be true and correct

Signature

Full Name

Date

17-1-19

Please return to:
Environmental Health Team
PO Box 21, Cleveland QLD 4163
Phone: 3829 8999 Fax: 3829 8765

03 January 2019

Your Ref CREH514288
Contact: Ellen Hill

Evan Angelos Investments Pty Ltd
PO Box 1262
INDOOROOPIILLY QLD 4068

Dear Sir/Madam

ADVISORY NOTICE

Customer Request Number: CREH514288
Request Type: Nuisances
Commercial Nuisance - Noise - Commercial Nuisance
Location: 35-39 Gordon Street Ormiston QLD 4160

It has come to Council's attention that the use of an air conditioning system located at the above property has caused an alleged noise nuisance.

As you may not be aware of this issue, Council would like to provide you the attached Fact sheet which may provide you some assistance to resolve this matter in accordance with Section 440U of the *Environmental Protection Act 1994*.

Council is seeking your cooperation by requesting that you;


- Ensure the occupier of the premises does not use, or permit the use of the equipment on any day-
 - before 7a.m, if it makes a noise of more than 3dB(A) above the background level; or
 - From 7a.m. to 10p.m, if it makes a noise of more than 5dB(A) above the background level; or
 - After 10p.m, if it makes a noise of more than 3dB(A) above the background level.

Council will be reviewing the matter to determine if any further action is required.

Please be aware that it is Redland City Council's usual practice to disclose information about the progress of the investigation and its outcome to all involved parties.

Should you require any further assistance, please contact Ellen Hill on **3829 8972** or via email ellen.hill@redland.qld.gov.au quoting the above customer request number.

Yours sincerely



Ellen Hill
**Environmental Health Officer
Environmental Health Team
Health and Environment Unit**

Right to Information Release

Fact Sheet



Air-Conditioning Equipment

Noise from air-conditioning equipment can disturb neighbours, disrupt sleep, interfere with normal daily activities and can cause negative health effects. This fact sheet can help you reduce noise and meet legal requirements.

Be a good neighbour

Talk to neighbours. Find out what concerns they may have before installing equipment and seek suggestions about solving any problems. Solutions can often be found that satisfy everyone.

The law

Queensland's *Environmental Protection Act* includes noise limits for air-conditioning equipment and Council is legally required to enforce these limits. If issues between neighbours cannot be resolved and complaints continue, Council will investigate.

If air-conditioning equipment exceeds noise limits, Council may issue a fine.

Allowable noise limits

On-the-spot fines may be issued if noise exceeds the following level between:

7am to 10pm – where noise is more than five decibels above the background noise level

10pm to 7am – where noise is more than three decibels above the background noise level

Background noise is that measured in the absence of the problem noise. For example: when an air-conditioner is not on.

Ways to reduce noise

Limit hours of operation

Find out what times neighbours are most disturbed by air-conditioner noise.

Select a quiet model

Replacing an air-conditioner with a quieter model may help solve the problem.

Choose location carefully

Units should be placed away from neighbouring bedrooms windows, offices, multiple walls and corners.

Regular maintenance

Regular maintenance can decrease noise levels and improve effectiveness. Contact the manufacturer or installer for advice.

Install fences or barriers

A solid fence, with no gaps can reduce noise levels.

Consider an acoustic enclosure

Consider enclosing the unit in a ventilated wooden box with an absorbent lining. Contact the manufacturer or installer for advice.

Modifications

Modifications may reduce noise. Contact the manufacturer or installer for advice.

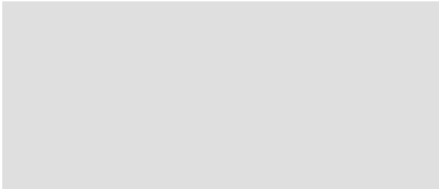


Redland
CITY COUNCIL

Redland City Council
ABN 86 058 929 428
Cnr Bloomfield & Middle Sts.
Cleveland Qld 4163
PO Box 21,
Cleveland Qld 4163
Telephone 07 3829 8999
Facsimile 07 3829 8765
Email rec@redland.qld.gov.au
www.redland.qld.gov.au

03 January 2019

Your Ref: CREH514288
Contact: Ellen Hill



Dear Sir/Madam,

Customer Request Acknowledgement

Customer Request Number: CREH514288
Request Type: Nuisances
Commercial Nuisance - Noise - Commercial Nuisance
Location: 35-39 Gordon Street Ormiston QLD 4160

Thank you for your call received on the 02/01/2019 relating to the above issue.

An officer from the Environmental Health Team will be investigating this complaint as soon as possible. If the issue continues to occur, please find attached a Noise Diary for you to fill out and return to Council. The information contained in the diary will be used as evidence in the investigation process.

Please note that if the matter requires Council to take legal action, resolution of the matter may take some time to reach a satisfactory conclusion due to legislative constraints and legal processes that can be lengthy and involved.

Should you require any further assistance, please me on **3829 8972** or via email ellen.hill@redland.qld.gov.au quoting the above Customer Request Number.

Yours sincerely

Ellen Hill
Environmental Health Officer
Environmental Health Team
Health and Environment Unit

Attachment:
• Noise Diary



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Noise Diary

Your Name: _____

CREH514288

Your Email Address: _____ Telephone: _____

Your Address: _____

Location of Noise Source: _____

| DATE | TIME | DURATION | NOISE SOURCE | HOW DOES IT AFFECT YOU? | OTHER COMMENTS |
|------------|---------|----------|--------------|--|---|
| eg. 9/5/00 | 10.00AM | 20MIN | compressor | I am not able to hear the television without turning it up very loudly | Clear cool day, light south easterly wind vibration |
| | | | | | |
| | | | | | |
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| | | | | | |
| | | | | | |
| | | | | | |

I declare the information provided in this diary to be true and correct

Signature

Full Name

Date

Please return to:
Environmental Health Team
PO Box 21, Cleveland QLD 4163
Phone: 3829 8999 Fax: 3829 8765

Ellen Hill

From: Caitlin Murray
Sent: Thursday, 24 January 2019 12:32 PM
To: Ellen Hill
Subject: CRAB539843 - Environment & Regulation - Health and Environment Unit - Medium Priority - Hi Ellen Please call back [REDACTED] regarding CREH514357 on [REDACTED] as he was returning your call. Thanks
Attachments: View Application Process ID 1746597.cilink

Hi Ellen Hill

A request has been logged and you have been nominated as the responsible officer. Please action the following request:

Request ID: CRAB539843
Received By: CAITLINM
Referred To: HAE005 - Environmental Health Officer
Request Group: CRAB
Request Type: AB02, Environment & Regulation
Sub Types: AB02e,

Date Received: 24-Jan-2019 12:31:56
Workgroup: COM05
Priority: 003
Source: 00

Customer Type:
Call Back: Required

Caller's Address:

Home Ph:
Work Ph:
Fax:
Mobile Ph:
Email:

Problem Location:
Address:
Location Owner(s):

Property Number: 0

Full Details:
Hi Ellen

Please call back [REDACTED] regarding CREH514357 on [REDACTED] as he was returning your call. Thanks

Thank You
Administrator

Ellen Hill

From: Carl Grulke
Sent: Monday, 11 February 2019 12:41 PM
To: Ellen Hill
Subject: CREH514357 - [REDACTED]

Hi Ellen,

[REDACTED] just rang for your also. He said he thought he had a missed call from you this morning and was calling you back?

Thanks,

Carl Grulke
Acting Team Leader
Environmental Health
Health & Environment Unit
Redland City Council
P +617 3829 8941



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I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

Right to Information Release

Ellen Hill

From: Ellen Hill
Sent: Tuesday, 29 January 2019 1:57 PM
To: 'angelos1@bigpond.net.au'
Subject: CREH514357 - Direction Notice - Contravention of a Noise Standard
Attachments: CREH514357 - Direction Notice - Contravention of a Noise Standard.pdf

Good afternoon

Please find attached a copy of the Direction Notice posted today to your postal address. Contravention of a Noise Standard for CREH514357. This is a result of noise monitoring conducted on 25/01/2019 which confirmed the air conditioning unit at the child care centre does not comply with S. 440U of the *Environmental Protection Act 1994*. I will follow this email up with a telephone call to ensure you are aware of the offence of breaching this Direction Notice.

Kind regards,

Ellen Hill
Environmental Health Officer
Redland City Council
P +617 3829 8972



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I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

DIRECTION NOTICE
Contravention of a Noise Standard

TAKE NOTICE that under the provisions of the *Environmental Protection Act 1994* section 363B(2), a Direction Notice is issued to you.

This statutory notice is issued by an Authorised Person pursuant to section 363B(2) of the Environmental Protection Act 1994, to advise you of a decision that requires you to remedy a contravention of a prescribed provision.

Property Occupants: Evan Angelos Investments Pty Ltd

Postal Address: PO Box 1262, INDOOROOPIILLY QLD 4068

Dear Sir/Madam,

This Direction Notice is issued to you following an investigation, carried out by Officers from Council's Health and Environment Unit, regarding alleged unlawful noise from a non-compliant air-conditioning unit located at 35-39 Gordon Street Ormiston QLD 4160 described as Lot 101 C 627 ("the property").

A. Grounds

This Direction Notice is issued on the following grounds:

It is reasonably believed that you have contravened, and are likely to continue to contravene, a prescribed provision, namely, Section 440U of the *Environmental Protection Act 1994*.

The facts and circumstances forming the basis of these grounds are:

- On 25 January 2019 Redland City Council officers conducted noise level monitoring from an affected building to ascertain the noise levels of the air-conditioning located at 35-39 Gordon Street, Ormiston at 8:30am.
- The component noise levels measured at this exceeded the allowable criteria by 19dB (A).
- This measurement exceeded the allowable day time noise levels as per section 440U of the *Environmental Protection Act 1994* of 5dB (A) above background.

B. Requirements

Pursuant to this Direction Notice you are required to perform the following actions:

1. Cease the use of the air-conditioning unit by 5.00pm 31 January 2019, until such time that the attenuation, modification or replacement of the air-conditioning unit have been completed and the air-conditioning unit is deemed compliant by Council.

C. Penalty

The maximum penalty for failure to comply with a Direction Notice is 1665 penalty units if the offence is committed wilfully or 600 penalty units otherwise. A Penalty Infringement Notice may also be issued, in lieu of prosecution, should you fail to comply with this Notice.

Please **TAKE NOTICE** that:

1. The requirements of this Notice take effect immediately upon service of the Notice.
2. Failure to comply with this Direction Notice, without reasonable excuse, is an offence under the *Environmental Protection Act 1994*.

You may apply for a review of or appeal against the decision to issue the Direction Notice within ten (10) days of the service of the Notice. Information regarding the reviews and appeals are attached to this Notice.

Should you require further information regarding the contents of this Notice, please contact me on (07) 3829 8972, quoting reference CREH514357.



Ellen Hill
Environmental Health Officer
Environmental Health Team
Health and Environment Unit
Authorised Person of Redland City Council

Date 29 January 2019

EXTRACTS FROM THE ACT REGARDING REVIEWS AND APPEALS

521 Procedure for review

- (1) A dissatisfied person may apply for a review of an original decision.
- (2) The application must-
 - (a) be made in the approved form to the administering authority within-
 - (i) 10 business days after the day on which the person receives notice of the original decision or the administering authority is taken to have made the decision (the "review date"); or
 - (ii) the longer period the authority in special circumstances allows; and
 - (b) be supported by enough information to enable the authority to decide the application.
- (3) On or before making the application, the applicant must send the following documents to the other persons who were given notice of the original decision-
 - (a) notice of the application (the "review notice"); and
 - (b) a copy of the application and supporting documents.
- (4) The review notice must inform the recipient that submission on the application may be made to the administering authority within 5 business days after the application is made to the authority..
- (5) If the administering authority is satisfied the applicant has complied with subsection (2) and (3), the authority must within 10 business days after receiving the application -
 - (a) review the original decision; and
 - (b) consider any submissions properly made by a recipient of the review notice; and
 - (c) make a decision (the "review decision") to-
 - (i) confirm or revoke the original decision; or
 - (ii) vary the original decision in a way the administering authority considers appropriate.
- (6) The application does not stay the original decision.
- (7) The application must not be dealt with by-
 - (a) the person who made the original decision; or
 - (b) a person in a less senior office than the person who made the original decision.
- (8) Within 10 business days after making the review decision, the administering authority must give written notice of the decision to the applicant and persons who were given notice of the original decision.
- (9) The notice must-
 - (a) include the reasons for the review decision; and
 - (b) inform the person of their right of appeal against the decision.
- (10) If the administering authority does not comply with subsection (5) or (8) the authority is taken to have made a decision confirming the original decision.
- (11) Subsection (7) applies despite the *Acts Interpretation Act 1954, section 27A*.
- (12) This section does not apply to an original decision made by-
 - (a) for a matter, the administration and enforcement of which has been devolved to a local government - the local government itself or the chief executive officer of the local government personally; or
 - (b) for another matter the chief executive personally.
- (13) Also, this section does not apply to an original decision to issue a clean-up notice.
- (14) In this section-
"Decision Period" means-
 - (a) if a submission is received within the submission period - 15 business days after the administering authority receives the application; or
 - (b) if no submissions are received within the submission period - 10 business days after the administering authority receives the application.

522 Stay of operation of particular original decisions

- (1) If an application is made for review of an original decision mentioned in schedule 2, part 1 or 2, the applicant may immediately apply for a stay of the decision to-
 - (a) For an original decision mentioned in schedule 2, part 1 - the Land Court; or
 - (b) For an original decision mentioned in schedule 2, part 2 - the Court.

(2) The Land Court or the Court may stay the decision to secure the effectiveness of the review and any later appeal to the Land Court or the Court.

(3) A stay may be given on conditions the Land Court or the Court considers appropriate and has effect for the period stated by the Land Court or the Court.

(4) The period of a stay must not extend past the time when the administering authority reviews the decision and any later period the Land Court or the Court allows the applicant to enable the applicant to appeal against the review decision.

531 Who may appeal

(1) A dissatisfied person who is dissatisfied with a review decision, other than a review decision to which subdivision 1 applies, may appear against the decision to the Court.

(2) However, the following review decisions cannot be appealed against to the Court –

(a) A review decision to which subdivision 1 applies;

(b) A review decision that relates to an original decision mentioned in schedule 2, part 3.

(3) The chief executive may appeal against another administering authority's decision (whether an original or review decision) to the court.

(4) A dissatisfied person who is dissatisfied with an original decision to which section 521 does not apply may appeal against the decision to the Court.

Ellen Hill

From: Adam Bright
Sent: Thursday, 31 January 2019 3:28 PM
To: 'jeff@multibiz.net.au'
Subject: CREH514357 - Direction Notice Review - 35-39 Gordon Street Ormiston
Attachments: CREH514357- Review of Decision - Air-conditioning Equipment.pdf

Good Afternoon Jeff,

Thank you for your email and supporting documentation in relation to your review of the Direction Notice issued by Council on the 29th of January 2019, for the air-conditioning unit located at 35-39 Gordon Street, Ormiston QLD 4160.

As discussed on the phone on the 31st January 2019, a review has been undertaken and Council has decided to vary the original decision that was made on the Direction Notice dated 29th January 2019. Please be advised the below variance has been made to the requirements listed within the Direction Notice dated 29th January 2019:

Cease the use of the air-conditioning unit by 5:00pm 14th February 2019, until such time that the attenuation, modification or replacement of the air-conditioning unit have been completed and the air-conditioning unit is deemed compliant by Council.

Please see the attached Review of Decision Notice for the details of the review that was conducted and the Decision that was made in relation to the application for review. Should you have any questions or concerns in relation to review of the Direction Notice please do not hesitate in contact me on 3829 8743.

Kind Regards,

Adam Bright
Acting Team Leader
Environmental Health
Redland City Council
P 3829 8743
M 0417 718 358



I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

31 January 2019

Mr Jeff Neale
Jungle Cubs
35 Gordon Street
ORMISTON QLD 4160

Your Ref: AB:EH
Our Ref: CREH514357
Contact: Adam Bright

Dear Mr Neale,

Review of Decision
S521 Procedure for review
Environmental Protection Act 1994

I refer to your request for a review of timeframes specifically mentioned within the Direction Noticed issued to you on the 29th January 2019. This review included a detailed assessment of the following:

- Consideration of the email provided by you on the 29th January 2019 and 31st January 2019, and your request for an extension to the timeframe within the Direction Notice while you complete the required works to the air-conditioning unit.
- Consideration of the documentation provided to Council on the 31st January 2019, in relation to you having engaged an air conditioning technician to undertake works on the air conditioning unit.
- Consideration of the Direction Notice issued to you on the 29th January 2019 and a review of the timeframes specified within this notice

Reasons for the Decision

It is noted that an extension of time to comply with the Direction Notice is sought and that you have provided evidence of engaging an air-conditioning technician to undertake works. It is also noted that the timeframes on the original Direction Notice dated 29th January 2019 did not allow time for remediation works to be conducted on the air-conditioning unit.

Decision

After review, it has been decided that the timeframes mentioned within the Direction Noticed issued on the 29th January 2019 will be extended. As such, the below variance to the requirements listed within the Direction Noticed dated 29th January 2019 has been made.

Cease the use of the air-conditioning unit by 5:00pm 14th February 2019, until such time that the attenuation, modification or replacement of the air-conditioning unit have been completed and the air-conditioning unit is deemed compliant by Council.

Under section 531 of the *Environmental Protection Act 1994*, a dissatisfied person who is dissatisfied with a review decision, may appeal against the decision to the Court. An appeal is started by filing a written notice of appeal with the registrar of the Court the Notice of appeal must be filed within 22 business days after the day the appellant receives notice of the decision or the decision is taken to have been made. For more information on lodging an appeal, please visit www.courts.qld.gov.au.

If you have any questions in regards to this review please contact myself, Adam Bright on 3829 8743.

Kind Regards,



Adam Bright
Acting Team Leader
Environmental Health Team
Health and Environment Unit

Right to Information Review

EXTRACTS FROM THE ACT REGARDING REVIEWS AND APPEALS

521 Procedure for review

- (1) A dissatisfied person may apply for a review of an original decision.
- (2) The application must-
 - (a) be made in the approved form to the administering authority within-
 - (i) 10 business days after the day on which the person receives notice of the original decision or the administering authority is taken to have made the decision (the "review date"); or
 - (ii) the longer period the authority in special circumstances allows; and
 - (b) be supported by enough information to enable the authority to decide the application.
- (3) On or before making the application, the applicant must send the following documents to the other persons who were given notice of the original decision-
 - (a) notice of the application (the "review notice"); and
 - (b) a copy of the application and supporting documents.
- (4) The review notice must inform the recipient that submission on the application may be made to the administering authority within 5 business days after the application is made to the authority.
- (5) If the administering authority is satisfied the applicant has complied with subsection (2) and (3), the authority must within 10 business days after receiving the application -
 - (a) review the original decision; and
 - (b) consider any submissions properly made by a recipient of the review notice; and
 - (c) make a decision (the "review decision") to-
 - (i) confirm or revoke the original decision; or
 - (ii) vary the original decision in a way the administering authority considers appropriate.
- (6) The application does not stay the original decision.
- (7) The application must not be dealt with by-
 - (a) the person who made the original decision; or
 - (b) a person in a less senior office than the person who made the original decision.
- (8) Within 10 business days after making the review decision, the administering authority must give written notice of the decision to the applicant and persons who were given notice of the original decision.
- (9) The notice must-
 - (a) include the reasons for the review decision; and
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(4) A dissatisfied person who is dissatisfied with an original decision to which section 521 does not apply may appeal against the decision to the Court.

Right to Information Release

Ellen Hill

From: Jeff <jeff@multibiz.net.au>
Sent: Tuesday, 29 January 2019 3:56 PM
To: Ellen Hill
Subject: direction Notice for Jungle cubs early education

Dear Ellen,

I appreciate your call in regard to the noise complaint. I understand that your report showed that it is 19 db above the acceptable limit and I understand we have just 2 days to sort or be fined.

I had a civil engineer on site last week looking at some other things and we were discussing the Air-conditioner and the noise it puts out. He pointed out that the aircon was about 14 - 15 years old and that the dwellings next door are only about 10 years old.

At the time the council approved the plans in 2006 the centre and air conditioning was in operation and he suggested that the council should have taken that into account when approving the plans and there should be notes about the acoustic noise by the existing air and that the dwelling should have had some sort of acoustic wall as part of the approval process. He suggested all acoustics needed to be taken into account at the time of the approval process.

I would ask :

1. the council review the decision to give us the full responsibility as the developers and owners should have taken this into account when the plans were approved. What do we need to do to formally request this??
2. Since it is a childcare centre with babies from 6 weeks that you also consider giving us some more lead time to find a solution.

In all fairness I expect we would need a week or more to find a solution. I spent thousands on this air getting it to what it is now and its been there 14 or 15 years. Only now does this person make a complaint. I ask that the dwelling owner also share this responsibility to correct as it should have been addressed or noted at the time of approval by council.

Please advise.

Our emails are being transferred to office 365 so some delays are happening. we are trying to resolve asap.

Jeff Neale
Jungle Cubs
07-3821-0033
0419 6 888 55

Ellen Hill

From: Ellen Hill
Sent: Thursday, 31 January 2019 11:52 AM
To: 'Jeff'
Subject: RE: Beau from Air Noise will give you a call about coming to site tomorrow if possible additional information

Hi Jeff

Thank you for the email. It has been forwarded to my Team Leader as further consideration of your request.

I will be in touch once I have advice from management about a response to you.

Kind regards

Ellen Hill
Environmental Health Officer
Redland City Council
P +617 3829 8972



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CITY COUNCIL



Redlands
coast

I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

From: Jeff [<mailto:jeff@multibiz.net.au>]
Sent: Thursday, 31 January 2019 11:46 AM
To: Ellen Hill
Subject: Fw: Beau from Air Noise will give you a call about coming to site tomorrow if possible additional information

Hi Ellen,

As per our conversation.

I think I first spoke to someone (not you) and they suggested finding a noise company although the council didnt recommend anyone, just to google it.

I found about 5 companies and starting at the closest, air noise, and called to find what they suggest and when they could have a look however air noise was the only one that said they could have a look and then suggest what they could do from there.

Below is the email I sent to Eden where I had spoken to Beau and he was to come to site and have a look then advise on what they need to do.

He called me the next day and cancelled.

After chasing him for days he sent me an email (below) on the 10th December with a quote saying he was very busy and going to Melbourne for some project.

I called him to see why he wouldn't come and look, he said they had no hope before Xmas regardless even if I accepted the quote or not as they were flat chat. (basically he really didnt want to do the job i think)

I called your department after that and discussed about what we could do. Remembering this is just before Xmas.

Jeff Neale
Jungle Cubs
3821-0033 0419 6 888 55

From: Beau Weyers <beau.weyers@ane.com.au>
Sent: Monday, 10 December 2018 2:05 PM
To: Jeff Neale <jeff@multibiz.net.au>
Subject: 5624 - Email - BW - Quote for Acoustic Advice

Hi Jeff,
As discussed, please find attached our quote to provide Acoustic Services.
Also, as per previous conversations, we are flat strapped on a lot of important projects. So the boss has given me strict timeframes and minimum fees.
If it can wait until the new year, we may be able to revise the costs.
Regards
Beau

Beau Weyers
Senior Acoustic Engineer

+61 07 3245 7808
0413 530 524
beau.weyers@ane.com.au

From: Jeff Neale
Sent: Monday, December 3, 2018 4:46 PM
To: Eden Neale
Subject: Beau from Air Noise will give you a call about coming to site tomorrow if possible

Hi Eden,

I have organized for Beau to call you and come maybe around 11.30 tomorrow but he will call you first. Nice guy, don't worry about the review. The dummy who wrote it is in USA so it's a boo boo .

Air Noise Environment Pty Ltd

[Website](#) [Directions](#) [Save](#)

1.0 ★ ★ ★ ★ 1 Google review

Environmental consultant in Capalaba, Australia

Address: 3/4 Tombo St, Capalaba QLD 4157

Hours: Closes soon: 5PM - Opens 9AM Tue ▾

Phone: (07) 3245 7808

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Review summary

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5 ★
4 ★
3 ★
2 ★
1 ★

1.0

★ ★ ★ ★

1 review

Google reviews



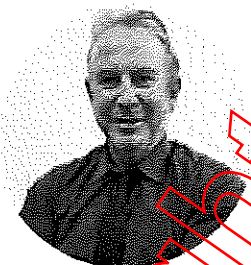
Gabby woodworth

3 reviews

★ ★ ★ ★ 2 months ago

Else was absolutely awful to deal with.

Have a nice day!



Jeff Neale

Managing Director | Business & Technology Architect

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BUSINESS SOLUTIONS

P: (07) 3821 0033 M: 0419 6 888 55

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Ellen Hill

From: Ellen Hill
Sent: Thursday, 31 January 2019 11:21 AM
To: 'jeff@multibiz.net.au'
Subject: CREH514357 - RTI Information - Jungle Cubs

Good morning Jeff as discussed,

The following link provides you with the information you will need to know to initiate the RTI process:
<https://www.redland.qld.gov.au/info/20195/right-to-information-and-information-privacy/435/accessing-information>

Kind regards

Ellen Hill
Environmental Health Officer
Redland City Council
P +617 3829 8972



I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

From: Jeff [mailto:jeff@multibiz.net.au]
Sent: Tuesday, 29 January 2019 3:56 PM
To: Ellen Hill
Subject: direction Notice for Jungle cubs early education

Dear Ellen,

I appreciate your call in regard to the noise complaint. I understand that your report showed that it is 19 db above the acceptable limit and I understand we have just 2 days to sort or be fined.

I had a civil engineer on site last week looking at some other things and we were discussing the Air-conditioner and the noise it puts out. He pointed out that the aircon was about 14 - 15 years old and that the dwellings next door are only about 10 years old.

At the time the council approved the plans in 2006 the centre and air conditioning was in operation and he suggested that the council should have taken that into account when approving the plans and there should be notes about the acoustic noise by the existing air and that the dwelling should have had some sort of acoustic wall as part of the approval process. He suggested all acoustics needed to be taken into account at the time of the approval process.

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Please advise.

Our emails are being transfered to office 365 so some delays are happening we are tryig to resolve asap.

Jeff Neale
Jungle Cubs
07-3821-0033
0419 6 888 55



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NOTICE REVIEW SHEET

HEALTH AND ENVIRONMENT

File No: CREH514357 _____ Date of Inspection/Offence: 25/01/2019 _____

Business/Individuals Name: Evan Angelos Investments Pty Ltd _____

Business/Individuals Address: PO Box 1262, INDOOROOPIILLY QLD _____

Location of Business/Offence: 35-39 Gordon Street Ormiston QLD _____

✓ Notice register updated

✓ Notice prepared

✓ Noise Monitoring Report

Justification for Enforcement Action:

Noise monitoring conducted on 25th January 2019 from the _____ of the affected building (_____ 29-33 Gordon Street Ormiston) showed the noise levels exceeded the allowable levels for section 440U (air conditioning equipment) of the *Environmental Protection Act 1994*. A direction notice is to be issued.

Supporting Documents:

Noise monitoring report and B&K printouts.

Ellen Hill

Ellen Hill
Environmental Health Officer
Health and Environment Unit

Date: 29/01/2019

Team Leader Recommendation
Verified

Adam Bright

Adam Bright
Team Leader – Environmental Health

Date:

29/1/19

Ellen Hill

From: Jade Shaughnessy
Sent: Friday, 25 January 2019 9:48 AM
To: Ellen Hill
Subject: FW: CREH514357 [REDACTED] 29 Gordon Street Ormiston
Attachments: CREH514357 Background.pdf; CREH514357 Source.pdf

From: Jade Shaughnessy
Sent: Friday, 25 January 2019 9:08 AM
To: Ellen Hill
Subject: CREH514357 unit7/29 Gordon Street Ormiston

Noise monitoring notes:

Reading 1- Source noise - light breeze
Air con clearly audible, continuous, stable noise.
Approx start 08:30am

08:31- Jade's work phone sounded (email received)
08:34- complainant entered the assessment area to query noise monitoring process, paused reading
08:45- complainants phone rang

Reading 2 - background noise - light breeze
Birds heard chirping, faint children's voices heard from CCC, cars passing intermittently, internal movements from [REDACTED]
Approx start 08:49

Noise meter set up - complainants property in [REDACTED] (most affected room):

Photos included:
Noise meter location
Pre calibration
Post calibration
Weather screen shot, willyweather sourced.





willy

Microsoft ac...

Mail – ryans...

Cleveland P...

J

FOR THE HOME

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* Eligibility criteria and minimum premiums apply. Discount does not apply to optional cov



WillyWeather



Ormiston QLD, 4160



Weather

Wind

Rainfall

Sun

Moon

Ormiston Weather Forec...

Australia / QLD / Brisbane

TODAY 25 Jan

Australia Day

SUN 27 Jan



Right to Information Release



Kind regards,

Jade Shaughnessy
Environmental Health Officer
Environmental Health
Redland City Council

P +617 3829 8929

M 0437 542 957

| | |
|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> |
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| |
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| <input type="checkbox"/> |
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Right to Information Release

Project 001

| | | |
|------------------|--|----------------------|
| Instrument: | | 2250 |
| Application: | | BZ7224 Version 4.3.2 |
| Start Time: | | 01/25/2019 08:29:36 |
| End Time: | | 01/25/2019 08:47:12 |
| Elapsed Time: | | 00:15:00 |
| Bandwidth: | | 1/3-octave |
| Max Input Level: | | 141.78 |

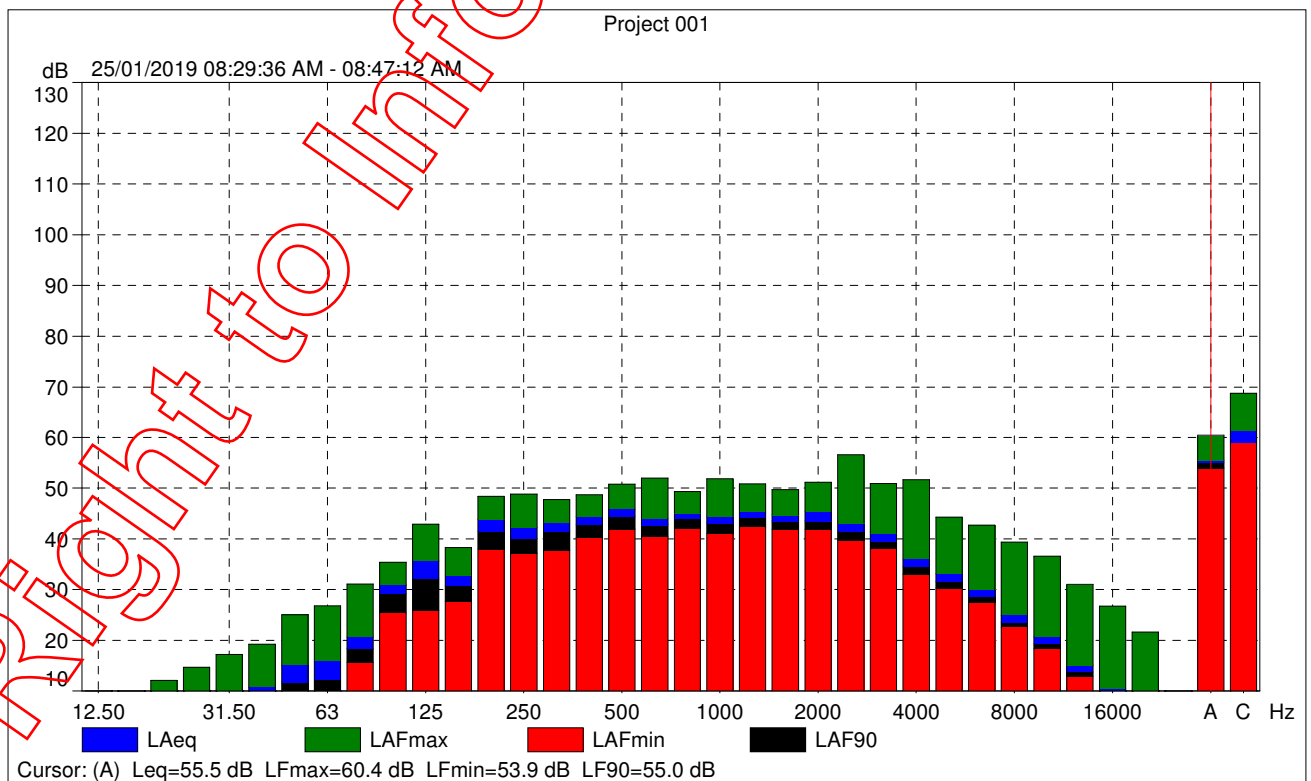
| | | |
|-------------------------|------|-----------|
| | Time | Frequency |
| Broadband (excl. Peak): | FSI | AC |
| Broadband Peak: | | A |
| Spectrum: | FS | A |

| | | |
|---------------------------|--|---------------|
| Instrument Serial Number: | | 2590553 |
| Microphone Serial Number: | | 2595691 |
| Input: | | Top Socket |
| Windscreen Correction: | | None |
| Sound Field Correction: | | Diffuse-field |

| | | |
|-------------------|--|------------------------|
| Calibration Time: | | 01/25/2019 08:28:43 |
| Calibration Type: | | External reference |
| Sensitivity: | | 45.4883314669132 mV/Pa |

Project 001

| | Start time | End time | Elapsed time | Overload [%] | LAeq [dB] | LAFmax [dB] | LAFmin [dB] | LAF90 [dB] |
|-------|-------------|-------------|--------------|--------------|-----------|-------------|-------------|------------|
| Value | | | | 0.00 | 55.5 | 60.4 | 53.9 | 55.0 |
| Time | 08:29:36 AM | 08:47:12 AM | 0:15:00 | | | | | |
| Date | 25/01/2019 | 25/01/2019 | | | | | | |



Project 002

| | | |
|------------------|--|----------------------|
| Instrument: | | 2250 |
| Application: | | BZ7224 Version 4.3.2 |
| Start Time: | | 01/25/2019 08:48:35 |
| End Time: | | 01/25/2019 09:03:35 |
| Elapsed Time: | | 00:15:00 |
| Bandwidth: | | 1/3-octave |
| Max Input Level: | | 141.78 |

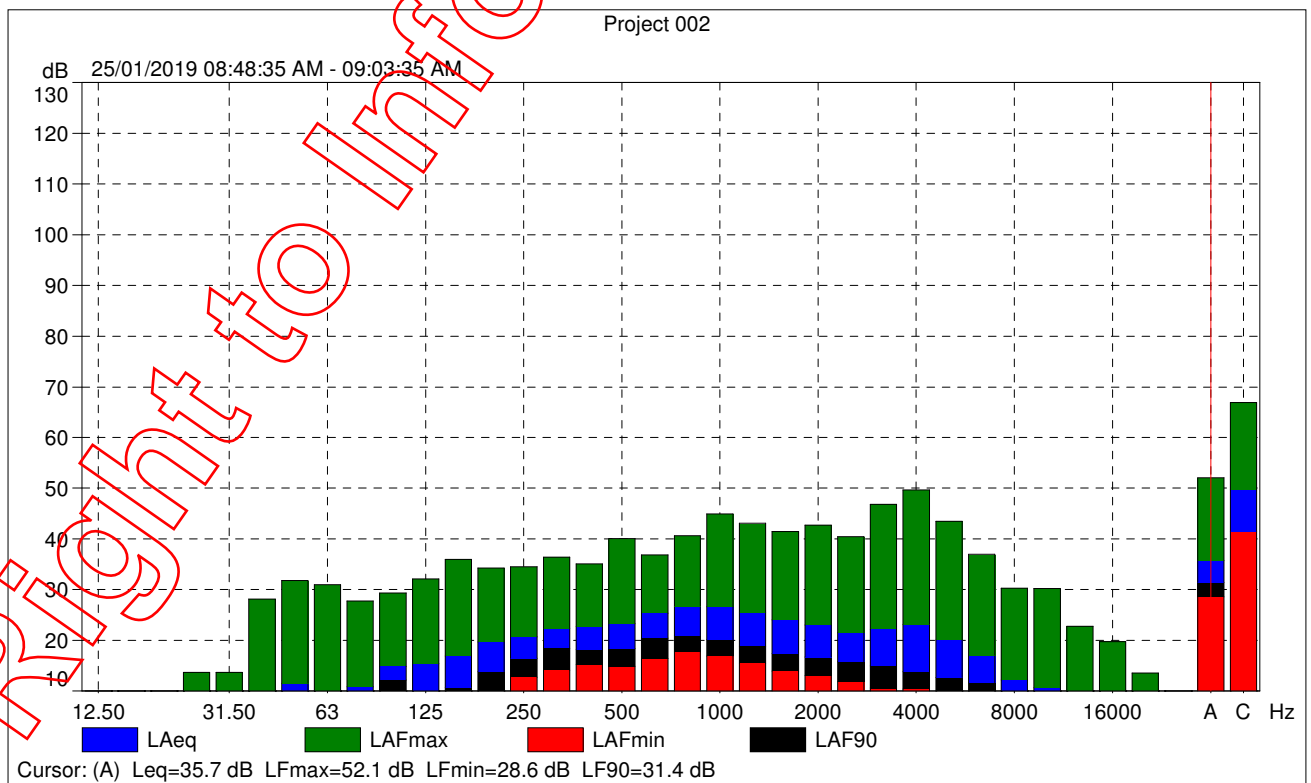
| | | |
|-------------------------|------|-----------|
| | Time | Frequency |
| Broadband (excl. Peak): | FSI | AC |
| Broadband Peak: | | A |
| Spectrum: | FS | A |

| | | |
|---------------------------|--|---------------|
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| Input: | | Top Socket |
| Windscreen Correction: | | None |
| Sound Field Correction: | | Diffuse-field |

| | | |
|-------------------|--|------------------------|
| Calibration Time: | | 01/25/2019 08:28:43 |
| Calibration Type: | | External reference |
| Sensitivity: | | 45.4883314669132 mV/Pa |

Project 002

| | Start time | End time | Elapsed time | Overload [%] | L _{Aeq} [dB] | L _A F _{max} [dB] | L _A F _{min} [dB] | L _A F ₉₀ [dB] |
|-------|-------------|-------------|--------------|--------------|-----------------------|--------------------------------------|--------------------------------------|-------------------------------------|
| Value | | | | 0.00 | 35.7 | 52.1 | 28.6 | 31.4 |
| Time | 08:48:35 AM | 09:03:35 AM | 0:15:00 | | | | | |
| Date | 25/01/2019 | 25/01/2019 | | | | | | |



Ellen Hill

From: Jessica Poole
Sent: Thursday, 24 January 2019 9:16 AM
To: Ellen Hill
Subject: FW: Jungle Cubs Early Education

Found it ☺ Depending on whether he was able to get an acoustic consultant out onsite, he may be keen to have it monitored to see if it does breach.

From: Jessica Poole
Sent: Monday, 3 December 2018 4:39 PM
To: Adam Bright
Subject: Jungle Cubs Early Education

Hey Adam,

I had Jeff (ph 3821 0033/ or Edan his daughter – ph32863166) from Jungle Cubs Early Education call just before in relation to a noise complaint. Jeff advised that he has had a neighbour approach him to complain about the ducted air conditioner that operates at the Jungle Cubs Early Education Centre. He was hoping that someone would be able to conduct some noise monitoring to determine if it does breach as he would like to do the right thing and get it fixed if it is too noisy. I provided some advice and recommended that Jeff contact an acoustic consultant and the company that services the air con as they may be able to provide some advice on attenuation etc.

I advised I'd send through an email to yourself to see what options were available however did explain we generally only conduct noise monitoring when there has been a complaint lodged and noise diary returned. The noise from the air con is occurring between 9.30am – 3.30pm so not sure if there any possibility of conducting some monitoring but thought I'd send it through in case we receive a complaint. Jeff's email will be on the FP file for Jungle Cubs as I believe this was the customer that we spoke to earlier in the year regarding the FSS/FSP requirements for his food premises.

Cheers,

Kind Regards,

Jessica Poole
Environmental Health Policy Adviser
Health & Environment Unit
Redland City Council
P +617 3829 8595
M 0417 745 600



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I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

NOISE MONITORING REPORT

NOISE MONITORING REPORT HEALTH AND ENVIRONMENT

| | |
|-------------------------------|---------------------------------|
| Complaint Ref | CREH514357 |
| Complaint Nature | Air Conditioner Noise |
| Alleged Offender | 35-39 Gordon Street Ormiston |
| Investigating Officers | Ellen Hill & Jade Shaughnessy |
| Measurement Location | 29-33 Gordon Street Ormiston |

EXECUTIVE SUMMARY

A noise investigation into residential air conditioning noise from 35-39 Gordon Street Ormiston was undertaken on the 25/01/2019. Noise readings were conducted at day time from approximately 8:29am from the complainant's 29-33 Gordon Street Ormiston. This location was nominated by the complainant as the most noise affected place in the dwelling. Please find below a photo of the noise meter set up.



Both noise source (air conditioner turned on) and a background reading were taken during the investigation.

Background = 31 dBA LAf90

Component Noise = 55 dBA LAf90

The component level exceeded the background by 24dBA during the noise investigation. This exceeds the allowable difference of no more than 5dBA over the background during this time period and is therefore deemed non-compliant with the default noise standards for air conditioners as stated in section 440U of the *Environmental Protection Act 1994*.

WEATHER

| | |
|---------------|---------------------|
| Temperature | 27.2°C |
| Wind | 0.5m/s |
| Observations | Still |
| Measured With | Willyweather.com.au |

CALIBRATOR & METER

| | |
|------------------------|---|
| Sound Level Meter Type | B&K 2250 Serial: 2590553 Calibrated: 02/05/2018 |
| Calibrator Type | B&K 4231 Serial: 3006707 Calibrated: 02/05/2018 |

PRE & POST READING CALIBRATION

| | |
|--------------------|-------------------|
| Calibration Before | 0.00dB (93.84 dB) |
| Calibration After | 0.01dB (93.82 dB) |

GENERAL INFORMATION

- Noise readings were conducted from the complainant's [redacted] 29-33 Gordon Street Ormiston. This location was nominated by the complainant as most noise affected place in the dwelling.
- Measurement of the noise source and background levels were conducted with the living room window open.
- All measurements were supervised by an officer. At no time was the meter left unattended during our measurements.
- Noise from the air-conditioner was audible within [redacted] and was continuous.
- The measurement location and positioning within [redacted] was in accordance with the DEHP Noise Measurement Manual. A calibration was conducted pre and post logging.
- Both measurements were conducted using the Diffuse Field setting as measurements were indoors and subject to reflected noise from within the living room.

LEGISLATIVE REQUIREMENTS

The noise in question, air conditioning equipment, is regulated under the *Environmental Protection Act 1994* via the default noise standards.

Specifically, section 440U Air-conditioning equipment states the following:

- (1) This section applies to premises at or for which there is air-conditioning equipment.
- (2) An occupier of the premises must not use, or permit the use of, the equipment on any day-
 - (a) before 7a.m, if it makes a noise of more than 3dB(A) above the background level; or
 - (b) from 7a.m. to 10p.m, if it makes a noise of more than 5dB(A) above the background level; or
 - (c) after 10p.m, if it makes a noise of more than 3dB(A) above the background level.

Section 440Q Offence of contravening a noise standard states:

- (1) A person must not unlawfully contravene a noise standard.
Maximum penalty – 300 penalty units.

MEASUREMENTS

| | |
|---|--|
| Reading 1 – Source 29-33 Gordon Street Ormiston | |
| Date | 25 January 2019 |
| Start Time | 8:29 am |
| Duration | 15:00 mins |
| General Observations during Measured Noise | <ul style="list-style-type: none">Could not detect any other noise apart from air conditioning noise during source |
| Results (dBA) | LAF90 = 55 dBA LAeq = 55.5 dBA |

| Reading 2 – Background | | 29-33 Gordon Street Ormiston |
|--|---|------------------------------|
| Date | 25 January 2019 | |
| Start Time | 08:48 am | |
| Duration | 15:00 mins | |
| General Observations during Measured Noise | <ul style="list-style-type: none"> Faint audible car noises from the road outside Faint audible bird noise from outside | |
| Results (dBA) | LAF90 = 31 dBA LAeq = 36 dBA As per AS1055.1 no adjustments are made as the reading was 10dBA over the background. | |

| Results Summary | |
|-----------------|--|
| Conclusions | The component levels exceeded the background by 24dBA during the noise investigation. This exceeds the allowable difference of no more than 5dBA over the background during this time period and is therefore deemed non-compliant with the default noise standards for air conditioners as stated in section 440U of the <i>Environmental Protection Act 1994</i> . |

Ellen Hill
Environmental Health Officer
Environmental Health Team
Health and Environmental Unit

Ellen Hill

From: Adam Bright
Sent: Thursday, 31 January 2019 4:35 PM
To: 'Jeff'
Cc: 'Eden Neale'
Subject: RE: CREH514357 - Direction Notice Review - 35-39 Gordon Street Ormiston

Hi Jeff,

You are welcome.

Yes, please call when you are ready to have the device assessed for compliance. We'll do our best to co-ordinate this with the complainant.

You can keep us in the loop regarding the remedy, but it is not essential.

Regards

Adam Bright
Acting Team Leader
Environmental Health
Redland City Council
P 3829 8743
M 0417 718 358



Redland
CITY COUNCIL



Redlands
coast

I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

From: Jeff [<mailto:jeff@multibiz.net.au>]
Sent: Thursday, 31 January 2019 3:35 PM
To: Adam Bright
Cc: Eden Neale
Subject: Re: CREH514357 - Direction Notice Review - 35-39 Gordon Street Ormiston

Dear Adam,

Thank you so much for your assistance with this.

We are, as I advised Ellen, working overtime to resolve the issue and this should be sufficient time to do that and hopefully if not, the weather is cool enough to be cooled naturally.

I have people in and out trying to work on the best resolution to the problem.

Once again really appreciate your assistance in the additional time.

Do you want me to advise you of the remedy and you will reinspect???

Jeff Neale
Jungle Cubs
0419 688855

From: Adam Bright <Adam.Bright@redland.qld.gov.au>
Sent: Thursday, January 31, 2019 3:28 PM
To: Jeff
Subject: CREH514357 - Direction Notice Review - 35-39 Gordon Street Ormiston

Good Afternoon Jeff,

Thank you for your email and supporting documentation in relation to your review of the Direction Notice issued by Council on the 29th of January 2019, for the air-conditioning unit located at 35-39 Gordon Street, Ormiston QLD 4160.

As discussed on the phone on the 31st January 2019, a review has been undertaken and Council has decided to vary the original decision that was made on the Direction Notice dated 29th January 2019. Please be advised the below variance has been made to the requirements listed within the Direction Notice dated 29th January 2019:

Cease the use of the air-conditioning unit by 5:00pm 14th February 2019, until such time that the attenuation, modification or replacement of the air-conditioning unit have been completed and the air-conditioning unit is deemed compliant by Council.

Please see the attached Review of Decision Notice for the details of the review that was conducted and the Decision that was made in relation to the application for review. Should you have any questions or concerns in relation to review of the Direction Notice please do not hesitate in contact me on 3829 8743.

Kind Regards,

Adam Bright
Acting Team Leader
Environmental Health
Redland City Council
P 3829 8743
M 0417 718 358



I acknowledge the traditional custodians of the lands and seas where I work. I pay my respects to Elders, past, present and future.

POLLUTION PREVENTION – COMMENTS FOR DECISION

APPLICATION DETAILS

File No: MC008015
Project Coordinator: Di Glynn
Nature Of Development: Multiple Dwelling x 9
Site Address: 29-33 Gordon Street, Ormiston

SITE DETAILS

Site Inspected: no
Date Inspected: aerial photos used

CONTAMINATED LAND DETAILS (Is property listed on..)

Environmental Management Register: no
Previous Use Register: no
Contaminated Land Register: no

COMMENTS (Inspection/General):

- Combination of 2 and 3 storey buildings. Private open space / courtyard areas are available for all residences plus there is a common recreation area adjacent to units 1-4
- A motel joins the site to the south and a Child Care centre adjoins the northern boundary.
- The site is within 100m of the railway corridor
- Within 100m of Trade Street industrial area. Not considered in report.
- AR321848 relates to fill being brought onto the site. Not sure if more fill is required for this development. Need info re final pad levels.
- Environmental Noise Level Study for proposed Residential Development – 29 Gordon Street, Ormiston conducted for Modini and Smith Building Design Group Report No: R03183/D711/Rev.0/14.10.03 prepared by David Moore & Associates supplied with application
- Report includes the following details:
 - Considers potential noise impacts to be rail noise, traffic noise – (Gordon Street), children at play in child care centre, motel air conditioning units (southern side), motel units carpark (eastern side)
 - Some deficiencies. See below. Full assessment of revised report required.

Meeting – 9.11.04

Plans have changed to light construction – will require amended noise report for RW -

DECISION COMMENTS

1. A 2.1m noise barrier shall be constructed as outlined in *Environmental Noise Level Study for proposed Residential Development – 29 Gordon Street, Ormiston conducted for Modini and Smith Building Design Group Report No: R03183/D711/Rev.0/24.05.04*. The barrier must be designed in accordance with Figure B of the Redland Shire Council policy document *Impact of Transportation Systems on Urban Amenity Transitional Planning Scheme Policy*, that is, the barrier must be a mound/fence combination as it is higher than 1.8m.
2. Prior to Associated Development Works approval, the applicant must provide plans and specifications detailing the design and construction of the noise barrier. All barriers are to be certified by a suitably qualified acoustic consultant indicating that the noise barriers achieve the requirements of this decision notice and are to be accompanied by revised acoustic data where their location differs to that outlined in *Environmental Noise Level Study for proposed Residential*

*Development – 29 Gordon Street, Ormiston conducted for Modini and Smith Building Design Group
Report No: R03183/D711/Rev.0/24.05.04.*

3. Prior to Associated Development Works approval, the required construction standards as outlined in Table 2 of *Environmental Noise Level Study for proposed Residential Development – 29 Gordon Street, Ormiston conducted for Modini and Smith Building Design Group Report No: R03183/D711/Rev.0/24.05.04* must be amended in accordance with the changes to the plans and are to be incorporated into the design and construction of the proposed development.
4. All building plans submitted for approval must be certified by a suitably qualified acoustic consultant to demonstrate compliance with desired noise levels and the conditions of this approval. Such certifications shall specify compliance with Condition 3 above.
5. A post construction certification by a suitably qualified acoustic consultant is to be submitted to Council **within 3 months** of the completion of the development (or at the completion of each stage of the development if this is undertaken). This certification is to demonstrate that the predicted noise levels in *Environmental Noise Level Study for proposed Residential Development – 29 Gordon Street, Ormiston conducted for Modini and Smith Building Design Group Report No: R03183/D711/Rev.0/24.05.04* and the conditions of this approval have been achieved. This certification is to demonstrate compliance with this approval considering the approved hours of operation of the centre.

NAME OF INVESTIGATING OFFICER:
AUTHORISED SUPERVISOR:

Emily Fletcher/Sally Evans
Geoff Doyle

DATE 3/12/04

Right to Information



File Note

File Note Purpose (Tick/ circle which one applies)

☐ Meeting

☐ Prelodgement

☐ Other

☐ Telephone conversation

☐ Information Request not Completed

File No: MC008015

Date: August 19, 2004

Street Address: 29-33 Gordon Street, Ormiston

Subject Matter: Extension of decision making time

Caller: Call to Aaron Sweet

Comments: Agreed to extend decision making time to Friday 27 August, 2004.

Di Glynn
PLANNER, DEVELOPMENT ASSESSMENT TEAM



File Note

File Note Purpose (Tick/ circle which one applies)

☐
☐

☐ Meeting
☐

File No: MC008015 **Date:** December 2, 2004
Street Address: 29-33 Gordon Street, Ormiston
Subject Matter: Multiple Dwellings x9
Caller: Aaron Sweet plus clients. David Carter, Jan Haughton, Peter Coleman, Cate Puschman, Di Glynn

Comments Aaron Sweet outlined changes. More modern design. Reduced mass. Using different materials. Northern façade has been stepped back.

Some units down to 2 beds and car parking to match. Checked car parking. Need 6 metres if structure either side of car park.. Wanted to know if Council prepared to support if more lightweight and less bulk.

David Carter indicated it was difficult to monitor changes. There is need for a list for future meetings. Aaron Sweet thought it was unreasonable to ask for boat storage.

Underground walkway could be noisy Was asked to take gate off.

Di Glynn
Town Planner

00178D66.001.txt

From: Emma Hosfield
Sent: Thursday, 3 February 2005 2:16 PM
To: Diana Glynn
Subject: FW: (DWS Doc No 1497004) RW & W waste conditions for MC008015
Di, please use these conditions previously sent.

Em Hosfield
Waste Projects Officer
Redland Water and Waste
(in office: Thurs, Fri and alt Wed)
' 07 3829 8560
* emmah@redland.qld.gov.au

-----Original Message-----

From: Emma Hosfield
Sent: Friday, 19 November 2004 4:01 PM
To: Diana Glynn
Subject: (DWS Doc No 1497004) RW & W waste conditions for MC008015

Di,

Waste conditions:

Conditions:

Sufficient unobstructed kerbside space must be available for the servicing of all waste/recycle wheelie bins provided for the proposed land use. This includes obstructions such as trees, powerlines, landscaping, driveways and carparks. Kerbside space belonging to the development only is to be used and not that of any neighbouring properties.

A hardstand surface must be provided within the curtilage (eg. courtyard) of units 6, 7 and 9 (as per the site plan) for the storage of bins. The bins must be located so that they are not visible to on-site and neighbouring residences. A bin compound must be provided for the storage of all bins for units 1-5 and Unit 8. The compound must fully screens the bins from the road, on-site and neighbouring residences and be equipped with a hardstand surface.

Access must be available to enable the bins to be wheeled out to kerbside without passing through the respective unit house and garage (if bins are stored in courtyard).

5. Where no on-site waste/recycling bin cleansing facilities are provided, a written agreement is to be made (to the satisfaction of the Manager Assessment Services) with a private cleansing contractor for the purpose of cleansing the containers.

Emma Hosfield
Waste Projects Officer
Redland Water and Waste
(in office: Thurs, Fri and alt Wed)
' 07 3829 8560
* emmah@redland.qld.gov.au

From: Aaron Sweet [asweet@bartleyburns.com.au]
Sent: Friday, 29 October 2004 12:39 PM
To: Diana Glynn
Subject: FW: 29 Gordon Street, Ormiston

From: Aaron Sweet
Sent: Thursday, 21 October 2004 3:59 PM
To: 'diannag@redland.qld.gov.au'
Subject: 29 Gordon Street, Ormiston

Dianne,

Attached is an amended concept for the development of this site showing an improved situation. I acknowledge that there is a shortfall of car parking spaces which should hopefully be able to be rectified through increasing some widths of spaces.

Could you please arrange a meeting with yourself and the relevant parties to discuss the proposal further with a view towards obtaining a decision. Our client is anxious to obtain a determination on this application.

Regards,

Aaron Sweet
Senior Planner
Bartley Burns
Certifiers & Planners

Phone: (07) 3207 4488
Facsimile: (07) 3207 5599
Mobile: 0403 383 064
Email: asweet@bartleyburns.com.au
Web: www.bartleyburns.com.au

0017B05D.001.txt

From: Sharon Doran
Sent: Thursday, 10 February 2005 11:54 AM
To: Rick Ng
Cc: Julie Anderson; Emily Fletcher
Subject: FW: MC008015

Hi Rick

Attached is a copy of the email we sent to Di Glynn last week (sorry I didn't know that you had taken over as project co-ordinator). The new plans do not affect our decision comments. If you have any questions please contact me.

Cheers

Sharon

Sharon Doran
Environmental Health Officer
Pollution Prevention Unit
Redland Shire Council
Phone: 07 3829 8595

-----Original Message-----

From: Sharon Doran
Sent: Wednesday, 2 February 2005 2:12 PM
To: Diana Glynn
Cc: Julie Anderson; Geoffrey Doyle
Subject: MC008015

Hi Di

The amended application does not affect our comments for decision dated 3/12/04.

A copy of these comments are attached.

Cheers

Sharon

Sharon Doran
Environmental Health Officer
Pollution Prevention Unit
Redland Shire Council
Phone: 07 3829 8595

001A5A46.001.txt

From: Diana Glynn
Sent: Tuesday, 8 February 2005 12:12 PM
To: Rick Ng
Subject: FW: PPU comments for 8015 DEC

-----Original Message-----

From: Emily Fletcher
Sent: Friday, 3 December 2004 1:38 PM
To: Diana Glynn
Cc: Meredith Middleton
Subject: PPU comments for 8015 DEC

Please find attached PPU comments for Decision for MC8015 - Multiple Dwelling x
9, 29-33 Gordon Street, Ormiston.
Thanks
Emily

Right to Information Release

0017FD2B.001.txt

From: Jan Haughton
Sent: Friday, 25 February 2005 9:38 AM
To: Rick Ng
Subject: M008015 29 Gordon St ormiston - landscape architects conditions
now in proclaim

Jan Haughton
Senior Landscape Architect
Development Assessment
Redland Shire Council
PO Box 21 Cleveland Q 4163
Ph 3829 8266 Fax 3829 8809
email janh@redland.qld.gov.au

Right to Information Release

From: Sharon Doran
Sent: Wednesday, 2 February 2005 2:11:33 PM
To: Diana Glynn
CC: Julie Anderson; Geoffrey Doyle
Subject: MC008015

Hi Di

The amended application does not affect our comments for decision dated 3/12/04.

A copy of these comments are attached.

Cheers

Sharon

Sharon Doran

Environmental Health Officer

Pollution Prevention Unit

Redland Shire Council

Phone: 07 3829 8595

Right to Information Release

00182124.001.txt

From: Peter Coleman
Sent: Friday, 4 March 2005 1:04 PM
To: Rick Ng
Subject: MC008015 - Engineering Report for 29 29 Gordon Street Ormiston

Rick,

Find attached engineering report for the above mentioned application (entered into Proclaim):

Thanks

Peter Coleman
Development Assessment Engineer
Redland Shire Council
Phone: 3829 8268
Fax: 3829 8809
Mobile: 0418 866 505
Email: peterc@redland.qld.gov.au

MC 008015 – 29 Gordon Street Ormiston

ENGINEERING ASSESSMENT

Road Access and Required Road Frontage Works

The site has a frontage to Gordon Street. Access to the site is gained from Gordon Street.

Gordon Street:

Currently kerb and channel is present along the entire frontage of the site. Other than direct access works no additional road works is required as a result of this development.

There is an existing footpath along the frontage of the site.

Access to the site is to be restricted to left-in left-out movements only.

Internal Traffic Movement and Car Parking

Internal traffic movements generally comply with AS2890.1, subject to detailed design.

Car parking numbers are as per Council requirements in that:

18 spaces are required, and
18 spaces have been provided within the site (confirm numbers).

Dimensions and layouts of the car parking spaces generally comply with AS2890.1.

Stormwater

With adequate engineering design, to be provided during a subsequent associated development works application, it is believed that no stormwater problems will result for upstream or downstream properties, or for the site itself. Adequate external stormwater infrastructure is available to service the site.

Sewerage

There is an existing sewerage connection to the site.

Water Supply

Water supply is currently available to the site.

Electricity Services

The subject land can be provided with appropriate electricity services without undue concern.

Telecommunication Services

The subject land can be provided with appropriate telecommunication services without undue concern.

CONDITIONS

CONDITIONS FOR DEVELOPMENT PERMIT

Signage Prior to Construction

Prior to the commencement of any construction works associated with the development, a sign of approved size detailing the project team must be placed in a prominent position, at the road frontage, at each entrance to the development. The sign must detail the relevant project coordinator for the works being undertaken on the site, and the following parties (where relevant):

Developer
Project Coordinator
Architect / Building Designer
Builder
Civil Engineer
Civil Contractor
Landscape Architect

Construction Supervision, Required Council Inspections, and Acceptance of Works by Council

The applicant is advised to ensure that their engineering representatives contact Council as early in the process as possible.

(a) Engineering Works – Supervision

All site earthworks, drainage and pavement construction must be designed by and the construction supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing must be carried out by N.A.T.A. registered laboratories.

Prior to occupancy of the units, or the use commencing, the applicant's Supervising Engineer must submit a certificate to Council certifying that all work has been satisfactorily completed in accordance with all requirements of Council, and to accepted engineering standards.

(b) Engineering Works – Council Inspections

Council inspections must be called for, and carried out, at the following stages:-

- (i) Pre start – This meeting is to be carried out prior to any works commencing, within an existing road reserve or on any infrastructure that will eventually be transferred to Council.
- (ii) Installation of erosion and sediment management measures.
- (iii) 'Box' inspection of industrial crossover with reinforcing in place. Reinforcing mesh is to be supported on bar chairs.
- (iv) Stormwater pipelines and manholes bedded and partially backfilled.
- (v) 'On Maintenance' inspection of completed works.
- (vi) 'Off Maintenance' inspection of works 12 months after acceptance of works on maintenance.

(c) Engineering Works –Acceptance of Works by Council

Council's Design Standards for Developments details all requirements to be complied with prior to works being accepted On and Off Maintenance by Council.

As Constructed Requirements

As Constructed drawings and documentation for all municipal and drainage works (internal and external to the development site) is to be supplied in accordance with the requirements of Chapter 2, Section C & D of Council's "Design Standards for Developments". Contact Council's Infrastructure Development Unit to determine their specific requirements, as the development will not be placed "on-maintenance" until these specific requirements have been addressed.

Frontage works

The developer must construct the following works, to Council standards, along the entire frontage of the site to **Gordon Street**.

- (a) Footpath earthworks, topsoiling and turfing of all disturbed footpath areas;
- (b) Reinstatement of concrete kerb and channel and concrete footpath, as required;
- (c) Underground stormwater drainage to Council standards. All lintels to stormwater gully pits is to be stamped with Council approved notation related to discharge of pollutants to the Bay;
- (d) Driveway invert and associated crossing slab as per Redland Shire Council standard drawings;
- (e) "Left-in Left-out" turning movements onto Gordon Street only;
- (f) Adjustments and relocations necessary to public utility services resulting from these works;
- (g) Signage and line marking as per the Department of Main Roads' standard, titled the Manual of Uniform Traffic Control Devices (MUTCD);

These works must be completed prior to the use commencing. In this regard, the applicant is required to apply for and receive an associated development works approval from Council.

Electrical and Telecommunications Conduits

The applicant must install necessary conduits for the provision of public utilities along the road frontage of the property, where required by the relevant authority.

In this regard the developer must liaise with the appropriate authorities for telecommunications and electricity supply. Written confirmation of such liaison and requirements must be provided to Council prior to any development permits being issued for any building works within the site.

Electrical Poles and Construction Considerations

A 300mm gap, in any proposed concrete slabs, is to be maintained around the base of all electricity poles along the frontage of the development. Other readily removable surface treatments are to be constructed up to the base of the pole.

Stormwater from Roofed and Paved Areas

Stormwater drainage from roofed and paved areas is to be discharged to an approved drainage system within adjoining road reserve(s) or as otherwise required or agreed in writing by the Manager Assessment Services.

Construction of driveways and drainage must be to Council standards, including the provision for an ARI 100 years overland flow through driveways, open space areas or easements over adjoining properties. An assessment of the effect of 50% blockage of inlets must be included in the drainage calculations.

Temporary drainage is to be provided during the building construction phase such that discharge from all constructed roofs and paved areas is disposed of to an approved street drainage system and not onto the construction site. This temporary system must be maintained for the duration of building works.

Prior to an application for approval of building works on the site being lodged for any works within the site, the applicant must apply for and receive an approval for associated development works for engineering plans and specifications for the construction of proposed drainage.

Stormwater Nuisance and Legal Right of Stormwater Discharge

Overland flow paths and underground drainage is to be designed so as not to directly or indirectly cause nuisance to a downstream or adjoining property. Stormwater from external catchments is to be accepted at ground level and discharged through the subject site to a legal point of discharge.

Reticulated Water Supply Connection

The applicant must connect the proposed development to the existing reticulated water supply system.

Where the existing reticulated water supply does not currently service the site or is not an adequate capacity, the developer is to pay Council its estimated cost to construct the required connection/s to the site.

Requests for connections and estimates must be made to Council in writing, with details of work required specified. The payment for such works is to be made prior to a development permit for building works being issued for the site.

Sewerage Connection

The applicant must connect the proposed development to the existing sewerage system.

Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development, the developer must pay Council its estimated cost to construct the required connections.

Requests for connections and estimates must be made to Council in writing, with details of work required specified. The payment for such works is to be made prior to a development permit for building works being issued for the site.

Earthworks

If the development of the subject property requires soil to be imported or exported, the applicant must identify the allotments that would be used for borrowing or filling and must advise Council of such works. Any significant borrowing or filling may require the approval of Council. If clarification is required on the significance of the works to be undertaken, contact should be made with Council to determine relevant approvals required.

Sediment and Erosion Management

- (a) Prior to and during the construction and maintenance phases of this development the applicant is to be responsible for the installation and maintenance of erosion and sediment management facilities. These facilities must accord with the policy objectives of the Redland Shire Council Local Planning Policy - Erosion and Sediment Control until the development has been accepted as completed by Council.
- (b) The applicant must submit details of erosion and sediment management procedures for approval by Council prior to the issuing of a development permit for any building works for the site. The erosion and sediment management plans must include a schedule detailing the stages at which various management techniques would be in place.
- (c) Recommended erosion control techniques must include but not be limited to:

- (i) soil disturbance, particularly within nominated building envelopes, should be restricted to a minimum,
 - (ii) stormwater run off from upper catchments should be diverted away from disturbed areas,
 - (iii) disturbed areas should be stabilised using mulches (straw, forest mulch, etc.) or other techniques.
 - (iv) the provision of cut off drains, silt fences, straw bales, top soiling and turfing.
- (d) Council reserves the right to enter the site for the purposes of rectifying any sediment management facilities which are inadequate, improperly maintained or not operating in a satisfactory manner, in accordance with the approval plan.
- (e) The applicant is to be responsible for the restoration of the site and any adjoining affected lands where sediment damage has occurred as a consequence of the development. Such restoration is to be completed in a reasonable time determined by the Manager Assessment Services.
- (f) Consideration is to be given to wind blown pollution, and measures implemented so as to achieve these objectives.
- (g) At all times adhere to the "Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites" published by Brisbane City and Gold Coast City Councils, 1998. A copy of the document is attached with this Decision Notice.

Car Parking Facilities and Internal Driveways

Prior to a development permit for building works being issued, or works commencing, the applicant must apply for and receive an approval from Council for Associated Development Works for engineering plans and specifications for the construction of proposed car parking facilities and internal driveways. The following issues are to be addressed:

- (a) Compliance with Australian Standard AS 2890.1: Off Street Parking – Car Parking Facilities.
- (b) Ramps within the road reserve must accord with Council standards, unless determined otherwise by the Manager Assessment Services.
- (c) Provision is to be made for vehicles to turn within the subject site so as to enter and exit the property in a forward gear, without encroachment into formal visitor parking spaces.
- (d) Parking areas should not be used for general storage or any purpose other than the parking of motor vehicles.
- (e) Construction must comply with the following:
 - (i) Pavements is to be flexible or non flexible,
 - (ii) Surfacing is to be a bituminous seal coat, asphalt, concrete, or pavers, and

- (iii) Properly constructed, drained and maintained to good engineering standards.
- (g) All site earthworks, drainage and pavement construction is to be designed and supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing is to be carried out by NATA Registered Laboratories. Prior to occupancy or the use commencing, the Supervising Engineer must submit a certificate certifying that all work has been satisfactorily completed to the quality control criteria for this site.

Water Supply Headworks

A contribution for water supply augmentation must be made to Council, at the rate applicable at the time of payment, prior to a Development Permit for building works being granted or any works commencing, whichever the sooner.

The amount payable for this development must comply with Council's Policy titled, "Water Supply and Sewerage Contributions to the Cost of Works". In this regard the following comments are made:

- The current rate for 2004/2005 per equivalent tenement is \$3911.
- The conversion factor for water supply headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from water supply headworks payable must be made for each allotment over which the application is made.
- The rate of contribution is reviewed annually on 01 July.

Any headworks previously paid may be claimed as contributing towards the amount due to Council.

Sewerage Headworks

A contribution for sewerage augmentation is to be made to Council, at the rate applicable at the time of payment, prior to a Development Permit for building works being granted or any works commencing, whichever the sooner.

The amount payable for this development must comply with Council's policy titled, "Water Supply and Sewerage Contributions to the Cost of Works". In this regard the following comments are made:

- The current rate for 2004/2005 per equivalent tenement is \$4440.
- The conversion factor for sewerage headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from sewerage headworks payable is to be made for each allotment over which the application is made.
- Headworks payable = [Number of units or GFA/100 * conversion factor) – Number of lots over which the application is made] * rate per equivalent tenement.
- The rate of contribution is reviewed annually on 01 July.

Any headworks previously paid may be claimed as contributing towards the amount due to Council.

NB If sewerage is not immediately available, the Council may require that no unit is to be occupied until a sewerage service is available.

Performance Bonding Agreement

The lodgement of security in accordance with the following table must be undertaken to Council to guarantee the execution of works to be done in association with this approval.

All of the following payments to be made to the Council pursuant to any condition of this approval or money to be deposited or bond to be lodged must be made prior to the issue of any development permit for building works in respect of the proposed development, or prior to Council being required to issue any approval for associated development works, or prior to any construction works or the use commencing, whichever is the sooner.

| Item | Amount | Drawn down | Returned |
|---|---------|---|--|
| Engineering Infrastructure external to the site | \$3,000 | to the greater of \$1,000 and 5% of the value of works, when accepted On Maintenance by Council | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| General performance | \$3,000 | not applicable | When all conditions associated with this approval have been complied with, and accepted by Council. |
| TOTAL | \$6,000 | | |

In the case of failure to comply with the provisions covered by this condition, the Council may cause the necessary work to be carried out and may deduct the cost thereof from the money deposited or bond held in accordance with this condition and if such costs exceed the security held, the applicant(s) or their successor is to pay on demand to the Council the amount of such works.

Note The approval of this development remains with the property, and equally, the responsibility for compliance with the conditions of approval remains with the owner of the property, unless this obligation has been passed to a third party.

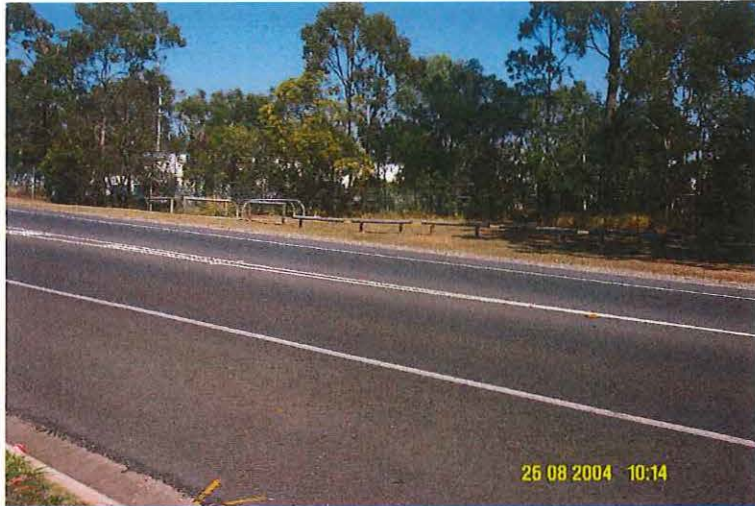
C. ADDITIONAL APPLICATIONS / PERMITS REQUIRED

Associated development works approvals (from Council) are required for:

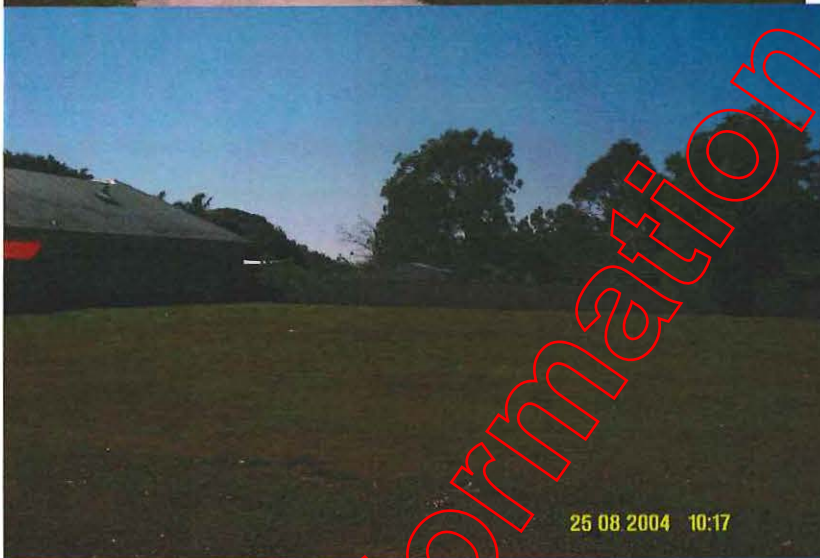
- External roadworks and drainage works;
- Landscaping; and
- Internal car parking and stormwater drainage works

A road opening permit must be obtained from Council where any works are proposed within an existing road reserve. This approval is to be obtained prior to a pre start meeting being arranged for any works / prior to the works commencing.

Right to Information Release



Right to Information Release

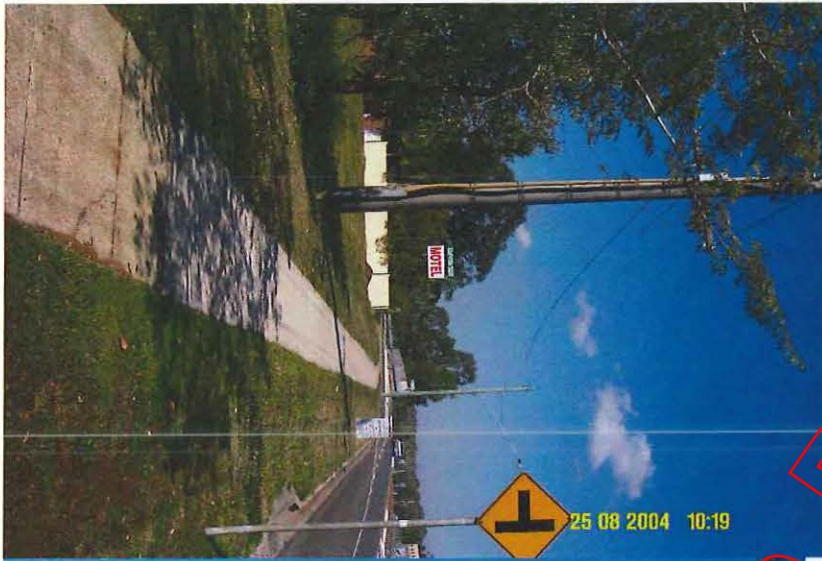


Release

Right to Information



Right to Information Release



Right to Information Release



Right to Information Release



Right to Information Release

PROPOSED MULTIPLE DWELLING (9 UNITS)

Development Permit for a Material Change of Use (Impact Assessment) for a Multiple Dwelling (3 storeys and 9 units) on land at 29-33 Gordon Street, Ormiston (Lot 102 on C627) for Strachan Constructions.

AMENDED STATEMENT OF COMPLIANCE

PREPARED BY

AARON SWEET
BBHEnv (URP), Grad Dip (URP)
Senior Planner

JANUARY 2005

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1.0 Basic Information

| | |
|----------------------|--------------------------------|
| Title Details | Lot 102 on RP C627 |
| Address | 29 Gordon Street, Ormiston |
| Applicant | Stratchan Constructions |
| Owner | Stratchan Constructions |
| Site Area | 2074 square metres |
| Zoning | Comprehensive Development Zone |
| Approval Type | Development Permit |

2.0 Multiple Dwelling Development Code

This section will detail the level of assessment required for the proposal and assessment of the development against the Multiple Dwelling Development Code and Performance Criteria.

Multiple Dwelling Development Code

The Multiple Dwelling Development Code is a Transitional Planning Scheme Policy under section 2.1.18 of the *Integrated Planning Act 1997*. The table below indicates the level of compliance of the proposal with the Acceptable Solutions contained within this Code.

Design Element 1 – Streetscape Amenity

| Performance Criteria | Acceptable Solutions | Compliance |
|--|---|--|
| P1 The layout and design of multiple dwelling development enhance and complement the relevant features and built form of the surrounding streetscape by... | A1.1 The <i>Site Analysis Plan</i> demonstrated how the layout and design of the multiple dwelling development has regard for the existing streetscape, built form, landscaping conditions and natural features of the surrounding neighbourhood. | ✓ Complies. The proposal maintains a building footprint and scale which is consistent with other existing development in the immediate area as evidenced by the Streetscape Elevation. |

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| <p>P2 The frontage of multiple dwelling units and their entries are readily apparent from the public street and/or internal driveway to allow casual surveillance of the public street and/or internal driveway. (see Figure 1.2)</p> | <p>A2.1 A multiple dwelling unit adjacent to a public street or internal driveway addresses the public street or internal driveway by having a front door, living room window and/or balcony facing the public street or internal driveway. (see Figure 1.2 and 1.3)</p> | <p>✓ Complies. The proposal provides clearly defined entries on the street frontage through the 3 entry structures. Signage will direct visitors to the rear units.</p> |
| <p>P3 Multiple dwelling developments are designed with reference to the relevant features of the existing built form that determine the character of the surrounding areas. These elements include...</p> | <p>A3.1 The <i>Site Analysis Plan, Street Character and Context Analysis and Site Development Plans</i> demonstrate how the layout and design of the multiple dwelling development incorporates relevant features that have regard for the existing built form and character of the surrounding area.</p> | <p>✓ Complies. The designs incorporate contemporary elements which are representative of more recent buildings in the surrounding area.</p> |
| <p>P4 Multiple dwelling developments complement and enhance the significance of heritage and character items on-site or on neighbouring properties.</p> | <p>A4.1 Existing dwellings or item of heritage or conservation significance on-site are retained and sympathetically treated.</p> | <p>n/a There are no existing dwellings or items of heritage significance on site.</p> |
| | <p>A4.2 Where a multiple dwelling development adjoins or is in the vicinity of a heritage place, the design of a multiple dwelling development complements the heritage place.</p> | <p>n/a There are no heritage places within the vicinity of the proposed development site.</p> |
| | <p>A4.3 Building form, massing and setbacks, roof pitch form and height are consistent with dominant nearby dwellings of heritage and character significance.</p> | <p>n/a There are no buildings of heritage or character significance in the vicinity of the development site.</p> |

Design Element 2 – Building Size & Bulk

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| <p>P1 The bulk, size and height of a multiple dwelling development is consistent with the density and character of the surrounding neighbourhood or the identified future character of the surrounding area.</p> | <p>A1.1 Multiple dwelling units have a difference in building height between the development and existing buildings of not more than one storey when viewed from a public street or a minimum depth of 10m from the property boundary (see Figure 2.1)</p> <p>A1.2 Multiple dwelling units have a maximum unarticulated building length inclusive of roofs of 10m when facing a public street or internal driveways system, and 25m along side and rear boundaries.</p> <p>A1.3 Multiple dwelling units are articulated by verandahs, balconies, stepping, variation in building materials and building form, colours and textures, changes in roof pitches and/or wall offsets. Articulation by means of offsets at least 1m at a minimum angle of 45° is considered acceptable.</p> | <p>x Performance Solution. The building height does not exceed the equivalent of one storey above that of the adjoining Child Care Centre. The 3 storey component is set back in excess of 20 metres from other common property boundaries.</p> <p>✓ Complies. All elevations are articulated with the use of eaves, windows, screen, recesses and projections, a variety of external materials and changes in the roof profiles.</p> <p>✓ Complies. As above.</p> |
| <p>P2 Building siting and height is related to the landform in order to minimise the amount of cut and fill required.</p> | <p>A2.1 The <i>Site Analysis Plan</i> and <i>Site Development Plans</i> demonstrate how the building siting and height have regard for existing landform.</p> | <p>✓ Complies. The site is generally flat.</p> |

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| <p>P3 Building envelope and setbacks accord with the surrounding neighbourhood or the desired future character of the surrounding area.</p> | <p>A3.1 The <i>Site Analysis Plan</i> and <i>Street Character and Context Analysis</i> and <i>Site Development Plans</i> demonstrate how the site envelope and building setbacks of the multiple dwelling development have regard for the character of the surrounding neighbourhood.</p> | <p>✓ Complies. The building is sited in manner which will ensure that there are no undue impacts on adjoining allotments by way of shadow. The building is considered to be consistent with the scale of commercial developments along Gordon Street.</p> |
| <p>P4 Roof pitches and lines reflect the predominant roof form of the surrounding neighbourhood and complement the character of the area.</p> | <p>A4.1 Roofs are pitched a minimum of 15° and a maximum of 30° and include pitches, gables or skillions.</p> | <p>✗ Performance Solution. The proposed roof profile and lightweight appearance of the development will complement the local character.</p> |
| <p>P5 Building form and design does not substantially affect views (including vistas of heritage places and dominant landmarks) and allows for view sharing where possible.</p> | <p>A5.1 Where the multiple dwelling development has the potential impact on views, the design demonstrates in the <i>Statement of Compliance</i> and the <i>Site Development Plans</i>, the reasonable sharing of views between proposed multiple dwelling development and neighbouring dwellings.</p> | <p>✓ Complies. The proposal does not impact negatively on views from adjoining properties.</p> |
| <p>P6 Facades and building lines are staggered or stepped back to ensure a 'canyoning' effect is not created between facing dwelling units across internal driveway systems.</p> | <p>A6.1 On level ground a minimum 10m separation distance is provided between multiple dwelling units facing each other at ground level across an internal driveway system....</p> | <p>✓ The proposal generally complies. Only porches and non-habitable rooms are located within 10 metres.</p> |

Design Element 3 – Building Setbacks & Site Coverage

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| <p>P1 Front, side and rear setbacks are of appropriate residential character.</p> | <p>A1.1 The minimum setbacks of multiple dwelling developments from site boundaries are not less than...</p> <ul style="list-style-type: none"> • 6.0 metres from the front; • 6.0 metres from the side boundary for 2nd and 3rd stories; • 4.5 metres for ground level if living areas face the boundary. <p>A1.2 Individual dwelling units are setback a minimum distance of 3m from the edge of an internal driveway system</p> <p>A1.3 Garage and carports shall be setback a minimum distance of 5m from the internal driveway system. Where this space is used as a tandem parking space, this distance is to be increased to 5.5m.</p> | <p>x Performance Solution. The verandahs for Units 1 & 3 encroach into the northern setback for the open verandahs. Unit 6 encroaches into the southern setback to 4.513m to wall and adjoins service areas of the Motel. Reduced setbacks are provided on the eastern boundary for the rear building which adjoins an driveway for the Motel.</p> <p>n/a The proposal does not involve individual units.</p> <p>x Performance Solution. Such setbacks are not provided as sufficient manoeuvrability is provided without them. Such setbacks are not considered to add any improvement to the appearance of the development.</p> |
| <p>P2 Site coverage is of appropriate residential character and visual bulk. The site coverage of a multiple dwelling development is based on all other design elements of this Code being satisfactorily addressed.</p> | <p>A2.1 The maximum site coverage of multiple dwelling developments is not more than:</p> <ul style="list-style-type: none"> • 30% (based on 2 or more storeys in the Residential B Zone) | <p>x Performance Solution. A site coverage of 41.9% is proposed including patios and porches for the rear building.</p> |

Design Element 4 – Dwelling Unit Design & Appearance

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| <p>P1 Multiple dwelling units are designed to reflect the relevant features and the prevailing character of the surrounding neighbourhood</p> | <p>A1.1 Multiple dwelling unit design, roof form, detailing and materials visible from public areas and adjoining properties are compatible with the character of neighbouring buildings (see Figure 4.1)</p> <p>A1.2 The appearance of individual multiple dwelling units are varied where the multiple dwelling development is within an established area with diverse building styles (see Figure 1.2)</p> | <p>✓ Complies. Roofs profiles are representative of other buildings within the street.</p> <p>✓ Complies. Modern architectural styles consistent with that of the proposal are located within the street.</p> |
| <p>P2 Individual multiple dwelling units are identifiable from other dwelling units</p> | <p>A2.1 Individual dwelling units are differentiated from one another through a variation of design treatments including changes in colours, textures and fenestration, while maintaining homogeneity in design.</p> | <p>✓ Individual units will be identifiable through appropriate signage. Recesses in the building facades assists in defining separate units within the 2 buildings.</p> |
| <p>P3 Entries to individual dwelling units are easily identifiable and give a sense of personal address by allowing residents to see visitors before they enter the dwelling unit (see Figure 4.2)</p> | <p>A3.1 Individual dwelling units have an identifiable front entrance by means of an entrance porch which:</p> <ul style="list-style-type: none"> • has minimum dimensions of 1.5m wide x 1m deep; and • is capable of being lit at night, be fully paved, provide adequate weather protection and be suitable for disable use. | <p>✓ The proposal complies where possible. Upper level units have a clearly defined entry through a common portico and stairwell.</p> |

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| P4 Multiple dwelling developments shall provide adaptable housing units in accordance with the provisions of Council's <i>Adaptable Housing Policy</i> . | A4.1 The <i>Site Development Plans</i> demonstrate how the multiple dwelling development satisfies the provisions of Council's <i>Adaptable Housing Policy</i> . | n/a The proposal does not seek to provide Adaptable Housing although there is the potential for Unit 9 to comply. |
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Design Element 5 – Car Parking & Site Access

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| P1 Site location and layout is to maximise opportunities for the use of public transport, cycling and walking. | A1.1 Pedestrian and bicycle links from the site provided direct access to public transport and other public facilities. A1.2 Bicycle tracks are provided in safe and convenient locations through out the multiple dwelling development... | ✓ Complies. The proposal allows access for cycling and walking. ✓ Complies. There is adequate room for bicycle storage within individual garages. |
| P2 Car parking facilities are designed and located to: <ul style="list-style-type: none"> • enable the efficient use of carparking spaces and accessways, including adequate manoeuvrability of vehicles between the street and site; • conveniently and safely service users; • be close to dwelling units; • be secure and allow surveillance from dwelling units; • provide designated carparking spaces for vehicles used by people with disabilities; and | A2.1 Vehicles can turn within the site, and enter and exit the public street in a forward direction. A2.2 Internal accessways are located to provide convenient connection between the public street and all internal parking and service area within the site. | ✓ Complies. ✓ Complies. |

- reduce the visual dominance of carparking areas, garages and accessways (see Figure 5.1 – Figure 5.3)
- reduce the use of impervious materials in car parking areas where practical in order to achieve more water sensitive urban design.

A2.3

The maximum length of internal driveways or accessways is not more than 40m on a straight alignment without a slow point of 15km/hour designed into the roadway.

n/a

A2.4

The widths and cross-section of roadway verges adequately provide for pedestrian footpaths, utility services and landscaping for visual amenity.

✓
Complies.

A2.5

Verge widths are a minimum of 1.5m where no constructed footpath is required, or 2.5m where a footpath is required.

✗
The pedestrian access arrangements in the rear forecourt are considered reasonable as only 5 units will use that area.

n/a

A2.6

A footpath is constructed within the multiple dwelling development where the 'traffic catchment' of the internal roadway exceeds 20 dwelling units. The layout incorporates linkages to public and communal open spaces and services on and off site.

A2.7

Carparking is recessed behind the front facade of the multiple dwelling units or located underground or within a building.

✓
Complies. The garages are located within the buildings and do not dominate the facade as they are recessed behind the front building lines. The undercover

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| | | <p>parking is architecturally treated to reduce its dominance.</p> <p>n/a</p> |
| | <p>A2.8 Carports and garages are set back a minimum distance of 5m from the internal driveway system. Where this space is used as a tandem parking space, this distance is increased to 5.5m.</p> | n/a |
| | <p>A2.9 Pervious material are utilised in carparking areas except for turning areas and driveways.</p> | <p>n/a</p> <p>Such treatment creates a maintenance problem.</p> |
| | <p>A2.10 Within large developments (20 or more multiple dwelling units) on-site visitor carparking areas are provided separate from the multiple dwelling units. These spaces are commonly available and conveniently accessible within large developments located as uniformly as possible throughout the multiple dwelling development.</p> | n/a |
| <p>P3 Car parking facilities are provided according to the projected needs of residents and visitors.</p> | <p>A3.1 Car parking is provided after consideration of all other factors and provided in accordance with the following amount of carparking space per multiple dwelling unit:</p> <ul style="list-style-type: none"> • 1.5 spaces per unit • 0.5 visitor space per unit | <p>✓</p> <p>Complies. A total of 18 spaces are provided for the units, 5 of which are visitor spaces.</p> |

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| | <p>A3.2 One carparking space per multiple dwelling unit is covered and capable of being enclosed.</p> <p>A3.3 Boat storage is provided in accordance with the following amount of boat storage space per multiple dwelling unit...</p> | <p>✓ Complies. Each unit is provided with a minimum of 1 covered car parking space.</p> <p>n/a It is not equitable for unit residents to expect to be able to store a boat on site.</p> |
| <p>P4 Accessways and carparking areas are suitably designed and landscaped to enhance the amenity of the multiple dwelling development and the surrounding neighbourhood (see Figure 5.4)</p> | <p>A4.1 Vehicle parking structures are designed and located to be compatible with overall building design in terms of height, roof form, detail, material and colours.</p> <p>A4.2 Shade trees are provided adjacent to visitor carparking areas that do not conflict with safety standards in the Australian Standards for carpark area lighting.</p> <p>A4.3 Alternative materials, patterns, or threshold treatments are used to break up vehicle movement areas. Within developments of 6 or more multiple dwelling units...</p> <p>A4.4 Accessways and carparking areas are not constructed of highly reflective and easily stained plain concrete...</p> | <p>✓ The carparking is integrated into the building design.</p> <p>✓ To be determined through the landscape plan approval process.</p> <p>✓ Appropriate pavement treatments will be applied.</p> <p>✓ Complies. Aggregate or similar to be provided.</p> |

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| <p>P5 The location and design of accessways and carparking area minimise impacts on neighbouring dwellings.</p> | <p>A5.1 Accessways and carparking areas are located away from the bedroom windows of adjacent dwelling units.</p> <p>A5.2 Vehicle parking is:</p> <ul style="list-style-type: none"> • screened to minimised reflection of car headlights onto dwelling windows and to attenuate noise; and • separated from habitable windows to minimise light, noise and fumes disturbance. <p>A5.3 Acoustic screening is provided next to any vehicle movement or carparking area along the side and rear boundary or adjacent to habitable rooms of dwelling units.</p> | <p>✓ Complies. At ground level, bedrooms are located away from the common driveway.</p> <p>✓ Complies.</p> <p>n/a Driveways and parking areas are sufficiently separated from neighbouring allotments.</p> |
| <p>P6 Accessways and carparking areas are designed, surfaced and sloped to manage stormwater.</p> | <p>A6.1 Site Development Plans demonstrate how the accessways/carparking areas are designed, to manage stormwater.</p> | <p>✓ Complies. Stormwater will drain to the street.</p> |
| <p>P7 Pedestrian access is provided between public and communal open space areas, carparking areas, and building entries in a way that ensures a sense of security to residents and visitors (see Figure 5.5 and Figure 5.6)</p> | <p>A7.1 Clearly marked pedestrian entrances to the site and pedestrian paths are provided which are paved and lit at night.</p> <p>A7.2 Where there are 20 or more multiple dwelling units, a site layout map is</p> | <p>✓ Complies. Lighting will be provided at the entries of each unit.</p> <p>n/a</p> |

provided.

Design Element 6 – Landscaping & Open Space

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| <p>P1 The site layout and landscape design provides open spaces that contribute to a pleasant, safe and attractive living environment by:</p> <ul style="list-style-type: none"> • locating open spaces to take advantage of the site's natural features including views, solar access and prevailing breezes; • providing appropriate planting to streets fronted by the multiple dwelling development; • providing safe and convenient pedestrian and bicycle paths that are paved and lit at night; • retaining existing landscaping | <p>A1.1 A planted buffer strip an average width of 2m is provided along the length of any public road fronted by the multiple dwelling development.</p> <p>A1.2 Site layout and landscape design emphasise a clear pedestrian entry point and consider personal safety by providing good visibility along paths and driveways, and avoiding shrubby landscaping near thoroughfares</p> <p>A1.3 Existing mature and established trees are retained and integrated into the site layout design by the appropriate siting of the multiple dwelling development.</p> <p>A1.4 Public utility services within the multiple dwelling development site are provided underground on an alignment to ensure the retention of significant vegetation.</p> | <p>✓ Complies.</p> <p>✓ Complies. Pedestrian entry points are identified through 3 separate gatehouses along the property frontage.</p> <p>✓ The site contains no significant vegetation.</p> <p>n/a As above.</p> |
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| <p>P2 Landscape design allows for the overlooking of the street and pedestrian entry areas.</p> | <p>A2.1 The <i>Site Analysis Plan</i> and <i>Site Development Plans</i> demonstrate how the landscape design allows the overlooking of the street and pedestrian entryways.</p> | <p>✓ Complies. The design allows for passive visual surveillance of the street where possible from balconies and windows on the front elevation (given that it faces due west).</p> |
| <p>P3 The design and style of fencing or other screening measures shall ensure issues of privacy, visual appearance and general amenity are addressed.</p> | <p>P3.1 Front fences and walls are:</p> <ul style="list-style-type: none"> • not more than 1.2 metres from the ground level where the fence is solid (see Figure 6.3); or • not more than 1.8 m from ground level where the fence is at least 30% transparent (see Figure 6.4) <p>A3.2 Screen walls or close wooden boarded fences along the side and rear boundaries are a maximum of 1.8m in height when required for screening purposes. Where the side or rear boundaries adjoin open space/parkland these walls are a maximum of 1.4 in height.</p> <p>A3.3 Solid fences and walls to 1.8m in height are only constructed along the site's frontage where traffic volumes and noise along the public street frontage by the multiple dwelling development...</p> | <p>✗ Performance Solution. A 2.1 metre high fence with feature timber battens and a varied alignment is proposed as required by the Acoustic Report. The location, treatment and alignment of the fence are considered acceptable as there will be a landscaped setback.</p> <p>✓ The proposal will comply.</p> <p>See A3.1 above.</p> |

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| | <p>A3.4 Where the fence or wall is solid along the site frontage, the fence shall cover:</p> <ul style="list-style-type: none"> • not more than 75% of the length of the site frontage boundary line; or • 100% of the site frontage boundary line where traffic volumes and/or noise are considered by Council to be excessive. | <p>✓ Complies. The Acoustic Fence extends for a length of 21.3 metres or 42.3% of the frontage.</p> |
| | <p>A3.5 Internal fencing is not more than 1.2m in height</p> | <p>✗ 1.8 metre high fencing is proposed to separate the units open space and to provide privacy between them.</p> |
| <p>P4 Landscape design specifies the location and species of trees, shrubs and ground cover in a way that...</p> | <p>A4.1 The landscape design shows...</p> | <p>✓ A landscape plan will be prepared showing these details prior to building approval.</p> |
| <p>P5 Paving materials are designed to:</p> <ul style="list-style-type: none"> • reduce glare and minimise surface run-off; • ensure access for people with limited mobility; • add visual interest and variety; • differentiate the accessway from the public street; • encourage shared use of accessways between pedestrians, cyclists and vehicles | <p>A5.1 A selection of paving materials used, including brick, clay or concrete pavers, exposed aggregate, stamped pigmented concrete, bitumen or pervious material where practical.</p> <p><i>Note: Paving materials used for pedestrian paths and areas are to comply with the provisions of AS3661.1 Slip resistance of pedestrian surfaces.</i></p> | <p>✓ Complies. The driveway will comply.</p> |
| <p>P6 All landscaping, fencing and site facilities shall be designed and located so as not to interrupt or block overland path flows</p> | <p>A6.1 All landscape plans authorised by a hydraulic consultant to ensure overland flow paths are not blocked or</p> | <p>n/a The site is generally flat. A conceptual Civil Plan has been previously submitted.</p> |

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| | Interrupted | |
| P7 The multiple dwelling development provides sufficient communal and private open space and private open space for resident needs (see Figure 6.6) | P7.1 Private and communal open space is provided exclusively for the use of the residents of a multiple dwelling development at the rate of... A7.2 For small multiple dwelling developments (considered by Council) to comprise of less than 20 dwelling units) the site layout maximises the allocation of outdoor areas for individual dwelling unit private open space, and limits land allocated for communal open space... A7.3 Communal open space and recreation facilities are provided where a significant proportion of dwellings do not have access to ground floor private open space. A7.4 Where a multiple dwelling development comprises of more than 20 dwelling units... A7.5 In order for external living space to be useable for relaxation and passive recreation it needs to at least achieve the minimum noise design level criteria of Annexure 3 of Council Policy – Impact of Transportation System on Urban Amenity. | ✓ An appropriate amount of private and communal open space is provided for the development. ✓ The proposal generally complies. ✓ Complies. n/a ✓ Complies. An Acoustic Report has been prepared and previously submitted to Council. |
| P8 Private open space is: | A8.1 Where the main living | ✓ |

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| <ul style="list-style-type: none"> • clearly defined for private use; • able to accommodate some outdoor recreational needs; • directly accessible from the main living area of the dwelling unit with part of the private open space capable of serving as an extension to the main living area of the dwelling unit. (see <i>Figure 6.7</i>) • located to ensure privacy from neighbouring multiple dwelling units (see <i>Figure 6.8</i>); and • orientated to maximise opportunities for solar access, prevailing breezes and views. | <p>area of the dwelling unit is located on ground floor level, a private court with a minimum area of 30m² and a minimum dimension of 4.5m directly accessible from the main living area of the dwelling unit is provided (see <i>Figure 6.9</i>) The private court has a maximum gradient of 1 in 10 and is oriented within 20° of north. A shaded, level, paved area is adjacent to the main living area of the dwelling unit. Is provided with a minimum area of 8m² and a minimum dimension along one side of 3m.</p> | <p>The proposal generally complies with open space being located in the optimal positions.</p> |
| | <p>A8.2 Where the main living area of the dwelling unit is located above the ground floor level...</p> | <p>✓ Complies. Appropriately sized balconies are provided for upper level units.</p> |
| | <p>A8.3 Direct access to the private open space is provided by a glazed sliding door a minium of 2.4m wide from the main living area of the dwelling unit (see <i>Figure 6.7</i>)</p> | <p>✓ Access to the open space provided is considered to be optimal.</p> |

Design Element 7 – Climatic Design

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| <p>P1 The design and siting of multiple dwelling developments minimises the amount of energy required for heating and cooling</p> | <p>A1.1 A 3 ½ star rating under the nationally accredited House Energy Rating Scheme is achieved for each unit within a multiple dwelling development. OR A1.2 A maximum total expected energy usage of 105/MJ/m²/yr is achieved...</p> | <p>✓ The proposal will comply.</p> <p>✓ The proposal will comply.</p> |
| <p>P2 Site orientation and building design of the multiple dwelling development:</p> <ul style="list-style-type: none"> • minimises the need for mechanical cooling; • naturally ventilates roof spaces; • maximises cross-ventilation; • uses shade structures over windows and external doors • provides covered outdoor living areas; • avoids long walls along western boundaries; and • does not restrict prevailing breezes or create wind tunnels. | <p>A2.1 Buildings are orientated on an east-west axis to maximise solar access to living areas (see Figure 7.1)</p> <p>A2.2 Major living areas and other main habitable rooms are located on the north side of the multiple dwelling unit or oriented with 20° either side of north (see Figure 7.2 – Figure 7.5). Laundries, bathrooms, toilets, garages and other rooms requiring minimal climatic control are located away from the north side of the multiple dwelling unit (see Figure 7.6)</p> <p>A2.3 Living areas are well insulated and located to maximise the absorption of sunlight in winter, and shaded to reduce heat absorption on the western wall alignment in summer (see Figure 7.7).</p> | <p>✓ Units are orientated towards north east wherever possible.</p> <p>✓ See A2.1 above.</p> <p>✓ Complies. Eaves are provided with window sizes minimised on the western elevation.</p> |

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| | <p>A2.4 Lightweight materials are used on the northern side of dwelling units and/or for the bedroom areas (see Figure 7.7)</p> <p>A2.5 North facing windows are used wherever possible to allow for minimum summer heat gains and maximum winter heat gains.</p> <p>A2.6 Roofs are lightweight and light coloured, and roofs and walls are insulated to at least the level recommended at AS2027 Thermal Insulation of dwellings.</p> <p>A2.7 Multiple dwelling units are designed to take advantage of prevailing cooling breezes by placing windows of appropriate size in location that allow the greatest air exchange. Units are designed with opening on opposite or adjacent walls from cross-ventilation.</p> <p>A2.8 Adjustable exterior shading devices are used to protect from summer sun such as overhanging balconies, wide eaves, verandahs, pergolas and window shutters.</p> | <p>✓ Complies. Glazing is generally provided on the north.</p> <p>✓ Complies. Eaves are provided on all elevations.</p> <p>✓ Complies. The buildings will be insulated to meet the requirements of the Standard Building Regulation 1993.</p> <p>✓ The proposal generally complies.</p> <p>✓ Complies. Eaves are provided to lessen the impact of summer sun.</p> |
| <p>P3 Windows are appropriately sized, shaped and located to reduce summer heat load, permit entry of winter sun and promote cross ventilation by...</p> | <p>A3.1 Windows to north-facing living areas at least 3 hours of sun to their surface between 9am and 5pm on 21 June.</p> | <p>✓ Complies where possible.</p> |

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| <p>P4 Site layout and landscape design contribute to energy efficiency and amenity by providing substantial shade in summer and admitting sunlight in winter by:</p> <ul style="list-style-type: none"> • retaining existing deciduous trees where possible and providing for additional planting of deciduous trees (see Figure 7.9) • providing court yards and private open spaces with summer shade and vegetation; and • minimising large areas of paving and/or bitumen | <p>A4.1 Landscape design provides substantial shade in summer, especially to west-facing windows and open car park areas and admitting sunlight in winter to outdoor and indoor living areas.</p> | <p>✓ Landscaping design will comply where practicable.</p> |
| <p>P5 Site layout and design of the multiple dwelling development does not obscure sunlight or prevailing breezes to habitable rooms and private open space of neighbouring properties, particularly winter sunlight.</p> | <p>A5.1 Access to sunlight on neighbouring properties' habitable rooms and/or private open space is not reduced to less than 2 hours between 9am and 3pm on June 21. Where existing overshadowing by building and fences is greater than this, sunlight is not reduced by more than 20%.</p> | <p>✓ Complies. The location and height of the building will not negatively affect sunlight penetration on adjoining allotment in a manner which will reduce amenity given the characteristics of the adjoining Motel development.</p> |

Design Element 8 – Visual Privacy & Acoustic Amenity

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| <p>P1 Direct overlooking of habitable living areas and private open spaces of other dwellings is minimised by:</p> <ul style="list-style-type: none"> • site and building layout; • location and design of windows and balconies; • screening devices and landscaping; and • distance (see Figure 8.1 and Figure 8.2) | <p>A1.1 Habitable room windows and/or balconies with a direct outlook to habitable room windows and/or balconies of adjacent dwellings within a distance of 10m and within an angle of 45°...</p> | <p>n/a No privacy impacts will occur.</p> |
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| | <p>A1.2 Outlook from areas within a multiple dwelling development are obscured or screened where a direct view is available into the private open space of an existing dwelling. Direct views into adjoining private open space is obscured by...</p> | <p>n/a Screen fences and privacy screens will be provided</p> |
| <p>P2 Site layout and building design protect bedrooms, habitable rooms and private open spaces from intrusive noise and vibration from external noise sources and neighbouring dwelling units by separating by ways of barriers and/or distance:</p> <ul style="list-style-type: none"> • communal open space areas and active recreational facilities; • parking areas; and • vehicle accessways and service equipment areas. | <p>A2.1 Bedroom windows are at least 3m from internal driveways, car parking areas and recreational areas and do not adjoin living areas and garages of adjoining dwellings.</p> <p>A2.2 Dwellings close to high-noise sources (such as busy roads, railway, commercial establishments or other noise generating uses) are designed to located habitable rooms and private open space away from noise sources and are protected by appropriate noise attenuation measures.</p> <p>A2.3 Dwelling units are designed and constructed to reduce the transmission of intrusive noise between shared walls and floors of dwelling units...</p> | <p>✓ Generally complies.</p> <p>✓ Complies. Bedrooms are orientated away from noise sources.</p> <p>✓ Complies. Common walls between units will be fire-rated which will reduce noise transmission.</p> |

Design Element 9 – Security

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| <p>P1 The multiple dwelling units and/or private open space areas is designed to overlook public streets and internal driveways and other public areas to provide casual surveillance.</p> | <p>A1.1 A dwelling unit adjacent to public or communal streets or open space has:</p> <ul style="list-style-type: none"> • at least one habitable room window with an outlook to that area; or • private open space, such as balconies, overlooking public areas (see Figure 9.2) <p>A1.2 Site layout and design consists of communal clusters of dwelling units which provide increased opportunities for cross surveillance as opposed to linear rows of dwelling units.</p> | <p>✓ Complies.</p> <p>✓ Complies.</p> |
| <p>P2 Appropriate external lighting is provided to the multiple dwelling development and facilities and surrounding public areas.</p> | <p>A2.1 Appropriate external lighting is provided to all pedestrian paths between public and shared areas, car parking areas and building entries.</p> | <p>✓ Complies. Lighting will be provided at the entries to each dwelling unit.</p> |
| <p>P3 The site layout, building design and landscaping enhances personal safety and minimises the potential for crime, vandalism and fear.</p> | <p>A3.1 Site planning, buildings, fences, landscaping and other features clearly define territory and ownership of all public, common, semi-private and private space.</p> <p>A3.2 Individual dwelling unit design allows visitors who approach the front door to be seen without the need to open the door.</p> | <p>✓ Complies. Fencing divides the open space for each of the dwelling units.</p> <p>✓ Complies. Dwellings have windows or peek holes allowing surveillance of entrances.</p> |

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| | <p>A3.3 Shared entries service a maximum of 8 dwelling units and are able to be locked</p> <p>A3.4 Building identification and numbering is prominent and clearly identifiable at night.</p> | <p>n/a Only 4 units share a single entry stairwell.</p> <p>✓ The proposal will comply.</p> |
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Design Element 10- Site Facilities

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| <p>P1 All site facilities, including waste and recycling bin storage and collection areas, mailboxes and external storage facilities, are sited and designed for attractive visual appearance and function, are unobtrusive and are located behind the building line (see Figure 10.1).</p> | <p>A1.1 The <i>Site Analysis Plan</i> and <i>Site Development Plans</i> demonstrate how the site facilities are located with regard to attractive visual appearance and function, are unobtrusive and are located behind the building line.</p> | <p>✓ Complies. Bin storage is provided adjacent to the northern boundary in a designated enclosure and to the sides of Units 7 and 9.</p> |
| <p>P2 Waste and recycling bin storage compounds and collection areas are designed for efficient and convenient use including easy access for servicing.</p> | <p>A2.1 Where an internal waste and recycling collection is required, adequate accessibility is provided for the waste and recycle collection vehicles...</p> <p>A2.2 2 wheelie bins (1 waste and 1 recycle bin) are provided for each individual dwelling. Bins can be stored in the curtilage of each individual dwelling on a hardstand surface, or within specifically built bin compound(s)...</p> <p>A2.3 An industrial waste bin(s) is provided as an</p> | <p>n/a Due to the limited number of units, bins will be emptied from the footpaths. Dedicated collection day storage areas are location on either side of the driveway.</p> <p>✓ Complies.</p> <p>n/a</p> |

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| | <p>alternative to wheelie bins...</p> <p>A2.4 Wheelie bins are placed on the internal or kerbside...</p> <p>A2.5 Where a bin washdown bay is provided on-site.</p> | <p>✓</p> <p>Complies. Wheelie bins are able to be placed on the footpath.</p> <p>n/a</p> |
| <p>P3 Mailboxes are located for convenient access to residents and deliverers.</p> <p><i>Note: Mailboxes are to be located according to the requirements of Australia Post</i></p> | <p>A3.1 Mailboxes or a mailbox structure is centrally located close to the major street entry to the site.</p> <p>A3.2 All mailboxes are lockable.</p> | <p>✓</p> <p>Letterboxes will be incorporated in the main gatehouse structure at the front of the site.</p> <p>✓</p> <p>Complies.</p> |
| <p>P4 Site facilities include the provision of parking for bicycles according to projected user needs, provided in safe, convenient locations throughout the multiple dwelling development.</p> <p><i>Note: Bicycle facilities and parking areas are to be designed, constructed and provided in accordance with AS2890.3 Bicycle parking facilities.</i></p> | <p>A4.1 The <i>Site Analysis Plan</i> and <i>Site Development Plans</i> demonstrate how the bicycle facilities are provided with regard to projected user needs, and located in safe, convenient locations through out the multiple dwelling development.</p> | <p>✓</p> <p>Complies. Bicycles can be stored within individual unit garages.</p> |
| <p>P5 Adequate storage areas are provided according to the projected needs of residents.</p> <p><i>Note: Storage space areas are to be provided exclusive of private open space areas.</i></p> | <p>A5.1 Storage space of at least 8m³ of space per dwelling unit is provided. 50% of this space must be externally accessible and may be part of a carport, garage or be a lockable unit at the side of the garage.</p> | <p>✓</p> <p>Adequate storage is provided on site as indicated on the proposal plans.</p> |

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| <p>P6 Adequate clothes drying facilities in the form of external clotheslines and/or mechanical dryers are provided for each multiple dwelling units. Open-air clothes drying facilities are provided where practical, and screened from view from the street.</p> <p><i>Note: The drying and airing of clothes is not permitted from balconies and should not be visible from the any public space.</i></p> | <p>A6.1 Open-air clothes drying facilities are provided in sunny, ventilated and convenient locations that are adequately screened from public streets, internal driveways and communal recreation areas.</p> <p>A6.2 Where more than 25% of multiple dwelling units do not have access to ground floor level private open space, mechanical dryers and/or communal open space drying facilities are provided in at least one continuous areas that meets the requirements of residents.</p> | <p>✓ Complies. Clotheslines are to be provided in the private open space areas. A communal drying area is provided adjacent to the southern property boundary. Refer to Site Plan.</p> <p>✓ Complies. As above.</p> |
| <p>P7 Telecommunication equipment is provided in a manner that has minimal visual impact on the adjoining properties and streetscape whilst adequately servicing the needs of residents.</p> | <p>A7.1 Antennas, aerials, satellite dishes or the like shall be minimised to 1 device per building rooftop and shall be in accordance with Council's policy <i>Installation of Satellite Dishes.</i></p> | <p>✓ The proposal will comply.</p> |

Design Element 11 – Earthworks & Site Drainage

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| <p>P1 Filling or excavation does not:</p> <ul style="list-style-type: none"> • Impacts adversely on visual amenity or privacy of neighbouring properties; • alter the appearance of the dwelling inconsistent with the existing streetscape or adjoining natural ground level; • cause erosion, earth slippage or other hazard to adjoining properties during construction. | <p>A1.1 No cutting or filling of the proposed building platform in excess of 1m (in aggregate) is carried out.</p> | <p>✓ Complies. The site is relatively flat.</p> |
| <p>P2 On-site drainage systems are designed to...</p> | <p>A2.1 An underground drainage system is installed on-site and run-off from all directly connected impervious areas is to an approved drainage system.</p> <p>A2.2 Landscape design assists on-site infiltration of stormwater run-off by:</p> <ul style="list-style-type: none"> • maximising and grading unpaved or unsealed landscaping area of common open space and carparking; and • providing permeable paving where appropriate. | <p>✓ Stormwater will drain to the street. See conceptual Civil Plan.</p> <p>✓ Complies.</p> |
| <p>P3 Adequate erosion and sediment controls are provided in the building and construction stages of the multiple dwelling development.</p> | <p>A3.1 Compliance with erosion and sediment control measures of the <i>Stormwater Quality Control Guidelines for Local Government (1998)</i> and the <i>Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites (1998)</i>.</p> | <p>✓ The construction of the building will comply.</p> |

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| <p>P4 All stormwater is deposited safely to a legal point of discharge.</p> | <p>A4.1 The Site Development Plans demonstrate how stormwater will be deposited safely to a legal point of discharge.</p> | <p>✓ Stormwater will drain to a legal point of discharge.</p> |
| <p>P5 The roof drainage system reduces the risk of blockages where significant vegetation is retained. Note: Roof water drainage systems are connected to inter-allotment drainage consistent with QUSM specifications and standards.</p> | <p>A5.1 Leaf guards are fitted to guttering at downpipes. Clean out points are provided on underground pipe systems.</p> | <p>✓ The proposal will comply.</p> |
| <p>P6 Landscaping and building design are such that they minimise the consumption of water.</p> | <p>A6.1 Run-off from roofs or paved surfaces are directed to surface water storage devices that allow for the re-use of the water for other purposes such as carwashing and garden watering. A6.2 Water consumption is minimised by: <ul style="list-style-type: none"> landscaping with plant species which require minimal water; using appropriate mulches to planting beds. </p> | <p>n/a Such devices are not practical for a development of this size. ✓ Complies.</p> |

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| P7 Any earthworks associated with a multiple dwelling development that may involve filling, draining and/or excavation of acid sulfate soils shall not result in any environmental harm to land or waters. | A7.1 If preliminary investigations conducted in accordance with Annex 1 of State Planning Policy 1/00: <i>Planning and Management of Coastal Development Involving Acid Sulfate Soils</i> indicate the presence of acid sulfate soils, an Environmental Management Plan shall be submitted to Council in accordance with Annex 3 of State Planning Policy 1/00 detailing management, and if necessary treatment of these soils. | n/a The site is not low lying and is not believed to be susceptible to Acid Sulfate Soils. |
| External Lighting | | |
| P6 Carparking areas and pedestrian accessways to dwelling entries are adequately lit at night for the safety and security of residents and visitors. | A6.1 Lighting is provided to dwelling entries, carparking areas and pedestrian accessways. | ✓ Complies. Lights will be provided at the front porches. |

SITE LAYOUT PLAN

GORDON STREET

Concept Drawing for Town Planning Approval ONLY

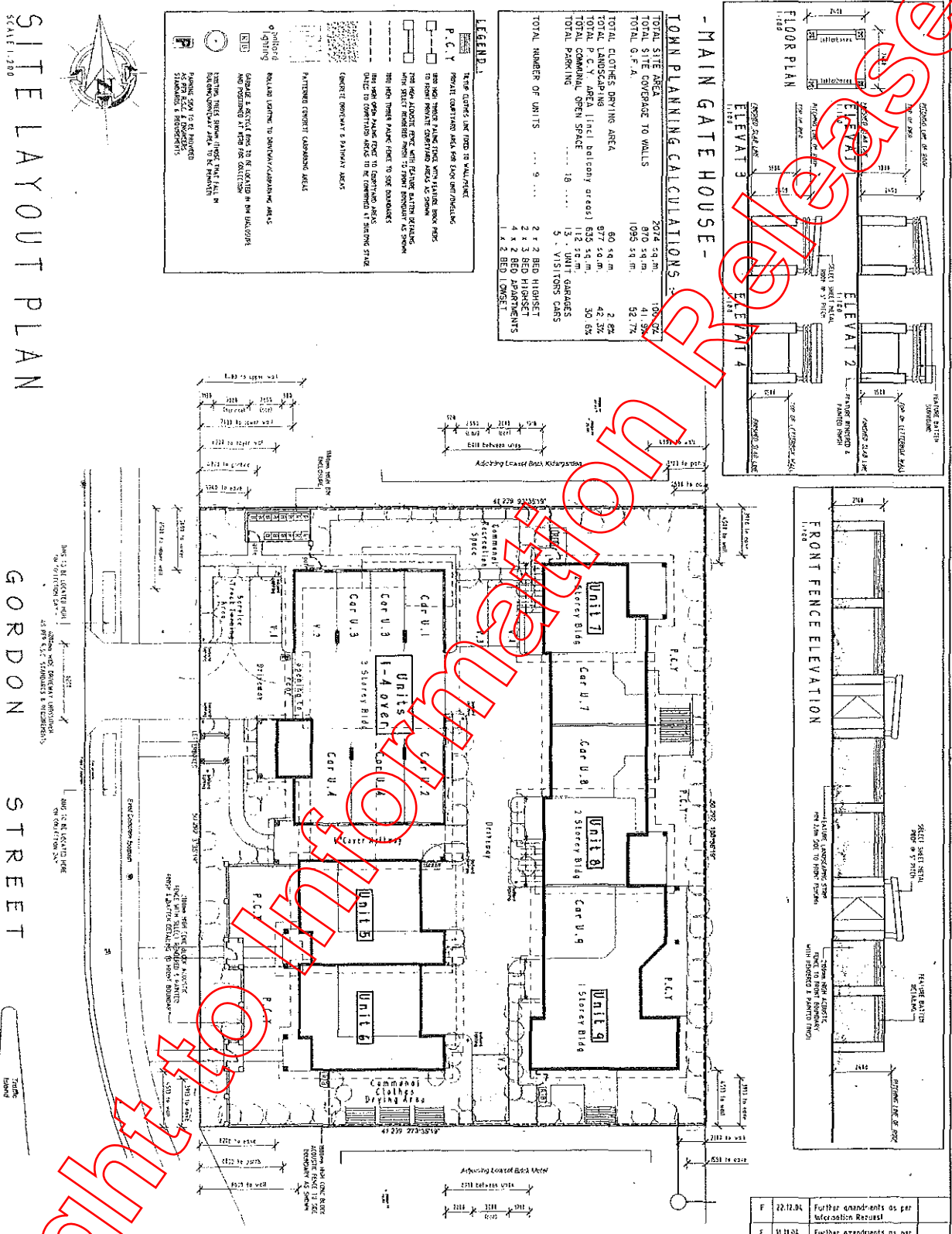
ACCEPTED BY COUNCIL
 THESE PLANS, DRAWINGS, SPECIFICATIONS, AND CONDITIONS OF CONTRACT, SHALL BE THE BASIS FOR THE CONSTRUCTION OF THE PROJECT AND SHALL BE THE PROPERTY OF THE ARCHITECT. NO PART OF THESE PLANS, DRAWINGS, SPECIFICATIONS, AND CONDITIONS OF CONTRACT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

MODINI + SMITH
 ARCHITECTS
 10/11 B. STREET, BUNNELL
 2007 551 1111
 2007 551 1111
 2007 551 1111

PROPOSED DEVELOPMENT
 29 GORDON STREET
 ORMISTON
 W.E. & J.A. STRACHAN, E.D. & S.H.
 STRACHAN & P.G. & K.L. STRACHAN

REAL PROPERTY DESCRIPTION
 LOT 102
 P.P. 6427
 PARISH OF CLEVELAND
 COUNTY OF STANLEY
 SITE AREA 2074 sq.m.
 510 SQ. METERS
 LOCAL AUTHORITY - REDLAND S.C.
SITE PLAN
 02-450 (1)

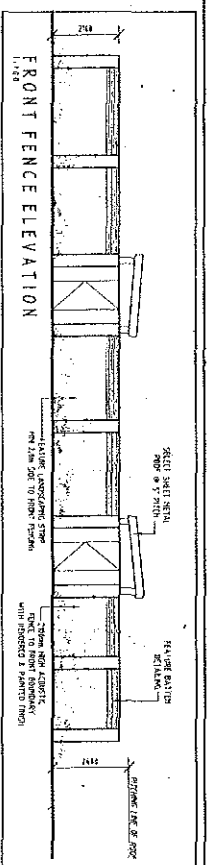
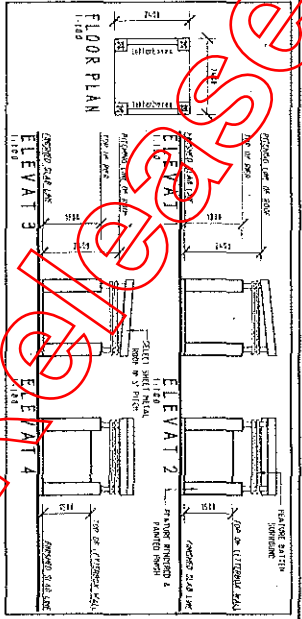
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|------|----------|--|
| DATE | 23.07.03 | Further amendments as per Information Request |
| DATE | 11.11.04 | Further amendments as per R.S.C. meeting & Information Request |
| DATE | 19.10.06 | Unit layout amendments & Facade changes |
| DATE | 29.05.06 | General amendments as per Information Request |
| DATE | 11.05.06 | General amendments as per Information Request |
| DATE | 01.06.06 | Original Issue |
| DATE | 01.06.06 | Amended |
| DATE | 01.06.06 | Checked |



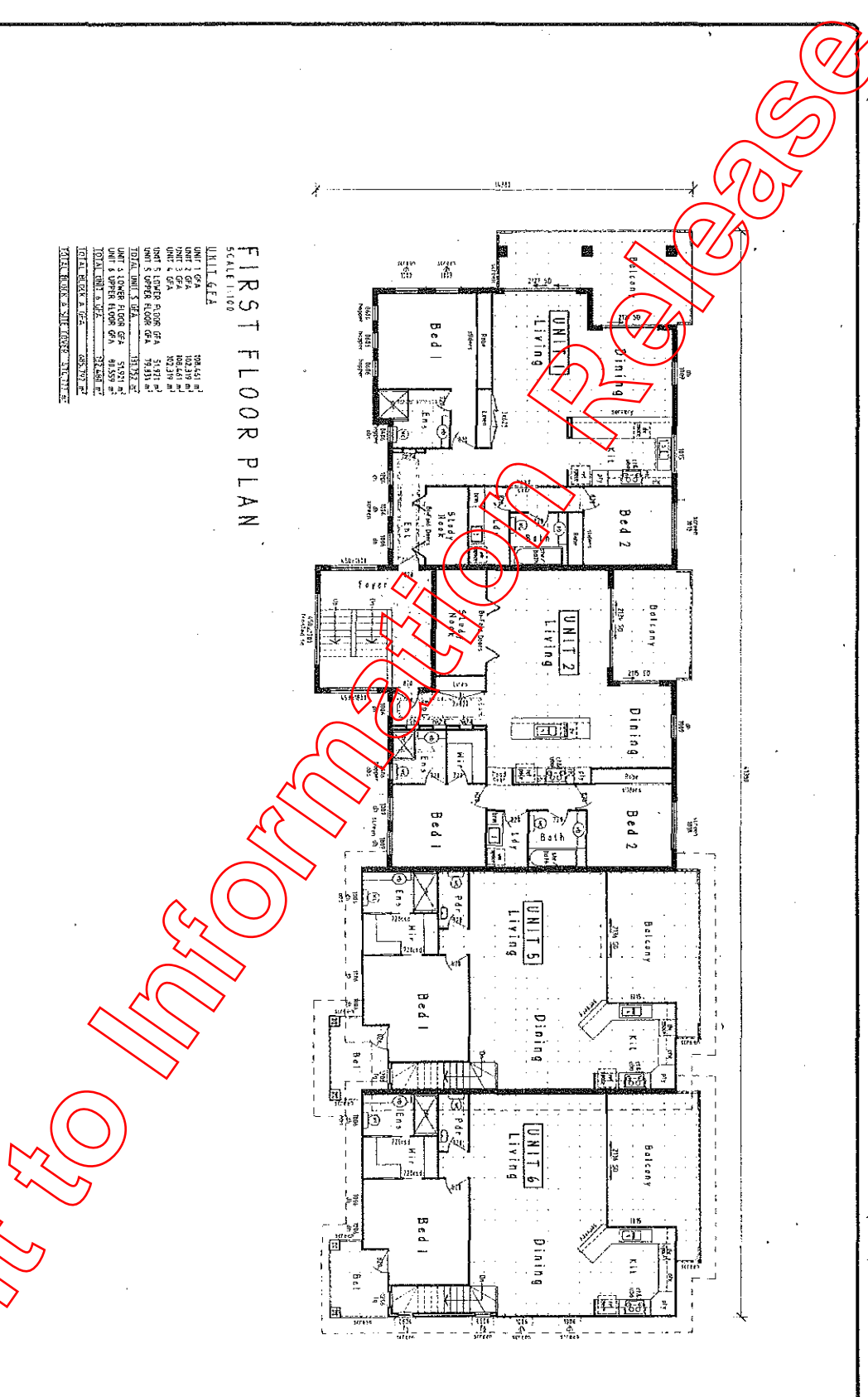
TOWN PLANNING CALCULATIONS

| | | |
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| TOTAL SITE AREA | 2074 sq.m. | 100.0% |
| TOTAL SITE COVERAGE TO WALLS | 870 sq.m. | 41.9% |
| TOTAL G.P.A. | 1095 sq.m. | 52.7% |
| TOTAL CLOTHES DRYING AREA | 60 sq.m. | 2.8% |
| TOTAL LANDSCAPING | 977 sq.m. | 47.3% |
| TOTAL P.C.Y. AREA (incl. balcony area) | 833 sq.m. | 39.9% |
| TOTAL OPEN SPACE | 112 sq.m. | 5.4% |
| TOTAL PARKING | 18 | 0.8% |
| TOTAL NUMBER OF UNITS | 9 | |
| | 2 x 2 BED HIGHEST | |
| | 2 x 3 BED HIGHEST | |
| | 4 x 2 BED APARTMENTS | |
| | 1 x 2 BED CONSET | |

- MAIN GATE HOUSE -



| UNIT 66A | |
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| UNIT 66A | 708.661 m |
| UNIT 66B | 102.219 m |
| UNIT 66C | 108.461 m |
| UNIT 66D | 202.319 m |
| UNIT 66E | 75.971 m |
| UNIT 66F | 79.831 m |
| UNIT 66G | 133.32 m |
| UNIT 66H | 51.921 m |
| UNIT 66I | 41.359 m |
| UNIT 66J | 68.197 m |
| UNIT 66K | 68.197 m |
| UNIT 66L | 51.921 m |



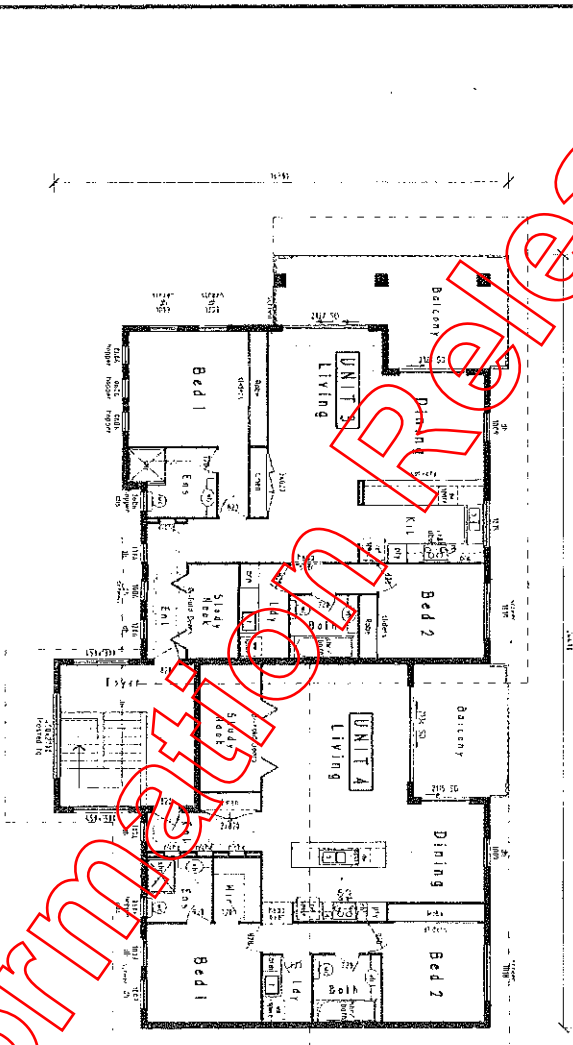
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SECOND FLOOR PLAN

SCALE 1.034

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| UNIT 101 6FA | 102.719 m ² |
| UNIT 102 6FA | 102.719 m |



Concept Drawing for Town Planning Approval ONLY

SCALE 1-100 (FACING GORDON STREET)

EASTERN ELEVATION (3)
SCALE 1:100 (FACING INTERNAL DRIVEWAY)

This is a detailed architectural site plan of a school building. The plan is oriented with a north arrow pointing towards the top right. The building is a long, rectangular structure with a central corridor and several classrooms on either side. The classrooms are labeled with numbers 1 through 12. The building is surrounded by a fence, and there are trees and landscaping indicated by hatched areas. A large red 'COPY' watermark is overlaid diagonally across the entire plan.

Concept Drawing for Town Planning Approval ONLY

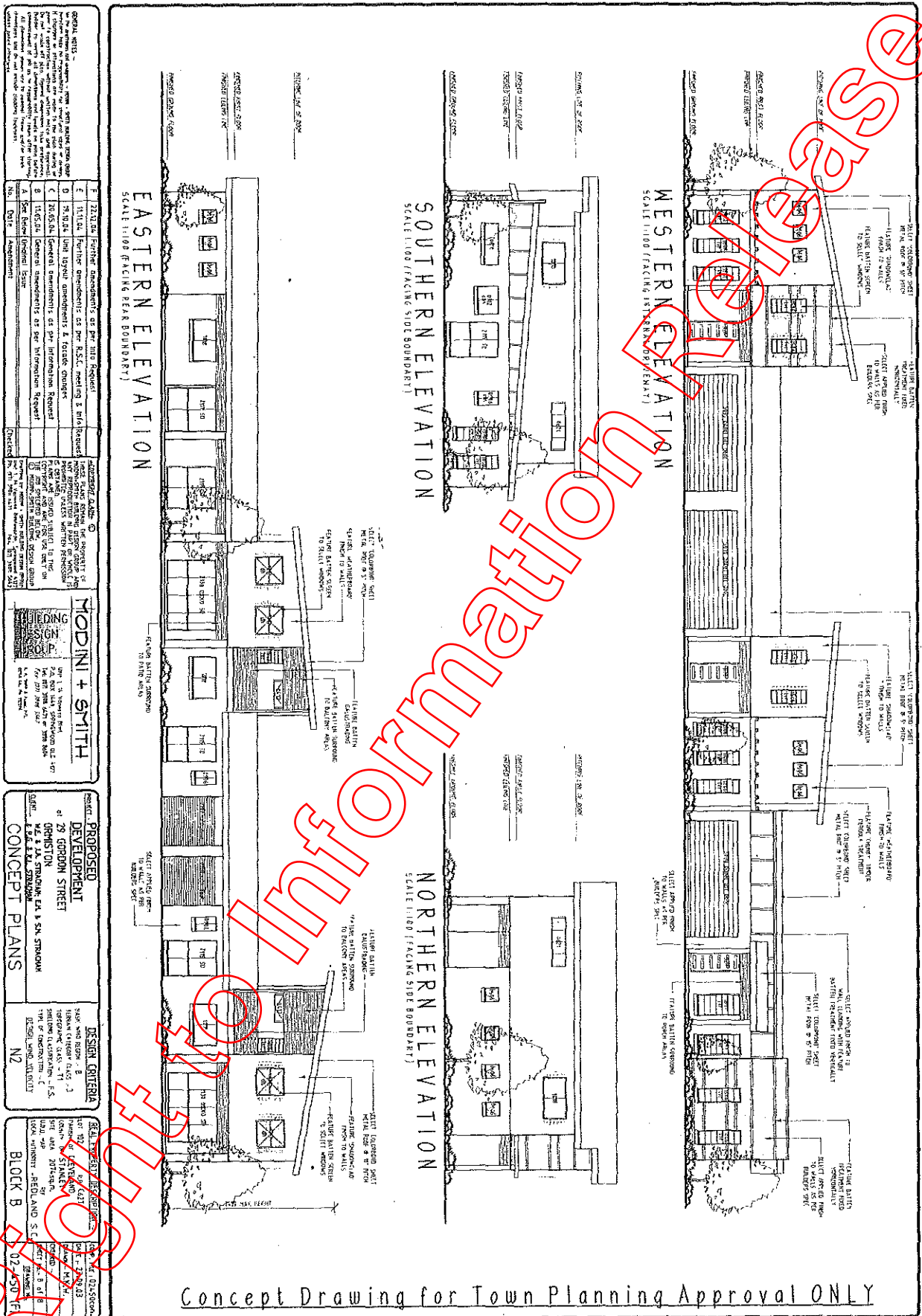
SOUTHERN ELEVATION (2)
SCALE 1:100 (FACING SIDE BOUNDARY)

NORTHERN ELEVATION (4)
SCALE 1:100 (FACING SIDE BOUNDARY)

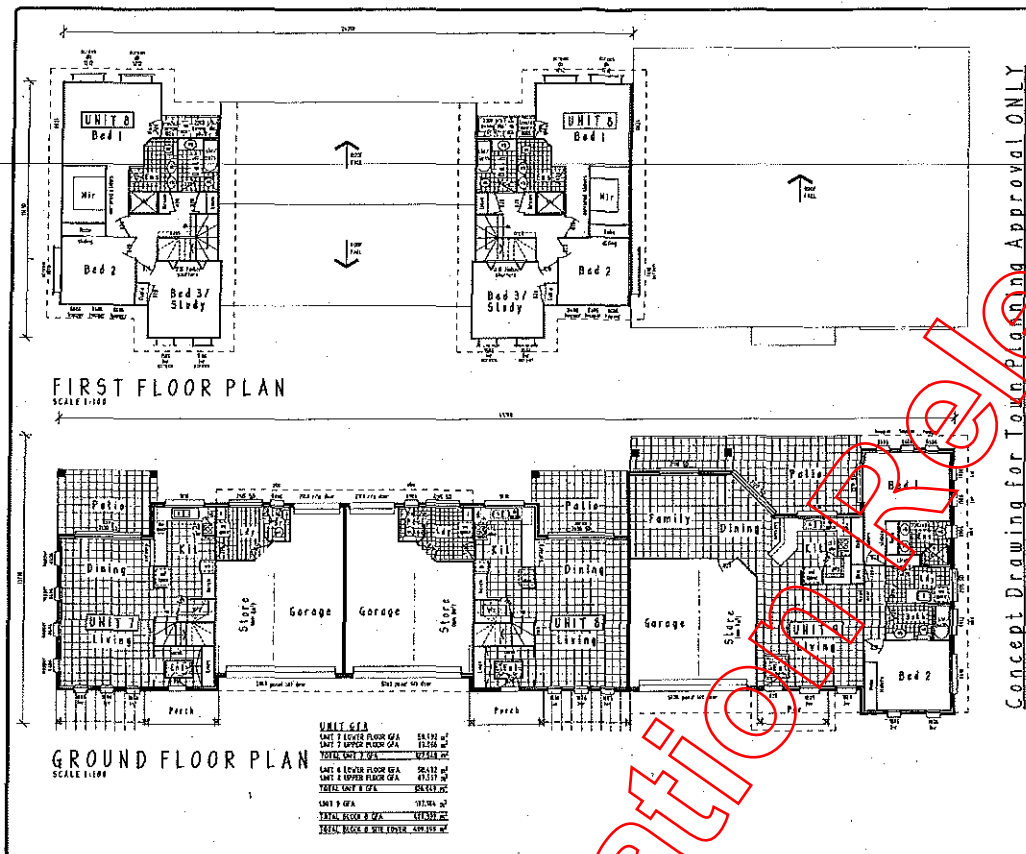
NORTHERN ELEVATION (4)
SCALE 1:100 (FACING SIDE BOUNDARY)

Page 107 of 259

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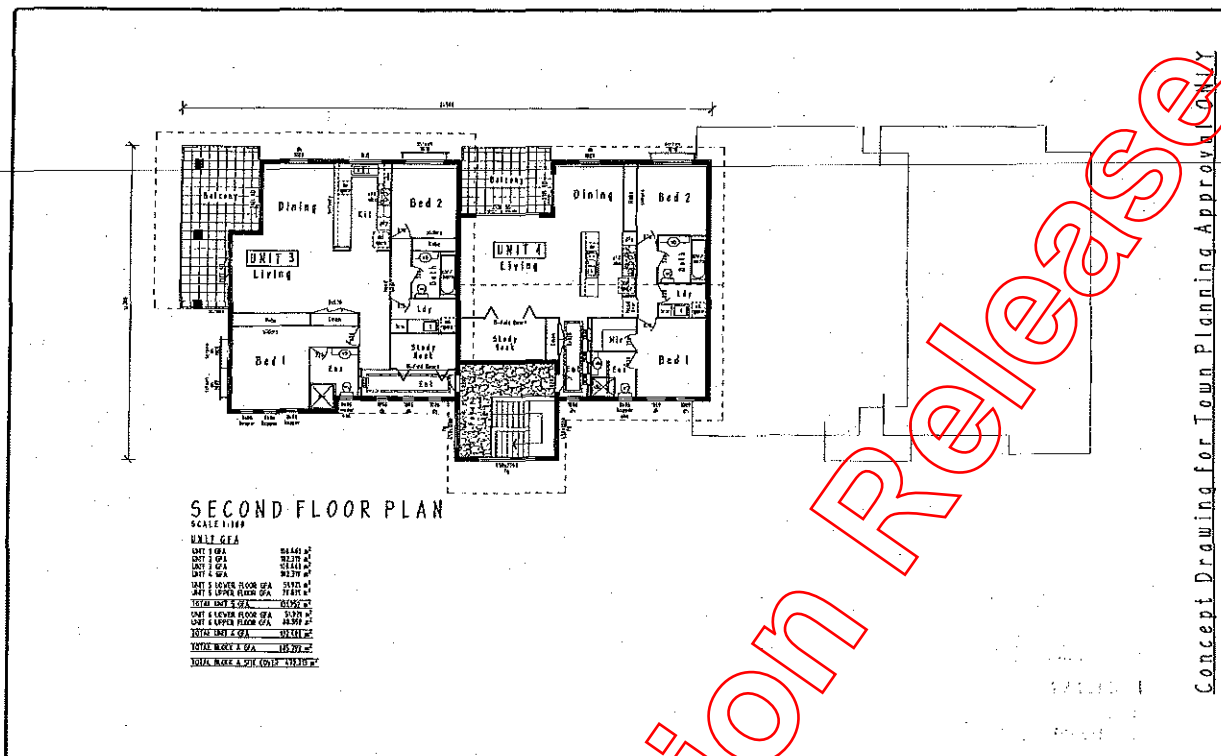


Concept Drawing for Town Planning Approval ONLY



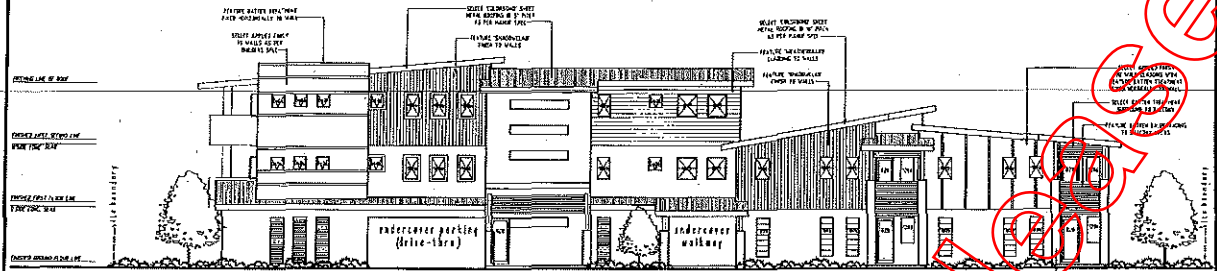
Concept Drawing for Town Planning Approval ONLY

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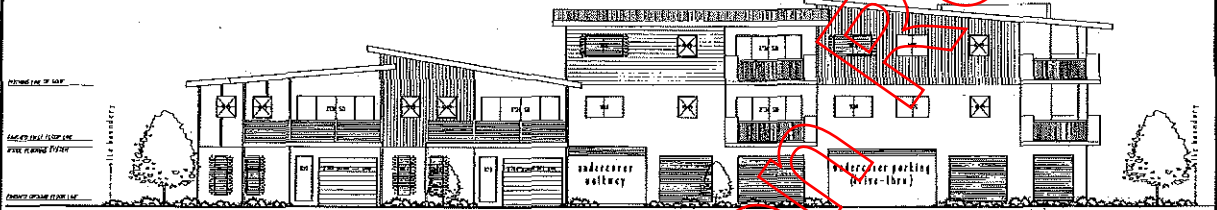


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| <p>GENERAL NOTES</p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.</p> <p>2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p> | | <p>MODIFIED SMITH</p> <p>DESIGNER: MODIFIED SMITH</p> <p>DATE: 10/1/2010</p> <p>PROJECT: 22 GORDON STREET</p> <p>CITY: CLEVELAND</p> <p>STATE: OHIO</p> <p>ZIP: 44115</p> <p>PHONE: (216) 521-1234</p> <p>FAX: (216) 521-1234</p> <p>EMAIL: info@modifiedsmith.com</p> <p>WEBSITE: www.modifiedsmith.com</p> | | <p>PROPOSED DEVELOPMENT</p> <p>22 GORDON STREET</p> <p>CLEVELAND, OHIO 44115</p> <p>DESIGNER: MODIFIED SMITH</p> <p>DATE: 10/1/2010</p> <p>PROJECT: 22 GORDON STREET</p> <p>CITY: CLEVELAND</p> <p>STATE: OHIO</p> <p>ZIP: 44115</p> <p>PHONE: (216) 521-1234</p> <p>FAX: (216) 521-1234</p> <p>EMAIL: info@modifiedsmith.com</p> <p>WEBSITE: www.modifiedsmith.com</p> | | <p>DESIGN CRITERIA</p> <p>1. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.</p> <p>2. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.</p> <p>3. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.</p> <p>4. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.</p> <p>5. THE DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.</p> | | <p>FINAL PROJECT DESCRIPTION</p> <p>22 GORDON STREET</p> <p>CLEVELAND, OHIO 44115</p> <p>DESIGNER: MODIFIED SMITH</p> <p>DATE: 10/1/2010</p> <p>PROJECT: 22 GORDON STREET</p> <p>CITY: CLEVELAND</p> <p>STATE: OHIO</p> <p>ZIP: 44115</p> <p>PHONE: (216) 521-1234</p> <p>FAX: (216) 521-1234</p> <p>EMAIL: info@modifiedsmith.com</p> <p>WEBSITE: www.modifiedsmith.com</p> | | <p>CONCEPT PLANS</p> <p>22 GORDON STREET</p> <p>CLEVELAND, OHIO 44115</p> <p>DESIGNER: MODIFIED SMITH</p> <p>DATE: 10/1/2010</p> <p>PROJECT: 22 GORDON STREET</p> <p>CITY: CLEVELAND</p> <p>STATE: OHIO</p> <p>ZIP: 44115</p> <p>PHONE: (216) 521-1234</p> <p>FAX: (216) 521-1234</p> <p>EMAIL: info@modifiedsmith.com</p> <p>WEBSITE: www.modifiedsmith.com</p> | | <p>BLOCK A</p> <p>02-450 (01)</p> | |
|---|--|---|--|--|--|---|--|---|--|---|--|--|--|

Concept Drawing for Town Planning Approval ONLY



WESTERN ELEVATION (1)
SCALE 1:100 (FACING GORDON STREET)



EASTERN ELEVATION (3)
SCALE 1:100 (FACING INTERNAL DRIVEWAY)

| | | | | | | | |
|---|--|---|--|---|--|--|--|
| <p>GENERAL NOTES:</p> <p>1. All dimensions are in meters unless otherwise stated.</p> <p>2. All materials and finishes to be as specified in the schedule of materials and finishes.</p> <p>3. All work to be in accordance with the latest edition of the Building Code of Australia.</p> <p>4. All work to be in accordance with the latest edition of the National Construction Code.</p> <p>5. All work to be in accordance with the latest edition of the Australian Standard for Building.</p> <p>6. All work to be in accordance with the latest edition of the Australian Standard for Building.</p> <p>7. All work to be in accordance with the latest edition of the Australian Standard for Building.</p> <p>8. All work to be in accordance with the latest edition of the Australian Standard for Building.</p> <p>9. All work to be in accordance with the latest edition of the Australian Standard for Building.</p> <p>10. All work to be in accordance with the latest edition of the Australian Standard for Building.</p> | <p>PROPOSED DEVELOPMENT</p> <p>at 29 GORDON STREET</p> <p>OPPOSITION</p> <p>W. J. M. STRACHAN, P.L. & S.M. STRACHAN</p> <p>CONCEPT PLANS</p> | <p>DESIGN CRITERIA</p> <p>BASE UNIT BLOCK - 8</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> <p>STORY HEIGHT - 3.0</p> | <p>REAL PROPERTY DESCRIPTION</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> <p>LOT 10</p> | <p>DATE: 23.03.21</p> <p>BY: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> | <p>DATE: 23.03.21</p> <p>BY: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> | <p>DATE: 23.03.21</p> <p>BY: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> | <p>DATE: 23.03.21</p> <p>BY: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> <p>FOR: J.M.</p> |
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Our Ref: 03.1682
Your Ref: MC008015

13 January 2005

DI Glynn
Assessment Manager
Development Assessment Team
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163



Bartley Burns Town Planning Pty Ltd
ABN 36 413 954 407

1 Peterson Street
Wellington Point Q 4160
PO Box 2297
Wellington Point Q 4160

Tel 07 3207 4488
Fax 07 3207 5599
info@bartleyburns.com.au
www.bartleyburns.com.au

Dear Madam,

APPLICANT'S REPLY RELATING TO PROPOSED MULTIPLE DWELLING (9 UNITS) AT 29-33 GORDON STREET, ORMISTON.

I refer to Council's correspondence being an "Information Request" dated 14 December 2004. This information is offered on a "Without Prejudice" basis in order to maintain our rights to treat the delay in Council's assessment as a "deemed refusal" through the Planning and Environment Court if the decision is not forthcoming within a short time. We have received legal advice that our position is correct that the changes made to the proposal were in response to the Information Request(s) and that the application assessment periods have not restarted.

Accordingly, the matters raised in Council's correspondence are addressed as follows.

Planning Requirements

In relation to shadow impact, I confirm that Units 7 and 8 are predominantly single storey in height and contain only partial second stories. The proposed siting and height of the building will ensure that no undue shadow impacts will occur on adjoining land.

The rear building module provides a setback of 2.5 metres from the eastern property. The adjoining motel building to the east is set back in excess of 10 metres from the common property boundary and is separated from the site by a bitumen driveway. The northern portion of the motel site to the east is also undeveloped according to the 2002 Aerial Photos.

The motel to the south of the site contains service areas adjoining a solid boundary fence along the common property boundary. The 3 storey component of the proposal is located in excess of 20 metres from the eastern and southern property boundaries to absorb the shadow impact within the subject site.

The proposed site density is considered reasonable given the site's location and its proximity to the Cleveland and Ormiston Railway Stations. The density proposed is also in accordance with the Draft South East Queensland Regional Plan. Building setbacks proposed are reasonable and are consistent with those required for commercial uses within such a location. Building setbacks are reasonable to

ensure that no adverse impacts result from shadow on adjoining properties. The adjoining developments are also of a commercial nature being a Child Care Centre and Motel. These uses will not impact on the proposed development as they are compatible with a residential use.

A revised Statement of Compliance is attached for Council's review. Generally, detailed justification of the Performance Solutions has not been provided in the Statement of Compliance as that has been done several times in previous correspondence provided to Council.

Building Requirement

A plan has been prepared demonstrating the method of calculation of site coverage which is in accordance with the definition included within the Multiple Dwelling Code.

The streetscape elevation has been updated to indicate that the scale of the proposal is compatible with that of the adjoining commercial developments.

The building designer has reviewed the internal unit layouts and believes that they have been designed to allow for an appropriate level of cross-ventilation.

Engineering Requirements

I reiterate previous comments made that we accept that a left-in, left-out driveway from Gordon Street is appropriate for the development. This is in accordance with the current double lines marked outside the property on the road pavement and will not exacerbate any traffic issues in the immediate area.

In relation to car parking, an undercover walkway is centrally located in the front building module to provide safe pedestrian access from the front of the site to the central forecourt area and to in turn access the rear building module.

A conceptual stormwater management plan was submitted at the time the application was lodged with Council.

Details regarding sediment and erosion control are the responsibility of the developer. The developer will ensure that the site is appropriately managed during construction.

Pollution Prevention

The Acoustic Report submitted is an Initial Report and will be updated prior to construction of the development. This is able to be addressed through a condition of approval of the development.

Draft Redland Shire Planning Scheme

The subject site is included within the Medium Density Residential Zone of the Draft Redlands Planning Scheme. The Draft Planning Scheme if it were adopted without amendment would allow a Multiple Dwelling Development on the site having the following characteristics:

- Density of 1 unit per 200m² of site area (maximum 10 units);
- Building height up to a maximum of 3 storeys;
- Site coverage of 40%;

- Car parking in accordance with current Multiple Dwelling Code.

Such a development would be Code Assessable under the provisions of the Draft Planning Scheme. The current proposal generally meets the intent of the Draft Planning Scheme and provides Performance Solutions to only several elements of the Draft Codes which are considered to meet Council's intent.

Please find attached 4 x A2 copies of amended plans for your consideration and approval. I await receipt of Council's approval at the earliest opportunity.

If you require clarification to any of the issues discussed above, please do not hesitate to contact me on (07) 3207 4488 or 0403 383 064.

Yours faithfully,



Aaron Sweet
Senior Planner

enc.
4 x Amended Plans
4 x Statement of Compliance

Right to Information Release

From: David Carter
Sent: Wednesday, 23 February 2005 4:35 PM
To: Rick Ng
Cc: Nina Sprake
Subject: MC008015 2005-02-22 DECISION - COMMENTS FROM DA ARCH/URB DES
Rick,

MC008015
29-33 GORDON ST, ORMISTON,
MULTIPLE DWELLINGS x 9

This application has been around for awhile (Dec. 2003) and has been modified in line with the Council's comments. It is now quite different in form to the original, especially the main building fronting on to Gordon Street.

Many meetings have been held with the applicant and I have undertaken reviews at each stage of the modifications. The outstanding issues I have are:

1. ZONING IN CURRENT STRATEGIC PLAN
I am not aware of there being sufficient planning argument provided by the applicant in support of this use in a Service Commercial zone.
2. POPULATION DENSITY
This will still need to be addressed.
3. BUILDING SIZE AND BULK
The applicant has not addressed this issue sufficiently. There is still a difference of 2 storeys between the existing single storey Child Care Centre to the north and the 3 storey portion of the proposed development. Despite several requests a streetscape drawing has not been provided. The Service Commercial zone would probably allow this difference in height. The Medium Density Residential zoning of the new Strategic Plan does not give any support.
4. SITE COVERAGE
The applicant is reporting a site cover of 41.9%, which is considerably higher than is required by the Code.
5. OVERSHADOWING
Owing to the activity areas surrounding the site, overshadowing is not expected to be a problem.
6. SECURITY & LIGHTING
The Council's Community Safety Officer, Nina Sprake, should provide final comments in relation to security and lighting. It is my opinion that the feature screens between the pedestrian walk-through and the carpark should be limited to a minimum of 80% opening.
7. JAMBS TO GATES IN FRONT FENCE
The applicant has stated that these gates are to be jambed as this would prevent the gate from being a weak link in the acoustic fence. PPU should incorporate this as a condition.

I will require more time to prepare a more detailed assessment.

Regards,

David Carter
Architect/Urban Designer
Development Assessment Unit
phone 3829 8866

00175492.001.txt

From: Nina Sprake
Sent: Friday, 21 January 2005 4:44 PM
To: Diana Glynn
Subject: MC008015 Comments
Hi Di,

Multiple Dwelling x 9 at 29-33 Gordon St, Ormiston.

The applicant has already made changes to improve the natural surveillance into the undercover walkway (a potential entrapment area) by replacing sections of the garage walls with permeable battens. Whilst this isn't a brilliant safety outcome (it would be better if the walkway wasn't so built in) I think that further conditions would be burdensome.

Therefore I have no further concerns from a crime prevention/safety perspective.

Thanks
Nina

Nina Sprake
Community Safety Officer

Redland Shire Council
PO Box 21, Cleveland Qld 4163
Ph 07 3829 8936
Fax 07 3829 8222
Mob 0408 790 310
www.redland.qld.gov.au/community_safety.cfm?doc_id=3110

ICHDLAND SHIRE COUNCIL
DEVELOPMENT ASSESSMENT PANEL MEETING
REPORT

MONDAY 15 DECEMBER 2003 8:30 AM

DEVELOPMENT ASSESSMENT PANEL MEETING OF 10 DECEMBER 2003

Moved by Mr T Donovan, Seconded by Mr A Edwards.

That the Minutes of the Development Assessment Panel Meeting of 10 December 2003 be confirmed.

CARRIED

1. Proposed Multiple Dwelling (x9) - 29-33 Gordon Street, Ormiston - Strachan Constructions.

(MC008015)

Interim Zoning:

DCP Designation:

Strategic Plan Designation:

Land Area:

Comprehensive Development.

Residential A/Comprehensive Development.

Service Commercial/Urban Residential.

2074 square metres.

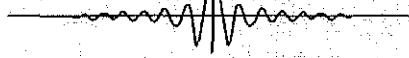
Present

Mr T Donovan

Mr R Edmonds

Mr A Edwards

David Moore & Associates Pty Ltd
Environmental Acoustic Consultants



80 Beverley Hill Street, (PO Box 120)
MOOROOKA QLD 4105
Telephone: 07 3848 7924
Fax: 07 3892 3551

Principal Consultant: David Moore, MAAS
Mobile: 0417 717 506
Email: david@dmoores.com.au
ABN 25 775 758 241

**Environmental Noise Level Study for Proposed Residential Development,
29 Gordon Street, Ormiston**

conducted for

Modini & Smith Building Design Group

Report No: R03183/D711/Rev.1/24.05.04

| Revision No. | Date | Comment |
|--------------|----------|---|
| 0 | 14.10.03 | Original report. |
| 1 | 24.05.04 | Report revised in accordance with Information Request from Redland Shire Council. |

"The Sound Choice in Acoustics"

Report prepared for:

Modini & Smith Building Design Group
Unit 1, 14 Vanessa Boulevard
(PO Box 1449)
SPRINGWOOD QLD 4127

Telephone: 07 3808 6471
Fax: 07 3808 5642

Contact:

Mr Kevin Smith
Director

Authorised by:

Strachan Constructions
82 Compton Road
UNDERWOOD QLD 4119

Telephone: 07 3808 3330
Fax: 07 3208 0755

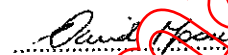
Dates of assessment:

Thursday 21 and Friday 22 August 2003

Consultants:

David Moore & Associates Pty Ltd
80 Beverley Hill Street (PO Box 120)
MOOROOKA QLD 4105

Telephone: 07 3848 7924
Fax: 07 3892 3551



David Moore, B App Sc, MAAS

Our reference:

R03183/D711/Rev. 1/24.05.04

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INTRODUCTION

It is proposed to develop the currently vacant site at 29 Gordon Street, Ormiston, for residential units. This site is adjoined to the north by a child care centre, motel to the east and south, and Gordon Street to the west. Based on the consultant's site inspection, potential environmental noise impacts include:

- rail noise;
- traffic noise (Gordon Street);
- children at play at child care centre;
- motel airconditioning units (southern side);
- motel units carpark (eastern side);
- industrial noise from Trade Street, on the opposite side of the railway line; and
- internal car parking and vehicle movement noise.

To assess existing ambient noise levels, a 24-hour noise level study was conducted from the subject site. This report details the results of this noise level study, source noise levels, noise limits, noise impact and noise control measures. It should be noted that throughout this 24-hour assessment, the measurement equipment was attended. At no time throughout this 24-hour period was any noise audible from the Trade Street industrial area. Therefore, as no noise was audible from this area, the noise limits were complied with. No further consideration is given to potential industrial noise from Trade Street, as the noise limits were complied with.

In preparing this report, the following drawings, prepared by Modini & Smith Building Design Group, were referenced, Job No. 02-450:

- 2 of 9, Site Plan;
- 3 of 9, Ground Floor Plan Block A;
- 4 of 9, First Floor Plan Block A;
- 5 of 9, Second Floor Plan Block A;
- 6 of 9, Western and Eastern Elevations, Block A;
- 7 of 9, Southern and Northern elevations, Block A;
- 8 of 9, Ground and First Floor Plans, Block B;
- 9 of 9, Elevations, Block B.
- Appendix 1, Streetscape.

Figure 1 details the general location of the subject site.

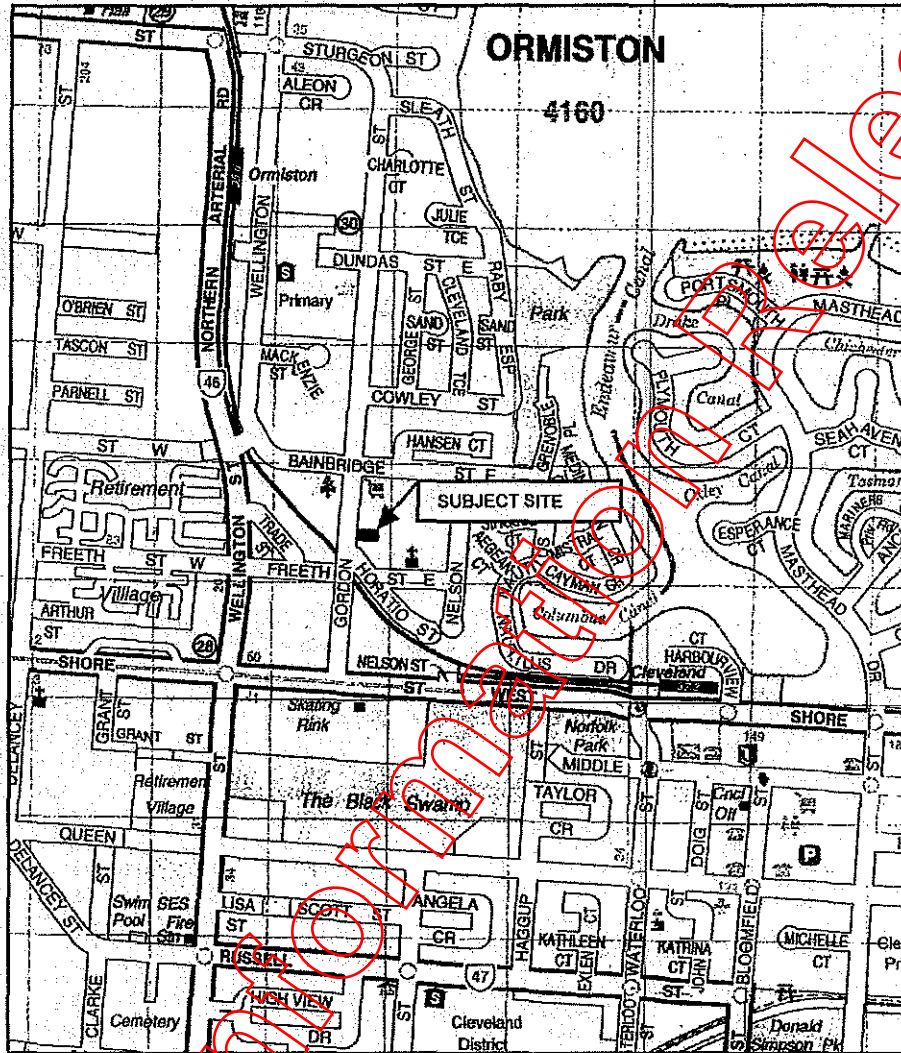


Figure 1
Locality Plan

CRITERIA

Measurements and Calculations

All noise level measurements were conducted in accordance with the following:

- general requirements of the Queensland environmental protection legislation;
- Environmental Protection (Noise) Policy 1997;
- Redland Shire Council, *Noise Criteria, Impact of Transportation Systems on Urban Activity*, 2001;
- *Noise Measurement Manual*, Queensland Government – Environmental Protection Agency, 3rd Edition, March 2000;

- Australian Standard AS 2702-1984, *Acoustics – Methods for the Measurement of Road Traffic Noise* (traffic noise and rail noise, as rail noise is similar in nature to traffic noise);
- Australian Standard AS 1055.1-1997, *Acoustics – Description and Measurement of Environmental Noise, Part 1, General Procedures* (ambient noise).

Noise Limits

Redland Shire Council

Redland Shire Council, in Section 2.1 of Annexure 3, *Noise Criteria, Impact of Transportation Systems on Urban Activity*, 2001, provides the following summary of design noise level criteria for proposed noise sensitive places adjacent to roads.

| Design Level Noise Criteria for proposed Noise Sensitive Places adjacent to Roads | |
|---|--|
| Measurement Location | Design Level Road Traffic Noise Criteria |
| 1 m in front of the most exposed part of a proposed new noise sensitive place | Road traffic noise levels are to comply with the external noise level criteria specified in Section B6 of the <i>Road Traffic Noise Management Code of Practice</i> , published by the Queensland Department of Main Roads. That is: <ul style="list-style-type: none"> • 63 dB(A) L_{10} (8hr) or less, where the L_{90} (8hr) between 10 pm and 6 am is greater than 40 dB(A); OR • 60 dB(A) L_{10} (18hr) or less, where the L_{90} (8hr) between 10 pm and 6 am is less than or equal to 40 dB(A). |
| Inside bedrooms of a proposed dwelling house, multiple dwelling or accommodation unit. | a) Average L_{max} (10 pm to 6 am) not greater than 50 dB(A), and b) In accordance with the maximum recommended design sound levels specified in Table 1 of Australian Standard 2107: <i>Acoustics – Recommended design sound levels and reverberation times for building interiors</i> , when measured for L_{Aeq} (1 hr) (10 pm – 6 am) that is not greater than 35 dB(A). |
| Inside living rooms of a proposed dwelling house, multiple dwelling or accommodation unit. | In accordance with the maximum recommended design sound levels specified in Table 1 of Australian Standard AS 2107: <i>Acoustics – Recommended design sound levels and reverberation times for building interiors</i> , when measured as L_{Aeq} (1 hr) (6 am – 10 pm). That is, L_{Aeq} (1 hr) (6 am – 10 pm) not greater than 45 dB(A). |
| Inside other proposed noise sensitive places. | In accordance with the maximum recommended design sound levels specified in Table 1 of Australian Standard 2107: <i>Acoustics – Recommended design sound levels and reverberation times for building interiors</i> . |
| External formal living place of a proposed dwelling house, multiple dwelling or accommodation unit. | L_{Aeq} (1 hr) (6 am – 10 pm) not greater than 55 dB(A). |

For design level noise criteria for proposed noise sensitive places adjacent to railways, the following table from Section 2.2 of Annexure 3 Redland Shire Council, *Noise Criteria, Impact of Transportation Systems on Urban Activity*, 2001, is applicable:

| Design Level Noise Criteria for Proposed Noise Sensitive Places adjacent to Railways | |
|---|---|
| Measurement Location | Design Level Rail Noise Criteria |
| 1 m in front of the most exposed part of a proposed new noise sensitive place. | In accordance with Schedule 1 – Planning Levels, Section 3 – Railways, of the Environmental Protection (Noise) Policy 1997. That is: <ul style="list-style-type: none"> 65 dB(A), assessed as the 24 hour average equivalent continuous A-weighted sound pressure level; 87 dB(A), assessed as a single event maximum sound pressure level. |
| Inside bedrooms of a proposed dwelling house, multiple dwelling or accommodation unit. | Average L_{max} (10 pm – 6 am) not greater than 50 dB(A). |
| External formal living place of a proposed dwelling house, multiple dwelling or accommodation unit. | L_{Aeq} (1 hr) (6 am – 10 pm) not greater than 55 dB(A). |

Time-Varying Noise

The Queensland environmental protection legislation contains no specific noise limits for time-varying or steady-state noise, nor does the Redland Shire Council have any specific requirements. However, with respect to the Environmental Protection (Noise) Policy 1997, the following general requirements should be noted:

“... Acoustic quality objective

- 11.(1) The **“acoustic quality objective”** is the objective of achieving an ambient level of 55 dB(A) or less for most of Queensland's population living in residential areas.
- (2) It is intended that the acoustic quality objective be achieved as part of progressively achieving the object of this policy over the long term.
- (3) It is not intended that, in achieving the acoustic quality objective, any part of the existing acoustic environment be allowed to significantly deteriorate.
- (4) For subsection (1), the ambient level in a residential area is measured over 24 hours as the long-term L_{eq} outside a dwelling in the area. ...”

The most important part of the acoustic quality objective, with respect to the proposed development, is that the existing acoustic environment must not be allowed to significantly deteriorate.

In addition to the above, the following should be noted:

“... Environmental values to be enhanced or protected

10. The environmental values to be enhanced or protected under this policy are the qualities of the acoustic environment that are conducive to –
 - (a) the wellbeing of the community or a part of the community, including its social and economic amenity; or
 - (b) the wellbeing of an individual, including the individual's opportunity to have sleep, relaxation and conversation without unreasonable interference from intrusive noise. ...”

For time-varying noise, such as that from the child care centre and motel driveway, the existing noise levels should not change significantly to ensure compliance with the Environmental Protection (Noise) Policy requirements with respect to the acoustic quality objective. In accordance with the reference below, changes in noise level will result in the subjective response detailed:

| Change in Noise Level dB(A) | Subjective Response |
|--------------------------------|---------------------|
| 2 to 3 | barely perceptible |
| 5 | clearly perceptible |
| 10 | twice as loud |

(Source: Hassall, J.R. & Zaveri, K. "Acoustic Noise Measurements", Bruel and Kjaer, Naerum, Denmark, 1979.)

Therefore, a change of 3 dB(A) is a minor or insignificant change, whereas a change of 5 dB(A) is a more significant change. On this basis, the adopted noise limit for time-varying noise is that the source noise, in combination with the ambient noise, does not exceed the ambient noise alone by more than 3 dB(A), for like parameters. This is for the source noise adjusted for any tonal and/or impulsive components and is equivalent to the adjusted source noise level alone not exceeding the ambient noise alone for the same parameter.

Based on ambient noise levels measured at the subject site, the noise limits for time-varying noise, adjusted for tonality and/or impulsiveness, would be:

- daytime $L_{A10,adj}$ 58 dB(A)
- evening $L_{A10,adj}$ 56 dB(A).

During the night-time, a different criteria needs to be adopted, to account for the fact that most people would be indoors, asleep. In accordance with the World Health Organisation document *Guidelines for Community Noise*, 1999, the onset of sleep disturbance commences at an internal noise level of 50 dB(A) $L_{Amax,T}$. Therefore, the adopted noise limit for the night-time is 50 dB(A) $L_{Amax,T}$ inside bedrooms.

Steady State Noise

For steady state noise, the most commonly applied noise limits are background + allowance (generally background +5 dB(A) for daytime and evening and background +3 dB(A) for night-time).

Therefore, the noise limits for steady state noise would be, relative to Monitoring Location A:

- daytime: $46 + 5 = 51$ dB(A)
- evening: $40 + 5 = 45$ dB(A)
- night: $31 + 3 = 34$ dB(A)

where the noise limit is expressed as the adjusted $L_{Amax,T}$ source noise level.

MEASURED AMBIENT NOISE LEVELS

For details of the measurement equipment, equipment settings, calibration, monitoring locations and atmospheric conditions, refer Appendix A. Appendix B details the complete results of the 24-hour noise level measurements.

From the ambient noise levels conducted from Monitoring Location A, the following should be noted:

- Highest $L_{Aeq,1h}$ during the daytime and evening = 59.1 dB(A)
- Highest $L_{Aeq,1h}$ during the night-time = 54.1 dB(A)

- $L_{A10,18h} = 58.8 \text{ dB(A)}$
- $L_{Amax,8h}$ during night-time = 58.5 dB(A);
- Lowest $L_{A10,1h}$ daytime (lowest value) = 58 dB(A)
- Lowest $L_{A10,1h}$ evening (lowest value) = 56 dB(A)
- $L_{A90,8h} = 35.6 \text{ dB(A)}$.

TRAFFIC NOISE

Measured Traffic Noise Level

The results of the noise level measurements relevant to traffic noise (and including any rail noise) were, free field:

- $L_{A10,18h} = 58.8 \text{ dB(A)}$
- $L_{Aeq,1h}$ daytime and evening = 59.1 dB(A)
- $L_{Amax,T}$ (night-time) = 58.5 dB(A)
- $L_{Aeq,1h}$ night-time = 54.1 dB(A).

Calculated Traffic Noise Levels

In accordance with advice from the Redland Shire Council, traffic volume data for Gordon Street, adjoining the subject site, is:

- 1997 vehicles per day (AADT) = 4700
- 2.6% commercial vehicles
- +3.5% growth per annum.

The current traffic volume is calculated to be 5,777 vpd. Table 1 details the calculated current traffic noise levels, relative to Monitoring Location A.

| Table 1 Calculated Current Traffic Noise Levels, relative to Monitoring Location A, 1.6 m high | |
|---|--|
| Description | Traffic Noise Level dB(A) $L_{A10,18h}$ |
| Base traffic noise level, 5,777 vpd, 5,488 vpd18h | 66.5 |
| 2.6% commercial vehicles, 60 kph | -0.8 |
| Road gradient | 0 |
| Separation distance (22.5 m) | -2.2 |
| Barrier | 0 |
| Ground absorption ($h = 1.05 \text{ m}^2$) | -3.5 |
| Road surface | 0 |
| Angle of view | -0.8 |
| Total traffic noise level: | 59.2 dB(A) $L_{A10,18h}$ |

The measured $L_{A10,10h}$ was 58.8 dB(A) $L_{A10,10h}$, which only exceeds the calculated value by 0.6 dB(A), indicating that virtually all of the ambient noise is due to road traffic and not rail noise.

Ultimate Traffic Noise

Based on the Redland Shire Council traffic volume information, the ultimate traffic volume (10 year horizon) will be:

| | |
|------|-----------|
| 1997 | 4,700 vpd |
| 1998 | 4,865 vpd |
| 1999 | 5,035 vpd |
| 2000 | 5,211 vpd |
| 2001 | 5,393 vpd |
| 2002 | 5,582 vpd |
| 2003 | 5,777 vpd |
| 2004 | 5,979 vpd |
| 2005 | 6,188 vpd |
| 2006 | 6,405 vpd |
| 2007 | 6,629 vpd |
| 2008 | 6,861 vpd |
| 2009 | 7,101 vpd |
| 2010 | 7,350 vpd |
| 2011 | 7,607 vpd |
| 2012 | 7,873 vpd |
| 2013 | 8,150 vpd |

The increase in traffic volume will increase traffic noise levels by 1.5 dB(A).

Ultimate traffic noise levels, facade corrected, will be:

- $L_{A10,10h} = 58.8 + 1.5 + 2.5 = 62.8$ dB(A)
- $L_{Aeq,1h} = 59.1 + 1.5 + 2.5 = 63.1$ dB(A).

Traffic Noise Control – External Areas

In accordance with the Redland Shire Council, traffic noise limits are:

- $L_{A10,10h}$ (facade corrected) = 60 dB(A) as the background noise level was less than 40 dB(A);
- $L_{Aeq,1h}$ (facade corrected) = 55 dB(A).

These noise limits are exceeded by 2.8 and 8.1 dB(A) respectively.

The primary external living areas are private courtyards at ground level for Units 5 to 9 as well as a communal recreation space adjacent the northern boundary and, for Units 1 to 4, balconies on the eastern side of the building. The private courtyards of Units 7, 8 and 9 and the balconies of Units 1 to 4 inclusive comply with the noise limits due to reduced angle of view and/or separation distance. Therefore, traffic noise only needs additional noise control measures for the communal recreation space and the private courtyards of Units 5 and 6.

For the private courtyards of Units 5 and 6 and communal recreation space, a 1.8 metre high acoustic barrier would reduce traffic noise levels by 7.6 dB(A). Combined with reduced angle of view, this will reduce ultimate traffic noise levels to below the noise limit for the communal recreation space. However, for Units 5 and 6, the acoustic barrier would have to be increased in height to 2.1 metres along the Gordon Street side to provide adequate noise level reduction.

The location of the acoustic barriers is detailed in Figure 2 below.

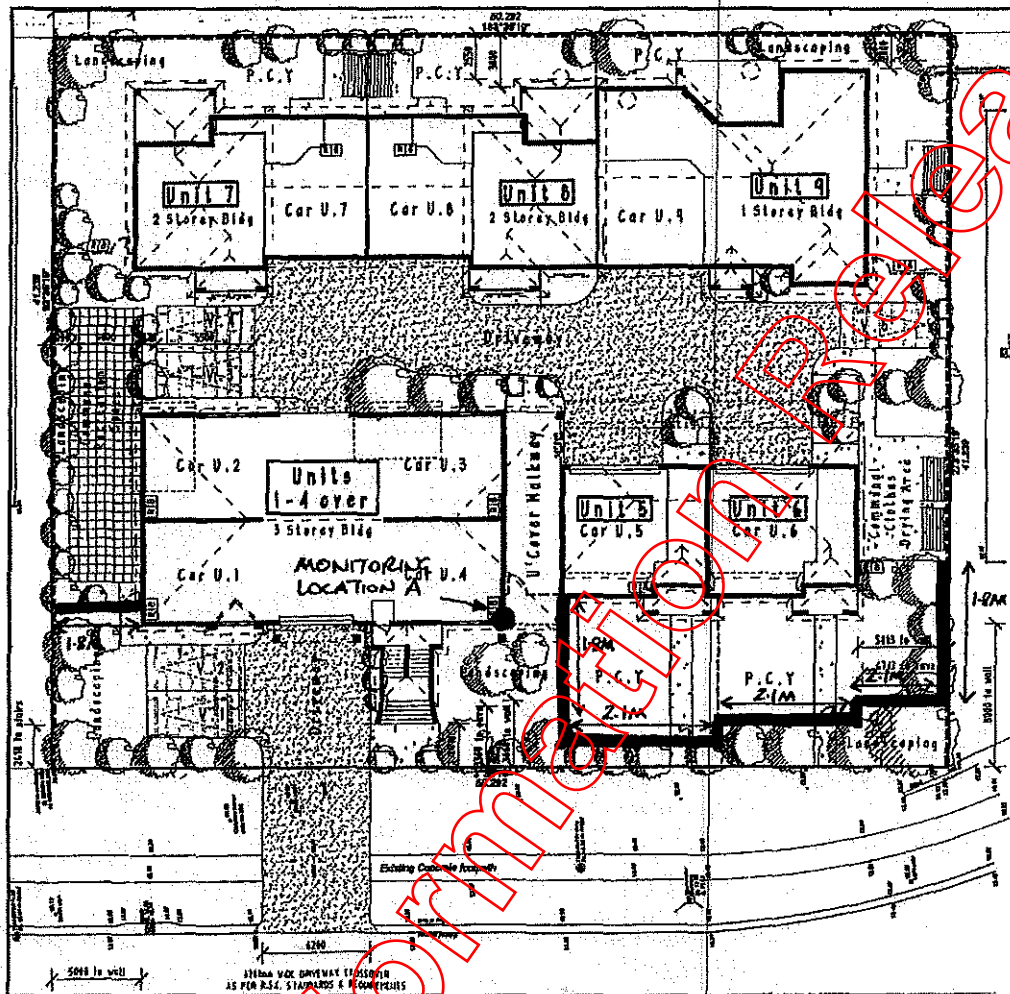


Figure 2
Location of Acoustic Barriers (bold lines) with Heights Notated and Monitoring Location A

The acoustic barriers must be continuous and gap free for their complete length (except for any gates in the barriers), their height must be relative to the courtyard/communal recreation space that they serve, and they must have a minimum surface area density of 10 kg/m^2 . Examples of suitable materials of construction include:

- reinforced concrete;
- concrete block;
- brick;
- hebel panel;
- minimum 7.5 mm thick fibrous cement sheet;
- lapped timber palings, for example kiln dried softwood at least 15 mm thick and overlapped a minimum 25 mm or at least 19 mm thick and overlapped a minimum 15 mm;
- earth mound;
- any combination of the above.

The acoustic barriers must be designed in accordance with the Redland Shire Council document *Impact of Transportation Systems on Urban Amenity Transitional Planning Scheme Policy*.

Any gates in the above acoustic barriers must have no holes, have a minimum surface area density of 10 kg/m^2 and be the same height as the acoustic barrier. The opening for any gates must be fully jammed on both sides and the gap at the base of the gate should not exceed 15 mm.

Traffic Noise Control – Internal Areas

In accordance with the Redland Shire Council, internal traffic noise levels should not exceed:

- 45 dB(A) $L_{Aeq,1h}$ (6 am to 10 pm) in living rooms;
- 35 dB(A) $L_{Aeq,1h}$ (10 pm to 6 am) in bedrooms;
- 50 dB(A) $L_{Amax,T}$ (10 pm to 6 am) in bedrooms.

Relative to the above noise limits, the measured traffic noise levels were:

- $L_{Amax,8h} = 58.5 \text{ dB(A)}$
- $L_{Aeq,1h}$ daytime and evening = 59.1 dB(A)
- $L_{Aeq,1h}$ night-time = 54.1 dB(A).

These noise level measurements include ground absorption. As height above ground increases, the ground absorption will decrease in accordance with the formula detailed in CORTN88. At the monitoring location, ground absorption was 3.5 dB(A) – Table 1 refers. For the proposed levels of the residential units, ultimate traffic noise levels will be:

- First Floor:
 - $L_{Amax,8h} = 58.5 + 1.5$ (ultimate traffic volume) $+ 3.5$ (ground absorption at ground level) $- 2.1$ (ground absorption for first floor) = 61.4 dB(A);
 - $L_{Aeq,1h}$ daytime and evening = $59.1 + 1.5 + 3.5 - 2.1 = 62 \text{ dB(A)}$
 - $L_{Aeq,1h}$ night-time = $54.1 + 1.5 + 3.5 - 2.1 = 57 \text{ dB(A)}$
- Second Floor:
 - $L_{Amax,8h} = 58.5 + 1.5 + 3.5$ (ground absorption at ground level) $- 0.3$ (ground absorption at second floor) = 63.2 dB(A)
 - $L_{Aeq,1h}$ daytime and evening = $59.1 + 1.5 + 3.5 - 2.1 = 63.8 \text{ dB(A)}$
 - $L_{Aeq,1h}$ night-time = $54.1 + 1.5 + 3.5 - 2.1 = 58.8 \text{ dB(A)}$.

As the $L_{Aeq,T}$ criterion for bedrooms is exceeded by more than the $L_{Amax,T}$ criterion, calculation of minimum Rw requirements will be determined based on the $L_{Aeq,T}$ noise limit.

Rw calculations have been performed in accordance with the following formula (AS 3671-1989):

$$TNA_c = TNR + 10 \log_{10} [(S_c + S_f) \times (3 \div h) \times 2T_{60} \times C]$$

where TNA_c = traffic noise attenuation required for the component
 TNR = traffic noise reduction
 S_c = surface area of the component
 S_f = surface area of the floor
 h = ceiling height
 T_{60} = reverberation time = 0.5 seconds
 C = number of components.

$$Rw = TNA_c + 6 \text{ (approximately).}$$

Relative to Monitoring Location A, the TNR values are:

- First Floor Level:
 - $62 - 45 = 17$ dB(A) $L_{Aeq,T}$ for living areas;
 - $57 - 35 = 22$ dB(A) $L_{Aeq,T}$ for bedrooms;
- Second Floor Level:
 - $63.2 - 45 = 18.2$ dB(A) $L_{Aeq,T}$ for living areas;
 - $58.8 - 35 = 23.8$ dB(A) $L_{Aeq,T}$ for bedrooms.

Table 2 details the minimum Rw requirements for the proposed units. For any units or rooms of units not included in Table 2, increased separation distance and/or reduced angle of view will provide sufficient traffic noise level reduction such that only standard materials of construction are required, including glazing. Refer Appendix C for complete details of calculations.

| Floor | Unit | Room | Minimum Rw Requirements | | | |
|-------|------|------------------------------|-------------------------|--------------|-------------------------------|------|
| | | | External Wall | Roof/Ceiling | Window | Door |
| 1 | 1 | Living/Dining/Kitchen/Entry | 26 | - | 18 (facing road) 12 (side) | - |
| 1 | 2 | Bedroom 2 | 29 | - | 24 | - |
| 2 | 3 | Living/Dining/Kitchen/Entry | 29 | 27 | 21 (facing road) 14 (side) | - |
| 2 | 4 | Bedroom 2 | 33 | 32 | 27 | - |
| 1 | 5 | Living/Dining/kitchen/Family | 21 | - | 13 | 11 |
| 2 | 5 | Study Nook | 34 | 32 | 27 | - |
| 1 | 6 | Living/Dining/Kitchen/Family | 23 | - | 14 (facing road) 12 (side) | 13 |
| 2 | 6 | Study Nook | 34 | 32 | 27 | - |
| 2 | 6 | Bedroom 2 | 27 | 32 | 23 | - |

For the minimum Rw ratings detailed in Table 2, the following examples of materials of construction and their associated Rw ratings should be noted:

| Roof/Ceiling | |
|-----------------------|--|
| Rw 33 to 35: | standard metal or tile pitched roof with 10 mm thick plasterboard ceiling |
| Rw 36 to 38: | as above, but with two-sided aluminium foil over the rafters |
| Rw 39 to 41: | standard metal or tile pitched roof with 10 mm thick plasterboard ceiling and 50 mm thick 12 kg/m ³ glass fibre blanket between the ceiling joists |
| External Walls | |
| Rw 39 to 41: | conventional brick veneer with wall vents |
| Glazing | |
| Rw 24 to 26: | 6 mm thick glass in standard horizontally sliding aluminium framed window |
| Rw 30 to 31: | openable sliding glass windows with 6.38 mm thick laminated glass and improved acoustic seals, tested by the manufacturer in accordance with Australian Standards to certify compliance with the stated Rw rating. |
| Rw 30: | openable sliding glass doors with 6.38 mm thick laminated glass and improved acoustic seals, tested by the manufacturer in accordance with Australian Standards to comply with the stated Rw rating. |

With respect to Table 2, it should be noted that, subjectively, a change in R_w value of 1 or 2 would not make any noticeable difference to the perceived noise – in this case, traffic noise perceived inside the units with the windows and any external doors closed. Therefore, a building component, eg window, providing an R_w rating within 1 or 2 of the calculated value should be deemed to comply with the actual calculated value.

RAIL NOISE

From Monitoring Location A the noise of passing trains was only audible infrequently, due to the volume of traffic on Gordon Street. The highest noise level of a passing train was 63.6 dB(A) maximum, compared to a limit of 87 dB(A). The measured $L_{Aeq,24h}$, which includes (and is dominated by) traffic noise, was 53.3 dB(A), compared to a rail noise only limit of 65 dB(A).

These are the external noise limits and they are easily complied with. The other external noise limit – 55 dB(A) $L_{Aeq,1h}$ (6 am to 10 pm) – is complied with for the combined effect of traffic and rail noise – refer section of this report titled *Traffic Noise Control – External Areas*.

For internal areas, the L_{Amax} is not to exceed 50 dB(A) inside bedrooms – the same noise limit for traffic noise. This noise limit is easily complied with, as the measured value is a combination of traffic and rail noise and the traffic noise $L_{Aeq,T}$ requirements are more stringent.

CHILD CARE CENTRE

The consultant conducted noise level measurements of children at play at the Hutchinson's Child Care Centre, 226 Crest Road, Park Ridge, in the morning, before organised activities commenced. This was a 75-child child care centre, with most of the children present at the time of conducting the assessment, with most playing outdoors.

Whilst this is representative of what normally happens in the morning before the commencement of organised activities, organised activities would generate less noise due to fewer children being outside at the same time. Therefore, the following noise levels of children at play at an average separation distance of 10 metres is representative of the worst case:

- 65 dB(A) $L_{Amax,T}$
- 64 dB(A) $L_{A1,T}$
- 63 dB(A) $L_{A10,T}$
- 60 dB(A) $L_{Aeq,T}$

Based on one-third octave frequency analyses of the above source noise level measurements, the noise of children at play was slightly tonal, with an appropriate adjustment of +2 dB(A). Therefore, the adjusted noise level of children at play would be 65 dB(A) $L_{A10,adj,T}$ @ 10 m.

The closest external living area of the proposed development would be the communal recreation space, which is approximately 15 metres from the centre of the play area at the child care centre. Therefore, at this external area, the noise of children at play would be:

- 65 dB(A) $L_{A10,adj,T}$ @ 10 m – 4 (separation distance) – 8 (acoustic barrier) = 53 dB(A) $L_{A10,adj,T}$

The daytime noise limit for time varying noise is 58 dB(A), which is easily complied with. Therefore, the only noise control measure required for the child care centre is a 1.8 metre high acoustic barrier along the complete length of the northern boundary of the subject site (1.8 m high relative to the finished level of the communal recreation area) and solid balustrading at least 1000 mm high for the complete northern side of the Unit 1 and Unit 3 balconies.

This solid balustrading must be continuous for its complete length, gap free (except openings of not more than 0.15% of the surface area for the drainage of stormwater), minimum 1000 mm high relative to the balcony level and have a minimum surface area density of 10 kg/m².

MOTEL – VEHICLE MOVEMENT

For the motel to the east of the subject site, the driveway is beside the common boundary. The noise level of vehicles driving on this driveway would be approximately 50 dB(A) $L_{A10,adj,T}$ @ 8 metres. This is based on extensive source noise level measurements conducted by the consultant of a range of different carparks, ranging in size from local convenience shops, churches, etc, to large regional shopping centres and hotels.

On the subject site, the closest external living areas adjoin this common boundary. At these external living areas, the noise of cars driving in the driveway would be approximately 53 dB(A) $L_{A10,adj,T}$ due to the reduced separation distance. The noise limits are:

- 58 dB(A) $L_{A10,adj,T}$ for daytime less 4 dB(A) for increased separation distance from road = 54 dB(A);
- 56 dB(A) $L_{A10,adj,T}$ for evening less 4 dB(A) for increased separation distance from road = 52 dB(A).

These noise limits are complied with, or complied with to within 1 dB(A), which is an insignificant difference. Therefore, no noise control measures are required for the motel driveway to the east of the subject site.

ON-SITE VEHICLE ACTIVITIES

Based on previous carpark and vehicle movement noise level measurements conducted by the consultant, source noise levels would be:

- car driving in driveway: 50 dB(A) $L_{A10,adj,T}$ @ 8 m;
- car door closing: 52 dB(A) $L_{A10,adj,T}$ @ 30 m;
- car engine starting: 52 dB(A) $L_{A10,adj,T}$ @ 30 m.

As detailed above, the pertinent noise limits are:

- daytime: 54 dB(A) $L_{A10,adj,T}$; and
- evening: 52 dB(A) $L_{A10,adj,T}$.

Therefore, the internal noise limits are 47 dB(A) daytime and 45 dB(A) evening and night-time, $L_{A10,adj,T}$.

In addition to the above, the World Health Organisation nominates that $L_{Amax,T}$ (approximated by $L_{A10,T}$) noise levels should not exceed 45 dB(A) inside bedrooms during the night. This noise limit is approximately equal to 52 dB(A) outside, with external openings open. At the closest bedroom for the first floor of the proposed development, the noise of on-site vehicle movements will be:

- 50 dB(A) $L_{A10,adj,T}$ @ 8 m from car driving on driveway + 4 (reduced separation distance to 5 m) – 22 (noise level reduction via closed standard glazing and external wall) = 32 dB(A). This complies with all of the above noise limits.
- 52 dB(A) $L_{A10,adj,T}$ @ 30 m from car door closing + 14 (reduced separation distance to 6 m) – 22 (noise level reduction via closed standard glazing and external wall) = 45 dB(A). This complies with all of the above noise limits.
- 52 dB(A) $L_{A10,adj,T}$ @ 30 m from car engine starting + 14 – 22 = 45 dB(A). This complies with all of the above noise limits.

For internal vehicle movements and carpark activities, with bedroom windows closed, the noise limits are complied with for the complete 24-hour day, for standard glazing. For living areas the noise limits would be greater and, therefore, these would also be complied with.

MOTEL – AIRCONDITIONING

The noise level of the motel airconditioning units should not exceed 40 dB(A) L_{Aeq} inside living areas and 35 dB(A) inside bedrooms of the proposed unit development. Based on previous noise level measurements conducted by the consultant of similar airconditioning units, the noise level of each airconditioning unit would be approximately 55 dB(A) $L_{Aeq,T}$ at 1 metre, and there are approximately 6 airconditioning units along the closest wall to the subject site. The combined noise level of these airconditioning units would be:

- a/c 1 = 55 @ 1 m – 20 (distance) = 35 dB(A)
- a/c 2 = 55 @ 1 m – 20 = 35 dB(A)
- a/c 3 = 55 @ 1 m – 22 = 33 dB(A)
- a/c 4 = 55 @ 1 m – 24 = 31 dB(A)
- a/c 5 = 55 @ 1 m – 26 = 29 dB(A)
- a/c 6 = 55 @ 1 m – 28 = 27 dB(A)
- combined noise level = 40.4 dB(A) – 7 (noise level reduction from outside to inside room of subject site with glazing open) = 32.6 + 2 (tonality) = 34.6 dB(A) $L_{Aeq,T}$.

This complies with the noise limits. Therefore, no noise control measures are required.

CONCLUSIONS

It is proposed to develop the currently vacant site at 29 Gordon Street, Ormiston, for a total of nine residential units. Based on the consultant's site inspection, this site has the potential to be noise impacted by:

- traffic noise;
- rail noise;
- children at play at child care centre;
- vehicle movements and airconditioning units at motels.

Based on a 24-hour ambient noise level study conducted from the subject site, traffic and rail noise levels were determined, as well as appropriate noise limits.

Rail noise does not exceed any of the noise limits and, therefore, does not require any further consideration.

Traffic noise exceeds the noise limits in the private courtyards for Units 5 and 6 and the communal recreation space. Figure 2 details the location and height of the acoustic barriers necessary to reduce ultimate traffic noise to the noise limits.

For internal areas, Table 2 details the minimum R_w requirements to control traffic noise to the noise limits.

Children at play noise from the child care centre would be adequately controlled by a 1.8 metre high acoustic barrier along the complete length of the northern boundary of the subject site and solid balustrading a minimum of 1000 mm high on the northern side of the balconies for Units 1 and 3.

Vehicle movement noise from the motel to the east of the subject site complies with the daytime noise limit and is within 1 dB(A) of the evening noise limit. As a difference in noise level of 1 dB(A) is, subjectively, inaudible to the human ear, this should be deemed to comply with the noise limit.

On-site vehicle movements and on-site carparking comply with the noise limits for the complete 24-hour day, with windows closed.

The noise of the motel airconditioning units will comply with the noise limits inside the closest rooms of the proposed development, with the windows of the proposed development fully open.

RECOMMENDATION

It is recommended that, from an environmental noise perspective, the proposed development be approved, provided the noise control measures detailed in this report are incorporated into the development.

APPENDIX A: NOISE LEVEL MEASUREMENT EQUIPMENT

Measurement Equipment

The following equipment was used to conduct the 24-hour noise level study:

- Bruel and Kjaer Type 2238F Precision Modular Sound Level Meter, Serial No. 2343803, with Type BZ7124 Logging SLM Software, microphone preamplifier Type ZC0030 and prepolarised free-field half-inch condenser microphone, Type 4188, Serial No. 2359944;
- Bruel and Kjaer Type AO 0560 10 m microphone extension cable;
- Bruel and Kjaer Type UA 1404 Outdoor microphone unit; and
- Bruel and Kjaer Type 4231 Sound Level Calibrator, Serial No. 2313453.

All of the above equipment is Type 1 in accordance with the requirements of Australian Standard AS 1259-1990, *Acoustics – Sound Level Meters*, as required by Australian Standard AS 2702-1984.

Measurement Equipment Settings

The above equipment was used with the following settings:

- | | |
|---------------------------|------------|
| • Detector: | RMS |
| • Time weighting: | FAST |
| • Frequency weighting: | A |
| • Sound Incidence: | FRONTAL |
| • Microphone sensitivity: | -30.6 dB |
| • Range: | 20-100 dB. |

Calibration

The sound level meter was calibrated to the required value of 94.0 dB at 1000 Hz immediately before and after the noise level measurements were conducted. At no time was an adjustment of more than ± 0.5 dB required. This complies with the requirements of the Australian Standard.

Monitoring Location

Monitoring location A was on the subject site, approximately midway between the two side boundaries and 8 metres in from the Gordon Street boundary. The microphone was elevated 1.6 metres above ground level. Refer Figure 2 for further detail.

Atmospheric Conditions

Throughout the 24-hour period, atmospheric conditions complied with the requirements of the Australian Standard.

APPENDIX B: RESULTS OF AMBIENT NOISE LEVEL MEASUREMENTS

Instrument: 2238
Application: BZ7124 version 1.2
Start Time: 21/08/2003 09:24:14 AM
End Time: 22/08/2003 09:14:14 AM
Elapsed Time: 23:50:00
Bandwidth: Broad band
Detector 1/2: RMS Peak
Range: 20.0-100.0 dB

| | Time | Frequency |
|-------------|-------|-----------|
| Detector 1: | S F I | A |
| Detector 2: | Peak | C |
| Statistic | F | A |

Criterion Level: 100.0 dB
Threshold: 0.0 dB
Exchange Rate: 3 and 4
Exposure Time: 7:30:00
Peaks Over: 140.0 dB

Instrument Serial Number: 2343803
Microphone Serial Number: 2359944
Input: Microphone
Windscreen Correction: On
S. I. Correction: Frontal

Calibration Time: 12/08/2003 02:14:30 PM
Calibration Level: 94.0 dB
Sensitivity: 30.6 dB
Microphone: 2359944

| Start date | Start time | LAeq | LAFMax | LAFMin | LAF1 | LAF10 | LAF50 | LAF90 | LAF99 |
|------------|-------------|------|--------|--------|------|-------|-------|-------|-------|
| 21/08/2003 | 09:24:14 AM | 57.3 | 78.2 | 43.8 | 66 | 60.5 | 54.5 | 48 | 45.5 |
| 21/08/2003 | 10:24:14 AM | 57.5 | 81.7 | 43.5 | 66 | 60.5 | 53.5 | 47 | 45 |
| 21/08/2003 | 11:24:14 AM | 57.3 | 74.4 | 43.3 | 66 | 60.5 | 54 | 47.5 | 45 |
| 21/08/2003 | 12:24:14 PM | 57.2 | 74.4 | 43.8 | 66.5 | 60 | 54 | 47.5 | 45.5 |
| 21/08/2003 | 01:24:14 PM | 57.1 | 75.5 | 44.4 | 66.5 | 60 | 53.5 | 47 | 45.5 |
| 21/08/2003 | 02:24:14 PM | 57.6 | 74.5 | 43.8 | 66.5 | 60.5 | 55 | 49 | 45.5 |
| 21/08/2003 | 03:24:14 PM | 58.6 | 81.5 | 43.9 | 66.5 | 61 | 56 | 49 | 46.5 |
| 21/08/2003 | 04:24:14 PM | 59.1 | 85.1 | 44.1 | 66.5 | 61.5 | 56.5 | 49 | 45.5 |
| 21/08/2003 | 05:24:14 PM | 56.8 | 73.3 | 40.9 | 64.5 | 60.5 | 54.5 | 46 | 42.5 |
| 21/08/2003 | 06:24:14 PM | 56.3 | 83 | 38.5 | 63.5 | 59 | 51 | 43.5 | 41 |
| 21/08/2003 | 07:24:14 PM | 53.4 | 68.5 | 33.2 | 62.5 | 58 | 46 | 39.5 | 35.5 |
| 21/08/2003 | 08:24:14 PM | 52.3 | 73.1 | 36.5 | 62.5 | 56.5 | 44.5 | 40.5 | 39 |
| 21/08/2003 | 09:24:14 PM | 53.6 | 73.2 | 36.2 | 67 | 56 | 45 | 41 | 39 |
| 21/08/2003 | 10:24:14 PM | 51.5 | 69.2 | 32.7 | 64.5 | 53.5 | 43 | 38 | 34.5 |
| 21/08/2003 | 11:24:14 PM | 47.1 | 72.8 | 30.5 | 59.5 | 47.5 | 39 | 35.5 | 33 |
| 22/08/2003 | 12:24:14 AM | 44.3 | 71 | 27.9 | 55.5 | 43.5 | 37 | 32 | 29.5 |
| 22/08/2003 | 01:24:14 AM | 40.5 | 62.2 | 26.8 | 53.5 | 39.5 | 34.5 | 31.5 | 29 |
| 22/08/2003 | 02:24:14 AM | 41.5 | 62.2 | 27.9 | 53.5 | 41 | 35 | 31 | 29.5 |
| 22/08/2003 | 03:24:14 AM | 44.4 | 65.9 | 30.2 | 56 | 43.5 | 37.5 | 34 | 31.5 |
| 22/08/2003 | 04:24:14 AM | 48.9 | 71.1 | 32.5 | 60.5 | 51 | 42.5 | 37 | 34.5 |
| 22/08/2003 | 05:24:14 AM | 54.1 | 75.4 | 40.7 | 63 | 57 | 49.5 | 45.5 | 42.5 |
| 22/08/2003 | 06:24:14 AM | 56.6 | 71.1 | 45.4 | 65.5 | 60 | 52.5 | 49 | 47 |
| 22/08/2003 | 07:24:14 AM | 58.3 | 77.9 | 43.7 | 67 | 61.5 | 55.5 | 48 | 45.5 |
| 22/08/2003 | 08:24:14 AM | 57.7 | 76.2 | 40.9 | 65 | 60.5 | 56 | 47.5 | 43.5 |

APPENDIX C: CALCULATION OF MINIMUM STC/Rw VALUES

| Floor | Unit | Room | Component | TNR | Sc | Sf | h | 2T60 | C | sum prior to log | log | log x 10 | Adjustment angle of view | Adjustment distance | Adjustment barrier | TNac | STC |
|-------|------|------------------------------|---------------|------|------|----|-----|------|---|------------------|--------|----------|--------------------------|---------------------|--------------------|------|-----|
| 1 | 1 | Living/Dining/Kitchen/Entry | External wall | 17 | 36.6 | 66 | 2.4 | 1 | 3 | 2.080 | 0.318 | 3.180 | | | | 20.2 | 26 |
| | | | Window | 17 | 5.76 | 66 | 2.4 | 1 | 3 | 0.327 | -0.485 | -4.851 | | | | 12.1 | 18 |
| | | | Window | 17 | 3.24 | 66 | 2.4 | 1 | 3 | 0.184 | -0.735 | -7.350 | -4 | | | 5.7 | 12 |
| 1 | 2 | Bedroom 2 | External wall | 22 | 7.44 | 14 | 2.4 | 1 | 2 | 1.329 | 0.123 | 1.234 | | | | 23.2 | 29 |
| | | | Window | 22 | 2.16 | 14 | 2.4 | 1 | 2 | 0.386 | -0.414 | -4.137 | | | | 17.9 | 24 |
| 2 | 3 | Living/Dining/Kitchen/Entry | External wall | 18.2 | 36.6 | 66 | 2.4 | 1 | 4 | 2.773 | 0.443 | 4.429 | | | | 22.6 | 29 |
| | | | Roof/ceiling | 18.2 | 66 | 66 | 2.4 | 1 | 4 | 5.000 | 0.699 | 6.990 | -4 | | | 21.2 | 27 |
| | | | Window | 18.2 | 5.76 | 66 | 2.4 | 1 | 4 | 0.436 | -0.360 | -3.602 | | | | 14.6 | 21 |
| | | | Window | 18.2 | 3.24 | 66 | 2.4 | 1 | 4 | 0.245 | -0.610 | -6.100 | -4 | | | 8.1 | 14 |
| 2 | 4 | Bedroom 2 | External wall | 23.8 | 7.44 | 14 | 2.4 | 1 | 3 | 1.993 | 0.299 | 2.995 | | | | 26.8 | 33 |
| | | | Roof/ceiling | 23.8 | 14 | 14 | 2.4 | 1 | 3 | 3.750 | 0.574 | 5.740 | -4 | | | 25.5 | 32 |
| | | | Window | 23.8 | 2.16 | 14 | 2.4 | 1 | 3 | 0.579 | -0.238 | -2.376 | | | | 21.4 | 27 |
| 1 | 5 | Living/Dining/Kitchen/Family | External wall | 17 | 13.2 | 72 | 2.4 | 1 | 3 | 0.685 | -0.164 | -1.640 | | | | 15.4 | 21 |
| | | | Window | 17 | 1.92 | 72 | 2.4 | 1 | 3 | 0.100 | -1.000 | -10.000 | | | | 7.0 | 13 |
| | | | Door | 17 | 1.72 | 72 | 2.4 | 1 | 3 | 0.090 | -1.048 | -10.478 | -1.1 | | | 5.4 | 11 |
| 2 | 5 | Study Nook | External wall | 23.8 | 5.7 | 9 | 2.4 | 1 | 3 | 2.375 | 0.376 | 3.757 | | | | 27.6 | 34 |
| | | | Roof/ceiling | 23.8 | 9 | 9 | 2.4 | 1 | 3 | 3.750 | 0.574 | 5.740 | -4 | | | 25.5 | 32 |
| | | | Window | 23.8 | 1.5 | 9 | 2.4 | 1 | 3 | 0.625 | -0.204 | -2.041 | -1.1 | | | 20.7 | 27 |
| 1 | 6 | Living/Dining/Kitchen/Family | External wall | 17 | 13.2 | 72 | 2.4 | 1 | 4 | 0.914 | -0.039 | -0.391 | | | | 16.6 | 23 |
| | | | Window | 17 | 1.92 | 72 | 2.4 | 1 | 4 | 0.133 | -0.875 | -8.751 | | | | 8.2 | 14 |
| | | | Window | 17 | 2.7 | 72 | 2.4 | 1 | 4 | 0.188 | -0.727 | -7.270 | -4 | | | 5.7 | 12 |
| | | | Door | 17 | 1.72 | 72 | 2.4 | 1 | 4 | 0.119 | -0.923 | -9.228 | -1.1 | | | 6.7 | 13 |
| 2 | 6 | Study Nook | External wall | 23.8 | 5.7 | 9 | 2.4 | 1 | 3 | 2.375 | 0.376 | 3.757 | | | | 27.6 | 34 |
| | | | Roof/ceiling | 23.8 | 9 | 9 | 2.4 | 1 | 3 | 3.750 | 0.574 | 5.740 | -4 | | | 25.5 | 32 |
| | | | Window | 23.8 | 1.5 | 9 | 2.4 | 1 | 3 | 0.625 | -0.204 | -2.041 | -1.1 | | | 20.7 | 27 |

| Floor | Unit | Room | Component | TNR | Sc | Sf | h | 2T60 | C | sum prior to log | log | log x 10 | Adjustment angle of view | Adjustment distance | Adjustment barrier | TNac | STC |
|-------|------|-----------|---------------|------|------|----|-----|------|---|------------------|--------|----------|--------------------------|---------------------|--------------------|------|-----|
| 2 | 6 | Bedroom 2 | External wall | 23.8 | 5.04 | 14 | 2.4 | 1 | 3 | 1.350 | 0.130 | 1.303 | -4 | | | 21.1 | 27 |
| | | | Roof/ceiling | 23.8 | 14 | 14 | 2.4 | 1 | 3 | 3.750 | 0.574 | 5.740 | -4 | | | 25.5 | 32 |
| | | | Window | 23.8 | 2.16 | 14 | 2.4 | 1 | 3 | 0.579 | -0.238 | -2.376 | -4 | | | 17.4 | 23 |



File Note

File Note Purpose (Tick/ circle which one applies)

- ☐ Meeting ☒ Telephone conversation
☐ Prelodgement ☐ Application Not Properly Made
☐ Other

File No: MC008015 Date: 10/2/05
Street Address: 29 Gordon Street, Ormiston
Subject Matter: Application process, extension of decision stage, etc.
Officer: Rick Ng

Comments

End of
I tried to contact Aaron Sweet but was told that he has gone for annual leave and would not be back until Feb 2005. So I got transferred to Dave who looks after Aaron's projects in his absence.

I told Dave that I had reviewed the file history, and Aaron had a different view from Council's in relation to re-start of process due to the proposal having been changed by the applicant, etc. I stated that if Aaron's view was right, decision would have long overdue so is the applicant's appeal period.

However, Council's view is that, the information submitted on 13 Jan 2005 by Aaron was an information response and decision stage started again from that day. Then Decision 1 is due on 11/2/05.

I told Dave that based on Council's determination on the question of application process (as above), the decision would be extended by 20 b.d. and a decision would be made within such period.

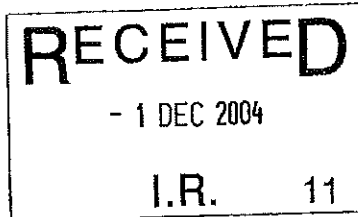
Dave said it would be OK and he would inform his client about this.

Rick Ng

Our Ref: 03.1582
Your Ref: MC008015

30 November 2004

Paul Toohy
Senior Planner
Development Assessment
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163



Certifiers & Planners

Bartley Burns

Bartley Burns Town Planning Pty Ltd
ABN 36 413 954 407

1 Peterson Street
Wellington Point Q 4160
PO Box 2297
Wellington Point Q 4160

Tel 07 3207 4488
Fax 07 3207 5599
info@bartleyburns.com.au
www.bartleyburns.com.au

Dear Sir,

IDAS ASSESSMENT PERIOD RELATING TO PROPOSED MULTIPLE DWELLING (9 UNITS) AT 29 GORDON STREET, ORMISTON.

I refer to your email correspondence of today's date relating to the above-mentioned development application.

Council issued an Information Request relating to the proposal on 20 January 2004 addressing many issues with the design of the proposal. Amended plans were prepared and submitted on 27 May 2004 as a formal response to the Information Request.

As a result of Council's assessment, an additional letter was issued on 27 August 2004 reiterating Council's concerns with respect to the amended plans.

Further amendments were made resulting in vast improvements to the design of the building and a reduction in its bulk and scale and were submitted to Council on 12 November 2004. These changes predominantly included the following:

- A reduction in the overall height of the building by 1.1 metres from 10.8 to 9.7 metres through the removal of the pitched roof and replacement with skillion roof profiles;
- A reduction in the overall bulk and scale of the front building module by reducing the southern portion of the building to two storeys and in turn reducing shadow impact on the submitter's land;
- Inclusion of a larger northern boundary setback for the bulk of the front module of the building to reduce the length of the facade to the street;
- The inclusion of larger width landscaped areas adjoining the street frontage, further articulation of the Acoustic Fence and the inclusion of gatehouse entry structures to positively contribute to the streetscape;
- Reduced likelihood of overlooking from the verandahs on Units 5 and 6 to the Motel to the south due to the inclusion of screens and a redesign.

There were no major changes to the rear building module with the exception of internal changes and an alteration to the architectural style. The latest submission of amended plans represents an improvement on the proposal which was publicly notified in accordance with the Act.

Section 3.2.9(1) of the *Integrated Planning Act 1997* states that the applicant may change the application by giving the assessment manager written notice of the change before the application is decided. In this situation, alterations were made to the proposal with respect to the Information Request issued by Council. The content of the application being for a Multiple Dwelling containing 9 units has not changed.

Section 3.2.9(5) of IPA states that *"To remove any doubt, it is declared that this section does not apply if an applicant changes an application in response to an information request."*

The Act does not specify that the application needs to be changed as part of the formal Information Response for subsection 5 to apply. In this situation, the amended plans submitted to Council on 12 November 2004 were in response to those issues raised in Council's Information Request. Accordingly, as far as the Act is concerned, there has been no change made to the application.

Also worthy of consideration is subsection 4 of s3.2.9 which states that the IDAS process does not stop if:

"(b) the assessment manager is satisfied the change would not adversely affect the ability of a person to assess the changed application."

A conservative view is that the changes made result in an improvement in the development with the modified proposal having no greater impact on the surrounding area than that which was publicly notified. Further, some of the issues raised in the submission received by Council are diminished as a result of the changes made.

I await receipt of a decision on this application at the earliest opportunity given that the application is in the decision making period under IDAS.

Should you have any queries or require further information please do not hesitate to contact me on (07) 3207 4488 or 0403 383 064.

Yours faithfully,



Aaron Sweet
Senior Planner



Redland
SHIRE COUNCIL

20th January 2004

Redland Shire Council
Cnr Bloomfield & Middle Sts.
Cleveland Qld 4163
PO Box 21,
Cleveland Qld 4163
Telephone (07) 3829 8999
Facsimile (07) 3829 8765
Email: rsc@redland.qld.gov.au
Web: www.redland.qld.gov.au

Your Ref: _____
Our Ref: JH
File No: MC008015
Contact: Development Assessment
Contact: D A Team

Stratchen Constructions
c/-Rick Day
Bartley Burns Planning Pty Ltd
P O BOX 2297
WELLINGTON POINT QLD 4160

Information Request

Dear Sir/Madam

Proposed Development: Multiple Dwellings x 9
Application Reference No: MC008015
Site Description: Lot 102 C627
Site Location: 29-33 Gordon Street, Ormiston 4160

Upon review of the abovementioned Development Application and supporting information we require further information to satisfactorily assess this application. The information requested is set out below.

PLANNING REQUIREMENTS

1. The site is identified as Service Commercial in the Strategic Plan. In accordance with Section 4.13 (5A) of the *Local Government (Planning and Environment) Act 1990* (as called up by Section 6.1.30 of *IPA 1997*) please provide sufficiently good planning grounds to justify approving the application despite the inconsistency.
2. Population density of the site is in excess of 100 persons per hectare. Please provide sufficiently good planning grounds to justify the density.

Design Element 1 – Streetscape Amenity

1. Please demonstrate how the proposed multiple dwelling integrate with the surrounding residential neighbourhood. On review of the current proposal it is not considered that the design is similar to the residential character of the surrounding area.
2. Please demonstrate that the proposed streetscape is appropriate to the location.
3. Please provide a perspective drawing showing the inclusion of the proposed acoustic fence.

4. Please demonstrate that the building mass will fit within the context of the immediate locality.

Design Element 2 – Building Size and Bulk

1. Please demonstrate that the bulk size and height of a multiple dwelling development is consistent with the density and character of the surrounding neighbourhood. On review of the current application the proposal has a three storey building located next to a lowset building. As a result the proposal will dominate the adjoining property visually.
2. Please demonstrate that the proposed setbacks accord with the surrounding neighbourhood. The adjoining properties are set back further than the proposal and are smaller in terms of building mass.

Design Element 3 – Building Setbacks and Site Coverage

1. Please demonstrate compliance with the front setback requirements. The proposal has the accessway located 3m from the front property boundary.
2. Please demonstrate compliance with the side boundary set back requirements. It is considered that the balconies on unit 1, 3 and 6 should be set back a minimum of 6m from the side boundaries. Please also show that the windows have a minimum sill height of 1.6m above floor level for the first and second storeys where they encroach on the side and rear setback requirements.
3. Please demonstrate how the proposed units are set back the minimum of 3m from the internal driveway system.
4. Please demonstrate how site coverage is of appropriate residential character and visual bulk.

Design Element 4 – Dwelling Unit Design and Appearance

1. Please demonstrate how the design of the multiple dwellings is similar to the character of the area.
2. Please demonstrate how units will be individually identifiable to the owners. Also demonstrate how visitors to the site will be aware that units exist to the rear of the property, no visual linkage with the street is provided for.

Design Element 5 – Car Parking and Site Access

1. Please demonstrate how car parking is recessed behind the main face of the dwelling. The internal courtyard is dominated by garages.
2. Please demonstrate how visitors will gain access to the internal courtyard. Plans indicate a door which will prohibit visitors from entering the complex.
3. Please demonstrate how the design of the complex encourages pedestrian access. The internal accessways are solely for vehicles with no allowance or differentiation of pedestrian access routes.
4. Please indicate where the one space required for a boat is to be located on the site.

5. Please demonstrate how the lower living areas of the rear units will not be unduly affected by the noise of vehicles and the sweep of headlights of vehicles entering and leaving the site.

Design Element 7 – Climatic Design

1. Please demonstrate that each units principal living area is within twenty degrees of north.
2. Please demonstrate how the proposed units are orientated to take advantage of prevailing breezes.
3. Please provide shadow diagrams demonstrating that adjoining properties will not be unduly affected by shade.

Design Element 8 – Visual and Acoustic Privacy

1. Please demonstrate how the proposed layout will not cause undue overlooking of adjoining residences. Balconies and windows facing the internal courtyard are not screened and are within 12m of one another.

Design Element 9 – Security

Please provide details of lighting to be used in the complex.

ENGINEERING REQUIREMENTS

1. Provide earthworks plan and contour levels at 1m intervals.
2. Car parking areas must be designed and landscaped to enhance the amenity of the development. Demonstrate how the proposed development is in accordance with Council's car parking requirements.
3. Demonstrate how vehicles will manoeuvre on site. Show turning circles using the design template from AS 2890.1. How do trucks (service vehicles etc) enter and leave the site?
4. Provide a preliminary stormwater concept plan addressing underground and overland flow. Demonstrate that the development will not contaminate the stormwater and show overland flow paths.
5. During the construction phase of this development it is important that an erosion and sediment control plan be followed to reduce impact of this development into the existing environment. Please provide an erosion and sediment control plan that indicates how this development will not affect the environment.

POLLUTION PREVENTION REQUIREMENTS

1. Noise

Council acknowledges receipt of the Environmental Noise Level Study for proposed Residential Development – 29 Gordon Street, Ormiston conducted for Modini and Smith Building Design Group Report No: R03183/D711/Rev.0/14.10.03 prepared by David Moore & Associates.

To adequately assess the impacts of noise on the proposed multiple dwelling, the following additional information is required:

- a) Please provide a revised acoustic report which includes an assessment of the potential noise impacts from the nearby Trade Street industrial area
- b) Please provide information regarding the transfer of noise from carparking / thoroughfare areas to the second and third storey of proposed units 1-4, including details of any attenuation required.
- c) Council's *Impact of Transportation Systems on Urban Amenity Transitional Planning Scheme Policy*, requires that the inside living rooms of a proposed dwelling house, multiple dwelling or accommodation unit are to achieve an LAeq (1hr)(6am-10pm) not greater than 45dB(A). In the report provided, you have stated that the criteria is 40dB(A) and have made recommendations accordingly. Please submit revised data and recommendations that reflect the appropriate criteria.

Please also provide:

- d) A map showing the location of the monitoring equipment on site
- e) With reference to the section 'Traffic Noise Control – Internal Areas', please provide information which details the factors taken into consideration when measuring ground absorption and a subsequent justification of the increase in ground attenuation adjustment between the first and second floors of the proposed development
- f) A justification of the use of the data outlined in the Child Care Centre and Motel – Vehicle Movement sections of the report (source of information, supporting data, etc)
- g) Details of the design of the proposed acoustic fences. Acoustic fences fronting Gordon Road must be designed in accordance with Council's *Impact of Transportation Systems on Urban Amenity Transitional Planning Scheme Policy*
- h) Details regarding the factors considered in the assessment of noise from the motel air conditioning units (including whether any adjustment has been made for tonality)

2. Improvement of Stormwater Quality

- a) Please provide information about how rubbish bins and vehicles will be cleaned on the property without causing undue impacts on the environment
- b) The applicant is to provide details of water sensitive urban design with regard to the proposed carpark. The carpark shall be constructed so that the quality of runoff from this area is improved. Methods that may be employed include:
 - absorption via permeable mediums
 - absorption pits
 - vegetated swales and channels
 - gross pollutant traps

3. Lighting

Please provide information regarding the impact that light from the surrounding land uses (carparks, child care centre and commercial premises) will have on the proposed residential use. The information provided should include any suitable mitigation measures such as the appropriate positioning of bedrooms etc.

WASTE/RECYCLING STORAGE AND COLLECTION:

Provide details of:

- a) The location and construction details of the waste/recycling container storage areas for;
- b) The proposed method of servicing the containers (ie. via the kerbside or the internal hardstand area of the development); and
- c) The proposed on-site waste and recycling bin cleansing facilities(ie. wash down bay) or alternative cleansing method.

When considering the above issues, the following advisory statements should be taken into account:

Waste storage:

- All bins for the proposed land use must be stored within the curtilage of each individual dwelling or within dedicated bin compound(s) on site. If the curtilage of each individual unit is selected, the bins are not permitted to be stored within an enclosed garage or other dwelling. Therefore the bin storage areas indicated on site plan (drawing no 02-450) for units 1, 2, 3, 4, 5, 7 (two bin storage areas have been indicated for this unit) and 8 will have to be relocated so that the bins are stored within the outside curtilage of each dwelling or within centralised bin compounds on site.
- All bins for the proposed land use must be screened from the road, neighbouring and other on-site residences and located on a hardstand impervious surface.
- Access must be available to enable the bins to be wheeled out to kerbside or the servicing area without passing through the respective unit house and garage.

Waste collection:

- If an internal hardstand area is selected as the servicing method (as indicated in the legend on site plan drawing number 02-450), confirm that it is of sufficient strength and design to accommodate the weight and manoeuvrability of waste/recycling collection vehicles to enter the site, service the containers and exit in a forward manner (including sufficient height access for the waste collection vehicles to use the driveway under units 1-4).
- If a kerbside service is selected as the servicing method, confirm that there is 1 metre of unobstructed (including trees, powerlines, landscaping, driveways and carparks) kerbside space per wheellie bin available on the road frontage of the proposed land use. Kerbside space of neighbouring properties cannot be used.

Cleansing of waste containers

- Where on-site was cleansing facilities will be provided, Council must approve the location and construction details of the washdown bay, with details to be submitted with the plumbing and drainage application for the development. Generally a washdown bay must be a hardstand area suitably drained to a trade waste outlet and have a hose and cock available within the vicinity of the bay. A trade waste outlet will require a trade waste permit from Council through Trade Waste control.
- Where no on site waste/recycling bin cleansing facilities are provided, a written agreement is to be made (to the satisfaction of the Manager Assessment Services) with a private cleansing contractor for the purpose of cleansing the containers.

Contact should be made with the Development Application Co-ordinator as identified should you need to clarify or discuss any matter further. I encourage you to undertake this as soon as possible so that no undue delays or misunderstanding can arise to cause delays in processing your application.

I am obliged to draw your attention to Section 3.3.8, which sets out that you as the Applicant have three (3) options available in response to this Information Request. That is you (the Applicant) must give the Assessment Manager (Redland Shire Council):

- 1) All of the information requested; or
- 2) Part of the information requested together with a notice asking the assessment manager and each referral agency to proceed with the assessment of the application.

3) A notice –

- a) stating that the applicant does not intend to supply any of the information requested; and
- b) asking the assessment manager and each referral agency to proceed with the assessment of the application'.

Response to this Information Request should be forwarded to:

John Hoare
Development Assessment Team
Assessment Services
PO Box 21, Cleveland, Qld, 4163
Phone: 3829 8274 Fax: 3829 8417
Email: johnho@redland.qld.gov.au]

Yours sincerely

Ross Edmonds
**Development Assessment
Services Manager**



Redland
SHIRE COUNCIL

14 December 2004

FAXED
14 DEC 2004

Redland Shire Council
Cnr Bloomfield & Middle Sts.
Cleveland Qld 4163
PO Box 27,
Cleveland Qld 4163
Telephone (07) 3829 8999
Facsimile (07) 3829 8765
Email: rsc@redland.qld.gov.au
Web: www.redland.qld.gov.au

Your Ref:
Our Ref:
File No: MC008015
Contact: Development Assessment

Stratchen Constructions
Po Box 2297
WELLINGTON POINT QLD 4160

Information Request

Dear Sir/Madam

Proposed Development: Multiple Dwelling x 9
Application Reference No: MC008015
Site Description: Lot 102 C 627 Vol 16898155
Site Location: 29-33 Gordon Street Ormiston QLD 4160

Upon review of the abovementioned Development Application and supporting information we require further information to satisfactorily assess this application. The information requested is set out below.

PLANNING REQUIREMENTS

The proposed development is a multiple dwelling development in a Services Commercial zone. The density of the proposed development is approximately 100 persons per hectare which is equivalent to a population density for a Residential B Zone. For this reason, Council requires that you demonstrate that:

- The proposed multiple dwelling proposal does not impact on surrounding commercial uses by providing shadow drawings indicating the impact of Units 7 and 8 on the motel development on the adjoining lot to the east.
- The proposed multiple dwelling proposal does not impact on surrounding land uses in terms of density and setbacks.
- The surrounding uses will not impact unfavourably on the proposed development.

Provide a revised Statement of Compliance in accordance with the Residential Code for Multiple Dwelling Development where the acceptable solutions are not adopted, outlining how the amended design meets the intent of each of the design elements through the performance criteria.

BUILDING REQUIREMENT

Provide a drawing, to scale, which shows how the site cover has been determined. (Make allowance for a discount of 20% of the gross floor area of the dwelling units designed to be adaptable in accordance with Council's Adaptable Housing Policy.)

BUILDING REQUIREMENT

1. Demonstrate compliance with Council's Adaptable Housing Policy.
2. Streetscape elevations are required in order to assess the building size and bulk in relation to other buildings in the street. These elevations are to include the Child Care Centre to the north and Motel to the south.
3. Demonstrate compliance with Council's Residential Code for Multiple Dwelling Development, DE 7 Climatic Design, in relation to the provision for cross-ventilation.

Advisory Note: Consider increasing the opening size of the windows to the west elevation of Units 1, 2, 3, 4, 5 and 6 to permit better cross ventilation. Also consider replacing fixed glazing with openable windows. These windows should also be protected from western sun with an appropriate shading device.

ENGINEERING REQUIREMENTS

In Council's opinion, a traffic study, taking into account peak-hour traffic flows in Gordon Street in accordance with AS2890.1 and Austroads requirements, is still required to:

1. Demonstrate how vehicles, including construction and service vehicles will manoeuvre on site. Show turning circles using the design template from AS 2890.1
2. Demonstrate how internal traffic movements will be safely managed for residents accessing the rear building through the car parking areas of the front building.
3. Provide a preliminary stormwater concept plan addressing underground and overland flow. Demonstrate that the development does not contaminate the stormwater and show overland flow paths.
4. During the construction phase of this development, it is important that an erosion and sediment control plan be followed to reduce the impact of this development into the existing environment. Please provide an erosion and sediment control plan that indicates how this development will not affect the environment.

POLLUTION PREVENTION

1. Review and amend the Environmental Noise Level Study given that the dwellings are now constructed of lightweight material.

NOTE: If amended drawings are submitted, all amendments should be clearly identified, a drawing reference added to identify the amendment and drawings are to be submitted in full sets, including any unamended drawings.

Contact should be made with the Development Application Co-ordinator as identified should you need to clarify or discuss any matter further. I encourage you to undertake this as soon as possible so that no undue delays or misunderstanding can arise to cause delays in processing your application.

I am obliged to draw your attention to Section 3.3.8, which sets out that you as the Applicant have three (3) options available in response to this Information Request. That is you (the Applicant) must give the Assessment Manager (Redland Shire Council):

- 1) All of the information requested; or
- 2) Part of the information requested together with a notice asking the assessment manager and each referral agency to proceed with the assessment of the application.

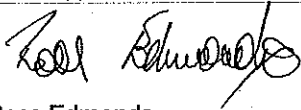
3) A notice:

- i stating that the applicant does not intend to supply any of the information requested; and
- ii asking the assessment manager and each referral agency to proceed with the assessment of the application.

Response to this Information Request should be forwarded to:

Development Assessment Team
Assessment Services
PO Box 21, Cleveland, QLD, 4163
Phone: 3829 8268 Fax: 3829 8809
Email: dianag@redland.qld.gov.au

Yours sincerely



Ross Edmonds
Development Assessment Services Manager

Certifiers & Planners

Bartley Burns

Bartley Burns Town Planning Pty Ltd
ABN 36 413 954 407

1 Peterson Street
Wellington Point Q 4160
PO Box 2297
Wellington Point Q 4160

Tel 07 3207 4488
Fax 07 3207 5599
info@bartleyburns.com.au
www.bartleyburns.com.au

Our Ref: 03.1582
Your Ref: MC008016

22 June 2004

John Hoare
Assessment Manager
Development Assessment Team
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163

Dear Sir,

NOTICE OF COMPLIANCE – DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE FOR MULTI UNIT DWELLING (9 UNITS) ON LAND AT 29 GORDON STREET, ORMISTON.

Please be advised that public notification of this application has been undertaken as per the requirements of section 3.4.4 of the *Integrated Planning Act 1997* by:

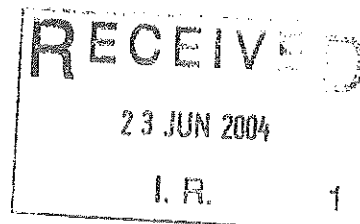
- Posting the required notice by mail to all adjoining owners of land adjoining the subject site on 27 May 2004.
- Placing the required notice on the frontage of the subject site on Friday 28 May 2004 and maintaining the sign until Monday 21 June 2004. The public notice was removed from the site on Tuesday 22 June 2004.
- Publishing a copy of the Public Notice in the *Courier Mail* on Friday 28 May 2004.

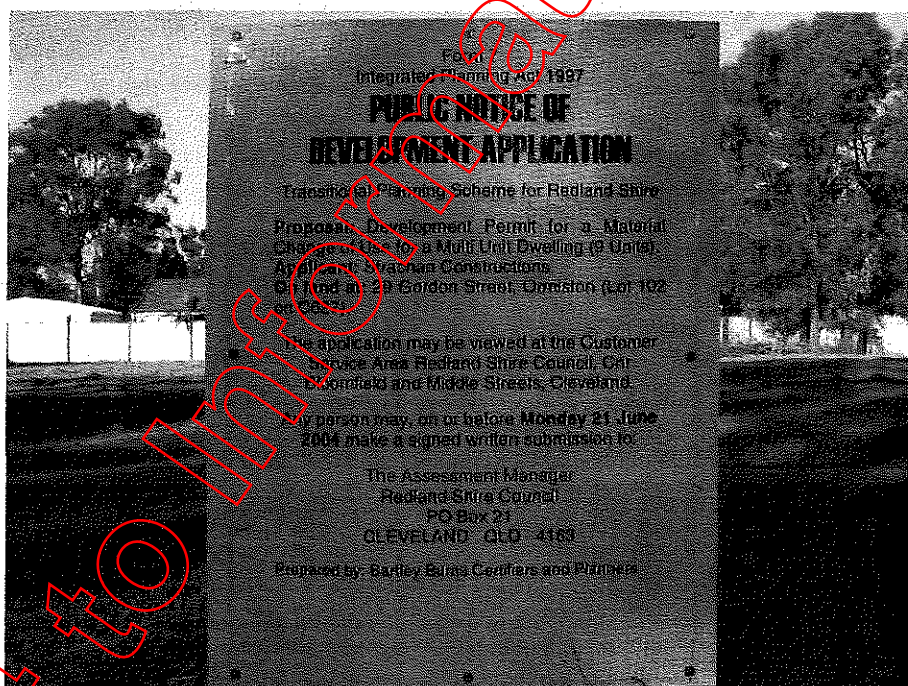
A copy of adjoining owners letters, photographs of the sign on site and a copy of the newspaper advertisement have been included for your records.


Yours faithfully,


Aaron Sweet
Town Planner

enc.
Photos of signage
Adjoining owner's letters
Newspaper Advertisement





| | | |
|-----------------------------------|------------|--|
| TITLE | DATE |  Bartley Burns Certifiers & Planners 1 Petersen Street Wellington Point Q 4160 |
| PUBLIC NOTIFICATION PHOTOS | 22/06/2004 | |
| SITE | | |
| 29 GORDON STREET, ORMISTON | | |

Land Owners Report

Thursday, 27 May 2004

115261

Land Description Lot 101 C627
Land Address Ormiston Child Care Centre
35-39 Gordon Street
Ormiston QLD 4160
Owners ~~Even Angelos Investments Pty Ltd~~ ✓

Service Address 18 Lant Street
Chapel Hill QLD 4069

115633

Land Description Lot 84 C627
Land Address 37 Freeth Street East
Ormiston QLD 4160
Owners ~~D & P McGrath Enterprises Pty Ltd~~

Service Address 37 Freeth Street East
Ormiston QLD 4160

115916

Land Description Lot 83 C627
Land Address 25-27 Horatio Street
Ormiston QLD 4160
Owners ~~D & P McGrath Enterprises Pty Ltd~~

Service Address 37 Freeth Street East
Ormiston QLD 4160

300063

Land Description Lot 70 SP114614
Land Address 20A Bainbridge Street
Ormiston QLD 4160
Owners [REDACTED] ✓

Service Address 20A Bainbridge Street
Ormiston QLD 4160

27 May 2004

Evan Angelos Investments Pty Ltd
18 Lant Street
CHAPEL HILL QLD 4069

POSTED

Dear adjoining land owner,

DEVELOPMENT APPLICATION FOR A MULTIPLE DWELLING.

This notice serves to inform you that a Development Application has been lodged with the Redland Shire Council over land which adjoins your property.

Pursuant to section 3.3.4.(1) of the *Integrated Planning Act 1997* we are required to provide you with this notice.

Form 7
Integrated Planning Act 1997
**PUBLIC NOTICE OF
DEVELOPMENT APPLICATION**

Transitional Planning Scheme for Redland Shire

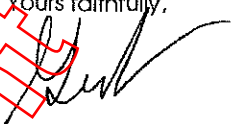
Proposal: Development Permit for a Material Change of Use for a Multiple Dwelling (9 Units).
Applicant: Strachan Constructions.
On land at: 29 Gordon Street, Ormiston (Lot 102 on C627).

The application may be viewed at the Customer Service Area Redland Shire Council, Cnr Bloomfield and Middle Streets, Cleveland.

Any person may, on or before **Monday 21 June 2004** make a signed written submission to:

The Assessment Manager
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163

Yours faithfully,


Aaron Sweet
Senior Planner

27 May 2004

D & P McGrath Enterprises Pty Ltd
37 Freeth Street East
ORMISTON QLD 4160

POSTED

Dear adjoining land owner,

DEVELOPMENT APPLICATION FOR A MULTIPLE DWELLING.

This notice serves to inform you that a Development Application has been lodged with the Redland Shire Council over land which adjoins your property.

Pursuant to section 3.3.4.(1) of the *Integrated Planning Act 1997* we are required to provide you with this notice.

Form 7
Integrated Planning Act 1997
**PUBLIC NOTICE OF
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Transitional Planning Scheme for Redland Shire

Proposal: Development Permit for a Material Change of Use for a Multiple Dwelling (9 Units).
Applicant: Strachan Constructions.
On land at: 29 Gordon Street, Ormiston (Lot 102 on C627).

The application may be viewed at the Customer Service Area Redland Shire Council, Cnr Bloomfield and Middle Streets, Cleveland.

Any person may, on or before **Monday 21 June 2004** make a signed written submission to:

The Assessment Manager
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163

Yours faithfully,



Aaron Sweet
Senior Planner

27 May 2004

20A Bainbridge Street
ORMISTON QLD 4160

Dear adjoining land owner,

DEVELOPMENT APPLICATION FOR A MULTIPLE DWELLING.

This notice serves to inform you that a Development Application has been lodged with the Redland Shire Council over land which adjoins your property.

Pursuant to section 3.3.4.(1) of the *Integrated Planning Act 1997* we are required to provide you with this notice.

Form 7
Integrated Planning Act 1997
**PUBLIC NOTICE OF
DEVELOPMENT APPLICATION**

Transitional Planning Scheme for Redland Shire

Proposal: Development Permit for a Material Change of Use for a Multiple Dwelling (9 Units).

Applicant: Strachan Constructions.

On land at: 29 Gordon Street, Ormiston (Lot 102 on C627).

The application may be viewed at the Customer Service Area Redland Shire Council, Cnr Bloomfield and Middle Streets, Cleveland.

Any person may, on or before **Monday 21 June 2004** make a signed written submission to:

The Assessment Manager
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163

Yours faithfully,


Aaron Sweet
Senior Planner

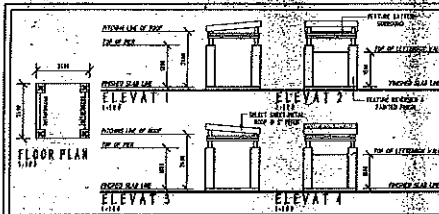
Qld Newspapers

27/05/04 16:17 PAGE 2/2

| Ta. | No | Pub | T | Class | Date | Depth | Lines | Cost | Sort | Flags |
|-----------|----|--------|---|-------|---------|---------|-------|------------|--------|-------|
| 1191204V1 | | BCM, L | | PUE | NOTICES | 28may04 | 4.3 | 27 \$23.86 | Form 7 | --CHE |

Form 7
Integrated Planning Act 1997
PUBLIC NOTICE OF

DEVELOPMENT APPLICATION
Transitional Planning Scheme for
Redland Shire
Proposal: Development Permit for a
Material Change of Use for a Multi
Unit Dwelling (9 Units)
Applicant: Strachan Constructions
On land at: 29 Gordon Street,
Ormonde (Lot 102 on C627).
The application can be viewed at the
Customer Service Area Redland
Shire Council, Cnr Bloomfield and
Middle Streets, Cleveland
Any person may, on or before
Monday 21 June 2004, make a
signed written submission to: The
Assessment Manager, Redland
Shire Council, PO Box 21,
CLEVELAND QLD 4163
Prepared by: Bartley Burns



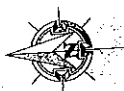
- MAIN GATE HOUSE -

TOWN PLANNING CALCULATIONS

| | | |
|--|----------------------|--------|
| TOTAL SITE AREA | 2074 S.F. | 100.0% |
| TOTAL SITE COVERAGE | 880 S.F. | 42.4% |
| TOTAL S.F.A. | 1195 S.F. | 57.6% |
| TOTAL GARAGE DRIVING AREA | 60 S.F. | 2.9% |
| TOTAL LANDSCAPING | 877 S.F. | 42.3% |
| TOTAL P.C.V. AREA (TWO LANE ROADWAY, 11' WIDE) | 135 S.F. | 6.5% |
| TOTAL COMMUNAL OPEN SPACE | 112 S.F. | 5.4% |
| TOTAL PARKING | 16 | 0.8% |
| TOTAL NUMBER OF UNITS | 9 | |
| | 2 x 2 BED TOWNHOMES | |
| | 2 x 3 BED TOWNHOMES | |
| | 2 x 2 BED APARTMENTS | |
| | 1 x 2 BED LOUVER | |

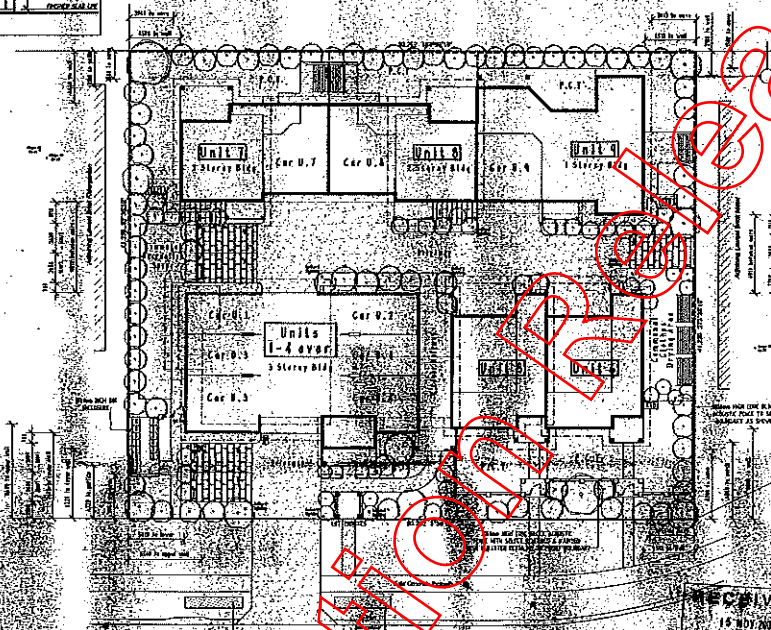
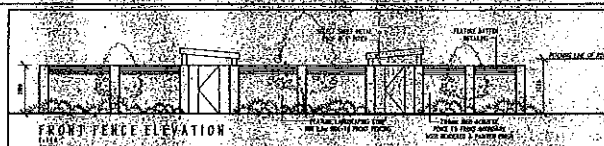
LEGEND

- P.C.V. AREA: PAVEMENT, CURB, SIDEWALK, AND OTHER FEATURES AS SHOWN.
- PARKING AREA: PARKING SPACES, DRIVEWAYS, AND OTHER FEATURES AS SHOWN.
- LANDSCAPING AREA: LANDSCAPING FEATURES AS SHOWN.
- BUILDING FOOTPRINT: BUILDING FOOTPRINT AS SHOWN.
- BUILDING HEIGHT: BUILDING HEIGHT AS SHOWN.
- BUILDING SETBACK: BUILDING SETBACK AS SHOWN.
- BUILDING ORIENTATION: BUILDING ORIENTATION AS SHOWN.
- BUILDING MATERIALS: BUILDING MATERIALS AS SHOWN.
- BUILDING DETAILS: BUILDING DETAILS AS SHOWN.



SITE LAYOUT PLAN

SCALE 1/8" = 1'-0"



GORDON STREET

| | |
|-------------------------------------|----|
| NO. OF UNITS | 9 |
| NO. OF PARKING SPACES | 16 |
| NO. OF VISITOR SPACES | 0 |
| NO. OF VISITOR GARAGES | 0 |
| NO. OF VISITOR DRIVEWAYS | 0 |
| NO. OF VISITOR SIDEWALKS | 0 |
| NO. OF VISITOR LANDSCAPING | 0 |
| NO. OF VISITOR BUILDING FOOTPRINT | 0 |
| NO. OF VISITOR BUILDING HEIGHT | 0 |
| NO. OF VISITOR BUILDING SETBACK | 0 |
| NO. OF VISITOR BUILDING ORIENTATION | 0 |
| NO. OF VISITOR BUILDING MATERIALS | 0 |
| NO. OF VISITOR BUILDING DETAILS | 0 |

RECEIVED
15 NOV 2014
Dorchester
Assessment

CONCEPT DESIGN FOR TOWN PLANNING APPROVAL ONLY

PROPOSED DEVELOPMENT
20 GORDON STREET
DORCHESTER
MA 01918

DESIGNED BY
HODINI + SMITH
1000 WASHINGTON STREET
DORCHESTER, MA 01918
TEL: 617.234.1234
WWW.HODINIANDSMITH.COM

DATE
10/15/2014

SCALE
1/8" = 1'-0"

PROJECT NO.
1000000000

PROJECT NAME
20 GORDON STREET

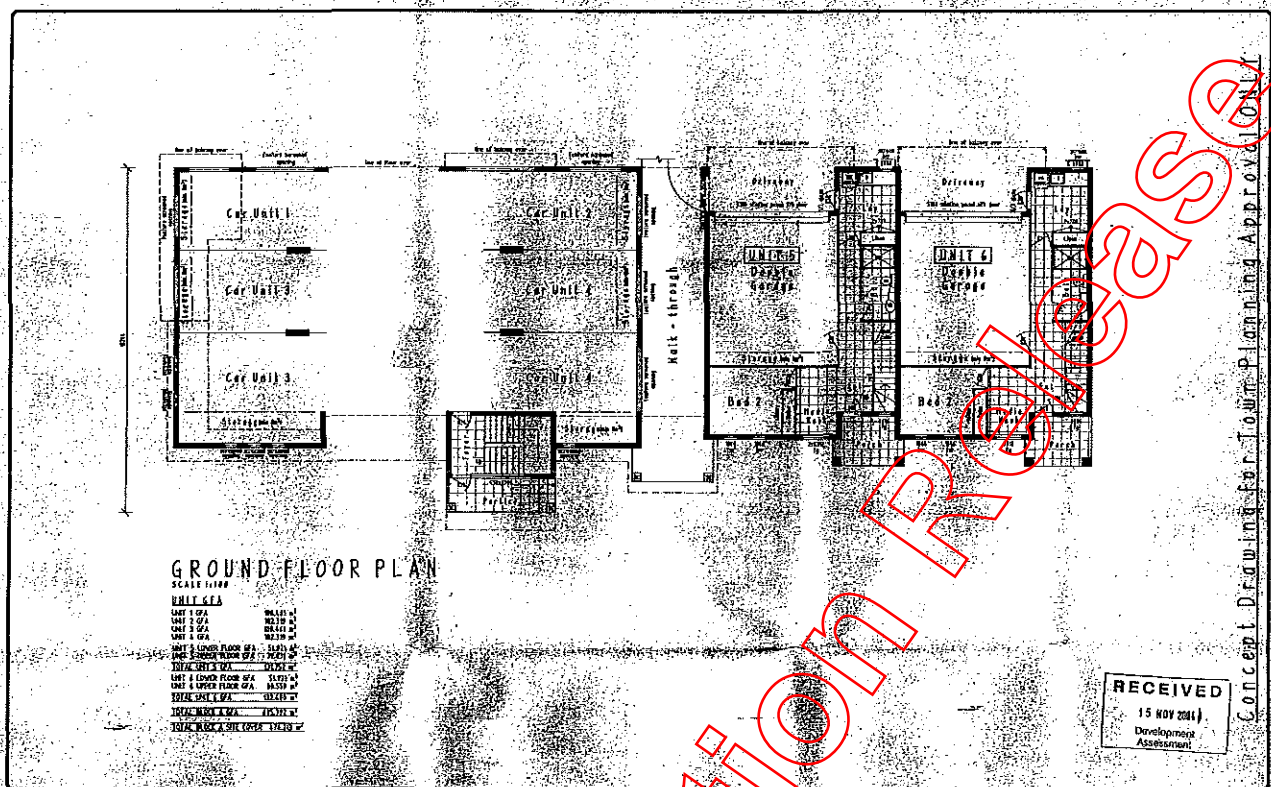
PROJECT LOCATION
20 GORDON STREET, DORCHESTER, MA 01918

PROJECT DESCRIPTION
CONCEPT DESIGN FOR TOWN PLANNING APPROVAL ONLY

PROJECT STATUS
CONCEPT DESIGN FOR TOWN PLANNING APPROVAL ONLY

PROJECT CONTACT
HODINI + SMITH
1000 WASHINGTON STREET
DORCHESTER, MA 01918
TEL: 617.234.1234
WWW.HODINIANDSMITH.COM

Right to Information Release



GROUND FLOOR PLAN

SCALE 1:100

UNIT SIZES

| | |
|--------------|----------------------|
| UNIT 1 GFA | 94.51 m ² |
| UNIT 2 GFA | 92.19 m ² |
| UNIT 3 GFA | 92.19 m ² |
| UNIT 4 GFA | 92.19 m ² |
| UNIT 5 GFA | 92.19 m ² |
| UNIT 6 GFA | 92.19 m ² |
| UNIT 7 GFA | 92.19 m ² |
| UNIT 8 GFA | 92.19 m ² |
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| UNIT 10 GFA | 92.19 m ² |
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| UNIT 22 GFA | 92.19 m ² |
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| UNIT 97 GFA | 92.19 m ² |
| UNIT 98 GFA | 92.19 m ² |
| UNIT 99 GFA | 92.19 m ² |
| UNIT 100 GFA | 92.19 m ² |

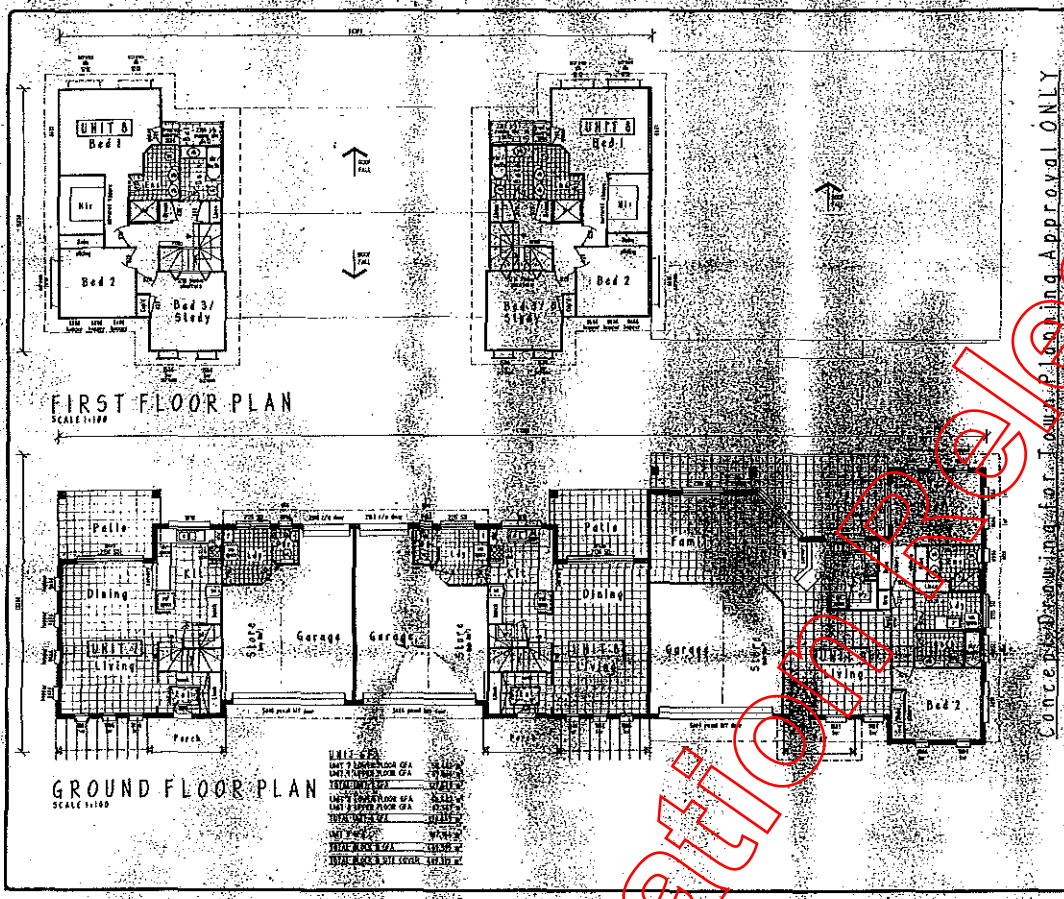
RECEIVED
15 NOV 2014
Development
Assessment

| | | | |
|---|--|---|---|
| 1. SITE INFORMATION 1.1. SITE ADDRESS 1.2. SITE AREA 1.3. SITE ZONING 1.4. SITE COORDINATES 1.5. SITE DESCRIPTION 1.6. SITE HISTORY 1.7. SITE SURROUNDINGS 1.8. SITE ACCESS 1.9. SITE EGRESS 1.10. SITE UTILITIES 1.11. SITE SERVICES 1.12. SITE INFRASTRUCTURE 1.13. SITE ENVIRONMENT 1.14. SITE CLIMATE 1.15. SITE SOILS 1.16. SITE VEGETATION 1.17. SITE FAUNA 1.18. SITE FLORA 1.19. SITE GEOMORPHOLOGY 1.20. SITE HYDROLOGY 1.21. SITE SEISMOLOGY 1.22. SITE ARCHITECTURE 1.23. SITE INTERIORS 1.24. SITE EXTERIORS 1.25. SITE LANDSCAPE 1.26. SITE FURNITURE 1.27. SITE EQUIPMENT 1.28. SITE MATERIALS 1.29. SITE FINISHES 1.30. SITE LIGHTING 1.31. SITE SOUND 1.32. SITE VIBRATION 1.33. SITE AIR QUALITY 1.34. SITE WATER QUALITY 1.35. SITE SOIL QUALITY 1.36. SITE CLIMATE QUALITY 1.37. SITE SOIL QUALITY 1.38. SITE CLIMATE QUALITY 1.39. SITE SOIL QUALITY 1.40. SITE CLIMATE QUALITY | 2. PROPOSED DEVELOPMENT 2.1. DEVELOPMENT TYPE 2.2. DEVELOPMENT SCALE 2.3. DEVELOPMENT LOCATION 2.4. DEVELOPMENT DESCRIPTION 2.5. DEVELOPMENT DETAILS 2.6. DEVELOPMENT IMPACTS 2.7. DEVELOPMENT BENEFITS 2.8. DEVELOPMENT RISKS 2.9. DEVELOPMENT MITIGATIONS 2.10. DEVELOPMENT MONITORING 2.11. DEVELOPMENT EVALUATION 2.12. DEVELOPMENT REVIEW 2.13. DEVELOPMENT APPROVAL 2.14. DEVELOPMENT IMPLEMENTATION 2.15. DEVELOPMENT COMPLETION 2.16. DEVELOPMENT HANDOVER 2.17. DEVELOPMENT OCCUPANCY 2.18. DEVELOPMENT MAINTENANCE 2.19. DEVELOPMENT REPAIRS 2.20. DEVELOPMENT UPGRADES 2.21. DEVELOPMENT DEMOLITION 2.22. DEVELOPMENT RECONSTRUCTION 2.23. DEVELOPMENT RENOVATION 2.24. DEVELOPMENT RESTORATION 2.25. DEVELOPMENT PRESERVATION 2.26. DEVELOPMENT PROTECTION 2.27. DEVELOPMENT PROMOTION 2.28. DEVELOPMENT PROSECUTION 2.29. DEVELOPMENT PROSECUTION 2.30. DEVELOPMENT PROSECUTION | 3. DESIGN CRITERIA 3.1. DESIGN TYPE 3.2. DESIGN SCALE 3.3. DESIGN LOCATION 3.4. DESIGN DESCRIPTION 3.5. DESIGN DETAILS 3.6. DESIGN IMPACTS 3.7. DESIGN BENEFITS 3.8. DESIGN RISKS 3.9. DESIGN MITIGATIONS 3.10. DESIGN MONITORING 3.11. DESIGN EVALUATION 3.12. DESIGN REVIEW 3.13. DESIGN APPROVAL 3.14. DESIGN IMPLEMENTATION 3.15. DESIGN COMPLETION 3.16. DESIGN HANDOVER 3.17. DESIGN OCCUPANCY 3.18. DESIGN MAINTENANCE 3.19. DESIGN REPAIRS 3.20. DESIGN UPGRADES 3.21. DESIGN DEMOLITION 3.22. DESIGN RECONSTRUCTION 3.23. DESIGN RENOVATION 3.24. DESIGN RESTORATION 3.25. DESIGN PRESERVATION 3.26. DESIGN PROTECTION 3.27. DESIGN PROMOTION 3.28. DESIGN PROSECUTION 3.29. DESIGN PROSECUTION 3.30. DESIGN PROSECUTION | 4. PROJECT INFORMATION 4.1. PROJECT TYPE 4.2. PROJECT SCALE 4.3. PROJECT LOCATION 4.4. PROJECT DESCRIPTION 4.5. PROJECT DETAILS 4.6. PROJECT IMPACTS 4.7. PROJECT BENEFITS 4.8. PROJECT RISKS 4.9. PROJECT MITIGATIONS 4.10. PROJECT MONITORING 4.11. PROJECT EVALUATION 4.12. PROJECT REVIEW 4.13. PROJECT APPROVAL 4.14. PROJECT IMPLEMENTATION 4.15. PROJECT COMPLETION 4.16. PROJECT HANDOVER 4.17. PROJECT OCCUPANCY 4.18. PROJECT MAINTENANCE 4.19. PROJECT REPAIRS 4.20. PROJECT UPGRADES 4.21. PROJECT DEMOLITION 4.22. PROJECT RECONSTRUCTION 4.23. PROJECT RENOVATION 4.24. PROJECT RESTORATION 4.25. PROJECT PRESERVATION 4.26. PROJECT PROTECTION 4.27. PROJECT PROMOTION 4.28. PROJECT PROSECUTION 4.29. PROJECT PROSECUTION 4.30. PROJECT PROSECUTION |
|---|--|---|---|



RECEIVED
15 NOV 1961
Development
Assessment

| | | | | | | |
|--|---|---|---|---|---|--|
| SPECIAL USES: (1) For the purposes and purposes (1) through (10) listed below, the applicant must submit a separate application for each use. | 1. <input type="checkbox"/> 1.55(a) Other amendments to a final plat (1) Preliminary Request | 2. <input type="checkbox"/> 1.55(b) Other amendments to a final plat (1) Preliminary Request | 3. <input type="checkbox"/> 1.55(c) Other amendments to a final plat (1) Preliminary Request | 4. <input type="checkbox"/> 1.55(d) Other amendments to a final plat (1) Preliminary Request | 5. <input type="checkbox"/> 1.55(e) Other amendments to a final plat (1) Preliminary Request | 6. <input type="checkbox"/> 1.55(f) Other amendments to a final plat (1) Preliminary Request |
| 7. <input type="checkbox"/> 1.55(g) Other amendments to a final plat (1) Preliminary Request | 8. <input type="checkbox"/> 1.55(h) Other amendments to a final plat (1) Preliminary Request | 9. <input type="checkbox"/> 1.55(i) Other amendments to a final plat (1) Preliminary Request | 10. <input type="checkbox"/> 1.55(j) Other amendments to a final plat (1) Preliminary Request | 11. <input type="checkbox"/> 1.55(k) Other amendments to a final plat (1) Preliminary Request | 12. <input type="checkbox"/> 1.55(l) Other amendments to a final plat (1) Preliminary Request | 13. <input type="checkbox"/> 1.55(m) Other amendments to a final plat (1) Preliminary Request |
| 14. <input type="checkbox"/> 1.55(n) Other amendments to a final plat (1) Preliminary Request | 15. <input type="checkbox"/> 1.55(o) Other amendments to a final plat (1) Preliminary Request | 16. <input type="checkbox"/> 1.55(p) Other amendments to a final plat (1) Preliminary Request | 17. <input type="checkbox"/> 1.55(q) Other amendments to a final plat (1) Preliminary Request | 18. <input type="checkbox"/> 1.55(r) Other amendments to a final plat (1) Preliminary Request | 19. <input type="checkbox"/> 1.55(s) Other amendments to a final plat (1) Preliminary Request | 20. <input type="checkbox"/> 1.55(t) Other amendments to a final plat (1) Preliminary Request |
| 21. <input type="checkbox"/> 1.55(u) Other amendments to a final plat (1) Preliminary Request | 22. <input type="checkbox"/> 1.55(v) Other amendments to a final plat (1) Preliminary Request | 23. <input type="checkbox"/> 1.55(w) Other amendments to a final plat (1) Preliminary Request | 24. <input type="checkbox"/> 1.55(x) Other amendments to a final plat (1) Preliminary Request | 25. <input type="checkbox"/> 1.55(y) Other amendments to a final plat (1) Preliminary Request | 26. <input type="checkbox"/> 1.55(z) Other amendments to a final plat (1) Preliminary Request | 27. <input type="checkbox"/> 1.55(aa) Other amendments to a final plat (1) Preliminary Request |



RECEIVED

MODINI + SMITH

PROPOSED DEVELOPMENT

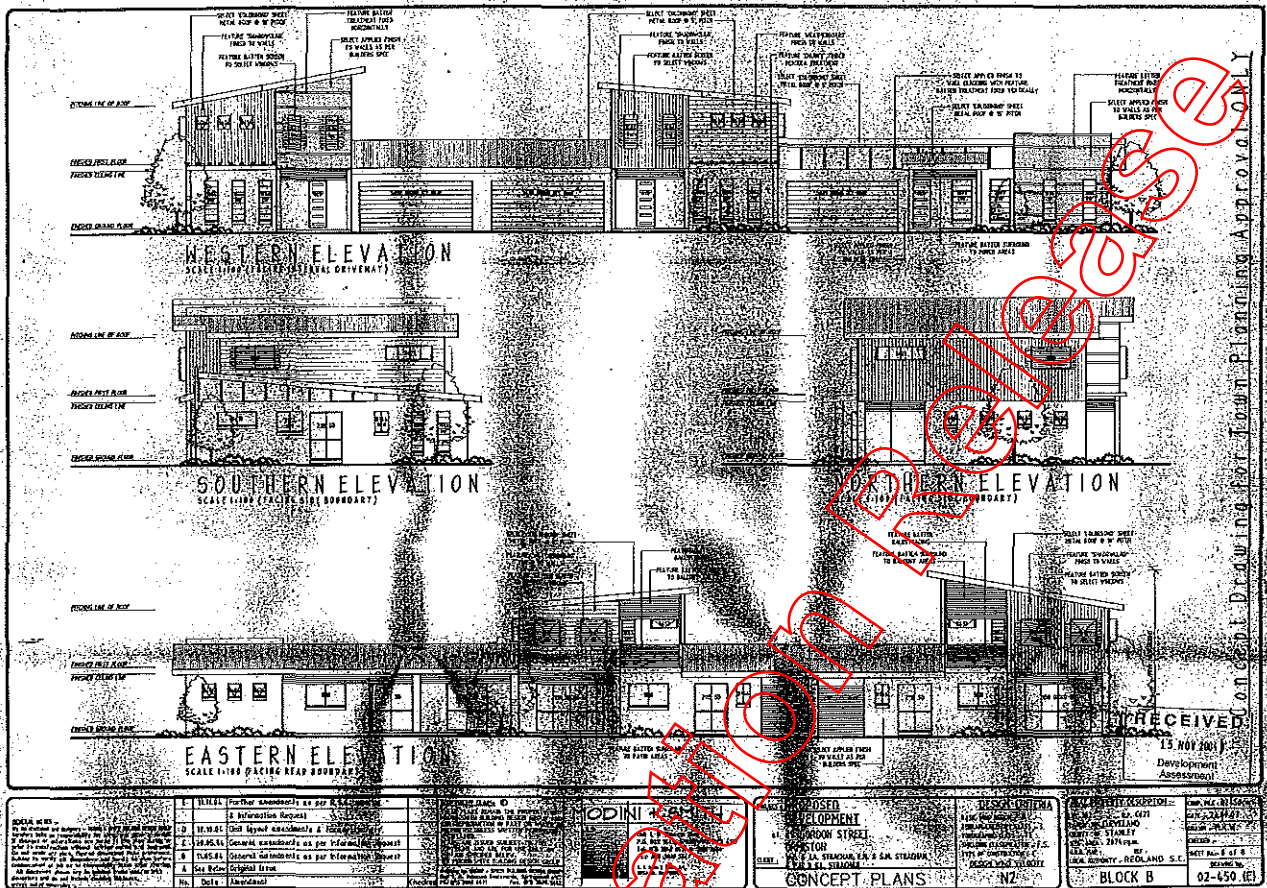
29 GORDON STREET
ORPINGTON
SE7 3JH

RECEIVED

CONCEPT PLANS

BLOCK B

02-450 TEL

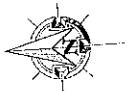


Concept Drawing for Town Planning Approval ONLY

[illegible]

P PASSENGERS SEEM TO BE PROVIDED AS PER P.R.C. & ENGINEERS STANDARDS & REQUIREMENTS

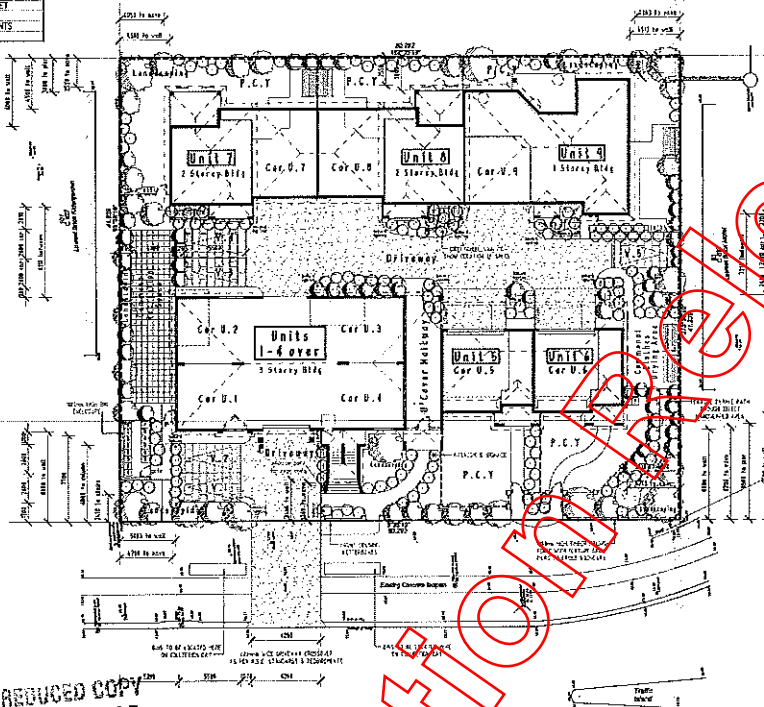
X NOTE:- SIGNAGE FOR UNIT ACCESS TO BE PROVIDED AT ENTRY POINT WITH INTERCOM & VIDEO SYSTEM & GATE RELEASE SYSTEM CONNECTED TO EACH UNIT



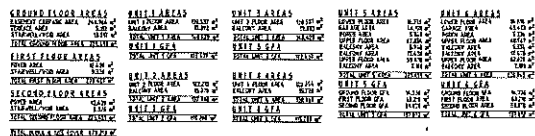
SITE PLAN

REDUCED COPY
NOT TO SCALE

GORDON STREET

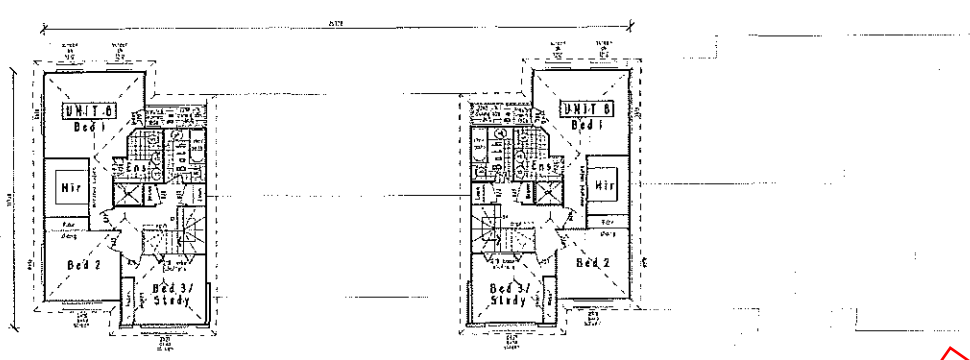
[illegible][illegible]

~~Concept Drawing for Town Planning Approval ONLY~~

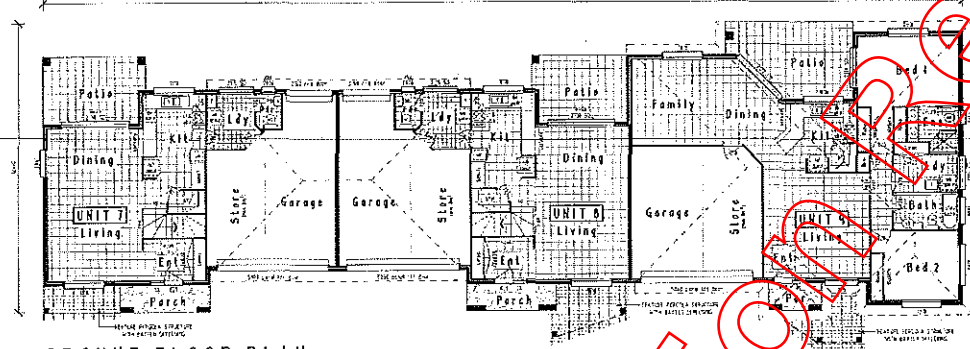


| | |
|---|--|
| <p>SEVEN MONTHS.</p> <p>THESE ARE THE ONLY TWO PROJECTS THAT HAVE BEEN COMPLETED TO DATE. THE OTHERS ARE STILL IN THE PROCESS OF BEING COMPLETED.</p> | <p>1. GENERAL INFORMATION</p> <p>2. DESIGN CRITERIA</p> <p>3. DESIGN DESCRIPTION</p> <p>4. DESIGN CRITERIA</p> <p>5. DESIGN DESCRIPTION</p> <p>6. DESIGN CRITERIA</p> <p>7. DESIGN DESCRIPTION</p> <p>8. DESIGN CRITERIA</p> <p>9. DESIGN DESCRIPTION</p> <p>10. DESIGN CRITERIA</p> <p>11. DESIGN DESCRIPTION</p> <p>12. DESIGN CRITERIA</p> <p>13. DESIGN DESCRIPTION</p> <p>14. DESIGN CRITERIA</p> <p>15. DESIGN DESCRIPTION</p> <p>16. DESIGN CRITERIA</p> <p>17. DESIGN DESCRIPTION</p> <p>18. DESIGN CRITERIA</p> <p>19. DESIGN DESCRIPTION</p> <p>20. DESIGN CRITERIA</p> <p>21. DESIGN DESCRIPTION</p> <p>22. DESIGN CRITERIA</p> <p>23. DESIGN DESCRIPTION</p> <p>24. DESIGN CRITERIA</p> <p>25. DESIGN DESCRIPTION</p> <p>26. DESIGN CRITERIA</p> <p>27. DESIGN DESCRIPTION</p> <p>28. DESIGN CRITERIA</p> <p>29. DESIGN DESCRIPTION</p> <p>30. 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|---|--|

[illegible]



FIRST FLOOR PLAN
SCALE 1/8\"/>



GROUND FLOOR PLAN
SCALE 1/16\"/>

| UNIT 7 AREAS | UNIT 8 AREAS | UNIT 9 AREAS |
|----------------------------------|----------------------------------|----------------------------------|
| UNIT 7 FLOOR AREA: 1,000 sq. ft. | UNIT 8 FLOOR AREA: 1,000 sq. ft. | UNIT 9 FLOOR AREA: 1,000 sq. ft. |
| UNIT 7 GARAGE AREA: 200 sq. ft. | UNIT 8 GARAGE AREA: 200 sq. ft. | UNIT 9 GARAGE AREA: 200 sq. ft. |
| UNIT 7 PORCH AREA: 50 sq. ft. | UNIT 8 PORCH AREA: 50 sq. ft. | UNIT 9 PORCH AREA: 50 sq. ft. |
| UNIT 7 TOTAL AREA: 1,250 sq. ft. | UNIT 8 TOTAL AREA: 1,250 sq. ft. | UNIT 9 TOTAL AREA: 1,250 sq. ft. |

Concept Drawing for Your Planning Approval ONLY

| | |
|---|--|
| <p>DESIGN CRITERIA</p> <p>DATE: 10/10/2010</p> <p>DESIGNER: MODINI + SMITH</p> <p>PROJECT: 29 GORDON STREET</p> <p>CLIENT: MR. & MRS. STRANDBERG</p> | |
| <p>MODINI + SMITH</p> <p>ARCHITECTS</p> <p>1000 W. 10TH AVE. SUITE 100</p> <p>MINNEAPOLIS, MN 55408</p> <p>TEL: 612.338.1000</p> <p>FAX: 612.338.1001</p> <p>WWW.MODINIANDSMITH.COM</p> | |
| <p>CONCEPT PLANS</p> <p>DATE: 10/10/2010</p> <p>DESIGNER: MODINI + SMITH</p> <p>PROJECT: 29 GORDON STREET</p> <p>CLIENT: MR. & MRS. STRANDBERG</p> | |



~~Concept Drawing for Town Planning Approval ONLY~~

| ABBREVIATION | | LEGEND | |
|--------------|---------|--------|---------|
| 1 | 1000000 | 10 | 1000000 |
| 2 | 1000000 | 11 | 1000000 |
| 3 | 1000000 | 12 | 1000000 |
| 4 | 1000000 | 13 | 1000000 |
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| 56 | 1000000 | 65 | 1000000 |
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| 59 | 1000000 | 68 | 1000000 |
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| 64 | 1000000 | 73 | 1000000 |
| 65 | 1000000 | 74 | 1000000 |
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| 77 | 1000000 | 86 | 1000000 |
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| 79 | 1000000 | 88 | 1000000 |
| 80 | 1000000 | 89 | 1000000 |
| 81 | 1000000 | 90 | 1000000 |
| 82 | 1000000 | 91 | 1000000 |
| 83 | 1000000 | 92 | 100000 |

GENERAL NOTES:

1. The following information is for informational purposes only. It is not intended to be used as a basis for any action or inaction by any party. The information is provided as a service to the public and is not a guarantee of accuracy or completeness. The information is subject to change without notice and is not to be used for any purpose other than that for which it was provided.

2. The information is provided as a service to the public and is not a guarantee of accuracy or completeness. The information is subject to change without notice and is not to be used for any purpose other than that for which it was provided.

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10. The information is provided as a service to the public and is not a guarantee of accuracy or completeness. The information is subject to change without notice and is not to be used for any purpose other than that for which it was provided.

1. The first step in the process of the new party
 is to get a good idea of the situation in the
 country. This is done by sending out a
 questionnaire to all the people in the
 country. The questionnaire asks for
 information about the people's
 needs, wants, and interests. This
 information is then used to create a
 list of issues that the party will
 focus on.

| DESIGN CRITERIA | |
|--------------------------|--------------------------------|
| BASE TWO POINT - 8 | DRILLING CLASSIFICATION - F.S. |
| BLANK (HEIGHT CLASS) - 3 | TYPE OF CONSTRUCTION - 6 |
| TEMPERATURE CLASS - 11 | DRILL TWO POINT - 12 |

PROPOSED
DEVELOPMENT
OF
29 GORDON STREET
ORNSTON
W.L. & J.L. STRACHAN B.M. & S.M. STRACHAN
P. & J.L. STRACHAN

MODINI + SMITH

**BUILDING
DESIGN
GROUP**

200 E. 1st Avenue, 4th Fl.
P.O. Box 548, Springfield, IL 62767
Tel: 217/382-1171 or 1-800-642-1171
Fax: 217/382-3412

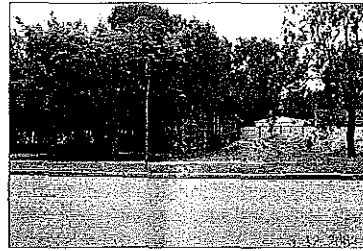
© 1997 & mod. P.L.
2000 by T.M.S.

| | |
|---|--|
| 21-02 PLANNED BY CLEVELAND COUNTY OF STABLEY SITE AREA: 278 sqm. SELLER: M.P. LOCAL AUTHORITY: SEBILAND S.C. | 2290. THE. H.T.S. SEC. DATE: 22.09.83 SOURCE: R.L.W. RECORDS: SHEET no. 7 of 7 GIVING NO. 02-450 |
|---|--|

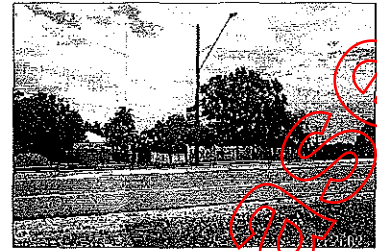
CONCEPT PLANS



ADJOINING CHILD CARE CENTRE



PROPOSED DEVELOPMENT SITE



ADJOINING HOTEL



REDUCED ONLY
NOT TO SCALE

STREETSCAPE VIEW FROM GORDON STREET

| | | | | | | | | |
|--|--|--|--|---|--|---|--|---|
| <p>ACKNOWLEDGEMENT</p> <p>THESE PLANS REMAIN THE PROPERTY OF MODINI+SMITH ARCHITECTURAL DESIGN GROUP AND ANY REPRODUCTION IN PART OR WHOLE IS PROHIBITED UNLESS WRITTEN PERMISSION IS OBTAINED.</p> <p>PLANS ARE ISSUED SUBJECT TO THE APPROVAL AND ARE FOR USE ONLY ON THE JOB SPECIFIED BELOW.</p> <p>© MODINI+SMITH ARCHITECTURAL DESIGN GROUP</p> <p>Unit 1, W. Victoria Road, P.O. Box 1413, SPRINGWOOD QLD 4127 Tel: (07) 3881 8411 or 3881 8505 Fax: (07) 3881 2442</p> <p>E. & S. Smith & Sons Pty. Sole Traders SINCE 1911</p> | | <p>MODINI + SMITH</p> <p>PROPOSED DEVELOPMENT</p> <p>29 GORDON STREET</p> <p>ORPINGTON</p> <p>CLIENT:</p> <p>Mrs. & J.A. STRACHAN, CH. & SM. STRACHAN & P.G. & K.L. STRACHAN</p> | | <p>DESIGN CRITERIA</p> <p>BACK WIND REGION - B</p> <p>TERRAIN CATEGORY CLASS - 3</p> <p>TOPOGRAPHIC CLASS - T1</p> <p>WINDING CLASSIFICATION - F.S.</p> <p>TYPE OF CONSTRUCTION - C</p> <p>DESIGN WIND VELOCITY</p> <p>N2</p> | | <p>REAL PROPERTY DESCRIPTION</p> <p>LOT 192 RP. C627</p> <p>PARISH OF CLEVELAND</p> <p>COUNTY OF STANLEY</p> <p>SITE AREA: 2074sq.m.</p> <p>URD. MAP: RD</p> <p>LOCAL AUTHORITY - REDLAND S.C.</p> | | <p>PROP. FILE: 02450417</p> <p>DATE: 23.09.03</p> <p>DRAWN: H.K.W.</p> <p>CHECKED: H.K.W.</p> <p>CERTIFIED:</p> <p>SHEET No. Appendix 1</p> <p>DRAWING No.</p> <p>02-450</p> |
| <p>C 1:10,000 General site plan</p> <p>B 1:10,000 General site plan</p> <p>A 1:10,000 General site plan</p> <p>No. 001</p> <p>Date: 23.09.03</p> <p>Amendment: 001</p> | | | | | | <p>STREETSCAPE</p> | | |

Delegates QA Check Sheet - For Development Application Assessments

Date for Determination: 11/3/05

File No: MC 008015

Category (tick applicable box)

1 ☐

2 ☒

3 ☐

4 ☐

Updated ☐ Refer comments

Code Assessment: ☐

Impact Assessment: ☒

Other Assessment Type: ☐

Other Assessment Type - Details:

Address:

29-33 GORDON STREET ORMISTON

Purpose / Use:

MULTIPLE DWELLING (x8)

Application Coordinator:

RICK NG

Team / Unit:

D.A.

Primary Codes / Planning Instruments:

T.P.S. Multiple Dwelling Code
Adaptable Housing Policy

Primary Legislation:

IPA

☒

Other

☐

Submissions:

No

☐

Yes

☒

Number

Compliance with Public Notification:

☒

Category 3 & 4

The Application Coordinator has conducted a peer review with the Senior Planner or Team Leader / Service Manager.

SP

TL

SM

Print Name

Signature

- Are fully completed check sheets for codes attached?
- Are any consultation issues properly addressed in the Report?
- Are the grounds for any submissions properly addressed in the Report?
- Has the Report properly addressed the relevant codes for Assessment?
- Is the Recommendation / Decision consistent with RSC policy position and guidelines?
- Is this application within the scope of delegate's authority?

Yes No N/A

| | | |
|-------------------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments

Compliance

- Does this application contain an approval period expiry (Sunset Clause)?
- Are there any conditions within this application that specify timeframes?

Yes No

| | |
|-------------------------------------|-------------------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If either of these questions are answered 'Yes' please pass the application to one of the DA Compliance Officers.

Delegate - Signature

Date

QA Review Signature

Date

The Application Coordinator is excluded from signing as the delegate.

Material Change of Use
29-33 Gordon Street Ormiston QLD 4160
(MC008015)

| | |
|--|--|
| Application Type | Impact Assessment |
| Proposed Use | Multiple dwelling (x9) |
| Property Description | Lot 102 on C627 |
| Location | 29-33 Gordon Street, Ormiston, QLD 4160 |
| Land Area | 2,074m ² |
| Strategic Plan PDLU Designation | Service Commercial |
| Greenspace Map | Not applicable |
| Development Control Plan 1 | Comprehensive Development |
| Planning Scheme Zoning | Comprehensive Development |
| No. of Public Submissions | One (1) objection |
| Applicant | Strachan Constructions |
| Land Owner | W & J Strachan; E & S Strachan; P & K Strachan |
| Date of Receipt of Application | 4 December 2003 |
| Start Decision Stage | 13 January 2005 |
| Statutory Decision Date | 11 March 2005 |
| Application Coordinator | Rick Ng |
| Manager | Paul Toohey |

PURPOSE

This Category 2 application is referred to the Development Assessment Services Manager for determination.

EXECUTIVE SUMMARY

Council has received an application seeking a development permit for the material change of use of the subject site for a multiple dwelling comprising nine (9) units. The units within the development are proposed to be contained in a two storey building and a three storey building, one each along the eastern and western site boundary, with a central driveway between the buildings. A total of 18 car spaces are proposed to be provided within the site for residents and visitors. In addition, new landscaping works are to be constructed and new trees and shrubs be planted to further enhance the site. The buildings will have a setback to the street of not less than 3.94m and setbacks to the northern, eastern and southern boundaries of respectively 3.2m-5m, 2.5m and 3.91m. The proposed site cover is approximately 41.5%.

The application has been assessed against all relevant planning provisions, including the *Town Planning Scheme*, the *Residential Code for Multiple Dwelling Development*, as well as relevant technical standards. It was found that the proposal is generally in compliance with the requirements. In addition, the proposal can comply with the *Adaptable Housing Policy* subject to conditions. One submission to the proposal has been received by Council to date. The grounds of submissions have been considered and addressed.

The proposal is considered to be a generally satisfactory design response for the site and the area. Accordingly, it is recommended that the application be approved and a development permit be granted, subject to conditions.

BACKGROUND

Council has in the past issued three development permits for the site, including a permit for a motel extension, a permit for an office building and a permit for commercial and office premises. However, it does not appear that any of the approved developments has occurred.

The current application was received on 4 December 2003. Public notification of the proposal in its previously form was given in accordance with the Act, and was completed on 23 June 2004. At that time, one objecting submission was received.

Following concerns on the proposal having been raised by Development Assessment Officers, the proposed development was further amended, with the latest revised plans submitted in January 2005. The changes are considered minor and improvement to the proposal addressing planning issues. It is not considered that the changes will adversely affect the awareness of the public of the nature of the application or cause additional objections to be submitted. Therefore, re-advertising is not required. The assessment of this proposal in this report is based on the latest plans dated 22 December 2004 and submitted to Council on 13 January 2005.

CONSULTATION

The Development Assessment Team has consulted with other Council's assessment teams where appropriate. Copies of the proposal as amended, Versions C and D, were provided to Councillor Alan Barker of Division 1 on 1 June 2004 and 11 November 2004.

The application (as Version C submitted to Council on 27 May 2004) was publicly notified in accordance with the provisions of the *Integrated Planning Act 1997*. One (1) submission has been received. (Section 4.0 of this report provides details of the grounds of submissions).

Although the proposal was amended after the public notification having been given, changes made to the proposal are considered minor, and not to adversely affect the awareness of the public of the nature of the application or cause further objections to be submitted. Therefore, re-advertising is not required.

1.0 DEVELOPMENT PROPOSAL AND SITE DESCRIPTION

1.1 Proposal

The application proposes to construct and use land for a multiple dwelling comprising nine (9) two-bedroom or three-bedroom units within a two storey building and a three storey building on the subject site, generally in accordance with the revised drawings (No. 02-450, Version F) submitted on 13 January 2005. Details of the proposal are as follows: -

Site layout

The development comprises two buildings covering 42% of the site. Both buildings will have a length of approximately 41m and be parallel to the front (western) and rear (eastern) site boundaries. The entry is to be located on the front boundary, near the north-west corner of the site. Units on the ground floor will all be accessed via the driveway that will run from the entry to the central court between the buildings.

The eastern building is proposed to be set back 3.9m, 2.5m and 3.91m from the northern, eastern and southern boundaries respectively. This building is proposed to be double-storey at the northern end and single-storey at the southern end, with a maximum height of 7.4m. The double-storey component is to contain Units 7 and 8 and the single-storey component to contain Unit 9.

The western building is to be set back at least 3.94m from the front boundary and 3.91m from the southern boundary. On the north side, the building wall is to be 5.0m, and the edge of the roof is to be approximately 3.2m, from the boundary. The building is proposed to be three-storey on the northern end, or 9.7m in height, and two-storey on the south. On the ground floor, there will be undercover car parking spaces for residents of Units 1, 2 and 3 and one visitor on the north, and a driveway, a covered walkway, a staircase as well as the lower floor components of Unit 5 and 6 on the south. On the first floor, there will be Units 1 and 2, a staircase, as well as the upper floor components of Units 5 and 6 on the first floor. Units 3 and 4 and the staircase will be found on the second floor.

In addition to the building components, there will be four un-covered visitors' car parking spaces and one service truck bay on the site. One of these visitor's space and a truck bay will be adjacent to the entry of the development and three other visitors' spaces will be located between the buildings. Furthermore, the development will also include on the ground level the private courtyards of Units 5, 6, 7, 8 and 9, a communal recreation area and a bin storage area on the north, a clothes drying area on the south, a structure to accommodate letter boxes on the western boundary and the common driveway between the buildings. The site is proposed to be fully landscaped as part of the development.

Dwelling Units

As mentioned, the proposed development will comprise nine (9) dwelling units in the two buildings to be constructed. Details of the dwelling units are shown in the following table: -

| Unit No. | Location | Rooms / Areas | Car parking & storage | Private open space |
|----------|--|---|---|---|
| 1 | North end, first floor, western building. | Two bedrooms (one with ensuite), a study nook, a living/dining/kitchen area, a bathroom, a laundry, an entry corridor and a balcony. | One space (including storage area) on the ground floor car park, western building. | The north and east facing balcony with an area of 21.5m ² . |
| 2 | First floor, western building. | Two bedrooms (one with ensuite and built-in robe), a study nook, a living/dining/kitchen area, a bathroom, a laundry, an entry corridor and a balcony. | One space (including storage area) on the ground floor car park, western building. | The east facing balcony with an area of 12.6m ² . |
| 3 | North end, second floor, western building. | Same as Unit 1 | Two spaces (including storage area) on the ground floor car park, western building. | Same as Unit 1 |
| 4 | Second floor, western building. | Same as Unit 2 | Two spaces (including storage area) on the ground floor car park, western building. | Same as Unit 2 |
| 5 | Ground and first floors, western building. | Ground floor: Bedroom 2, a media nook, a bathroom, a laundry, stairs, an entry/porch area, a garage. First floor: Bedroom 1 with walk-in robe and ensuite, a toilet, a living/dining/kitchen area, stairs and a balcony. | A double-garage (including storage) on the ground floor. | West facing private courtyard on the ground floor with an area of 41m ² , plus the east facing balcony on the first floor with an area of 19m ² . |
| 6 | Southern end, ground and first floors, western building. | Same as Unit 5 | Same as Unit 5. | West and south facing private courtyard on the ground floor with an area of 71m ² , plus the east facing balcony on the first floor with an area of 19m ² . |
| 7 | Northern end, ground and first floor, eastern building. | Ground floor: An entry, a living/dining/kitchen area, an external patio, a laundry and a toilet, stairs and a garage/store. First floor: A bedroom with ensuite and walk-in robe, two additional bedrooms, a bathroom, a balcony and stairs. | A single garage with storage area on the side. Can be used as a double garage for smaller cars. | East and north facing private courtyard on the ground floor with an area of 125m ² (including the covered patio and clothes drying area), plus an east facing balcony (2.5m ²) connected to the master bedroom on first floor. |
| 8 | Ground and first floor, | Same as Unit 7 (mirrored floor plans) | Same as Unit 7. | North facing private courtyard on the ground floor with an |

| Unit No. | Location | Rooms / Areas | Car parking & storage | Private open space |
|----------|--|---|---|--|
| | eastern building. | | | area of 67m ² (including the covered patio and clothes drying area), plus an east facing balcony (2.5m ²) connected to the master bedroom on first floor. |
| 9 | Southern end, ground floor, eastern building | A entry porch, a living/entry, a dining/family room, a kitchen, one bedroom with ensuite, a second bedroom, a bathroom, a laundry and a garage/store. | A single garage with storage area on the side. Can be used as a double garage for smaller cars. | North and west facing private courtyard on the ground level including a covered patio. |

Landscaping and fences

Four existing significant trees (species unknown) along the eastern boundary and two existing trees (species unknown) along the front boundary are all within the proposed building envelopes or car parking spaces within the site, and will be removed as indicated on the Site Layout Plan. The plan also shows that new trees will be planted throughout the site to landscape the common area within the development. In addition, all visitors' car spaces and the truck bay will be paved with patterned concrete. 1.8m paling fences will be constructed along the side and rear boundaries, and a 2.1m solid acoustic fence is proposed along a section of the front boundary that is pertaining to Units 5 and 6.

1.2 Site

The site is located on the eastern side of Gordon Street, approximately 22m to the north of its intersection with Horatio Street, in Ormiston. The site is rectangular in shape, with a frontage to Gordon Street of 50.29m, a depth of 41.24m and an overall area of 2,074m². The site is relatively flat, and is currently undeveloped. There are four significant trees along the eastern boundary and two other trees on the northern end of the western boundary. Species of these trees have not been submitted.

1.3 Surrounding Area

Gordon Street contains developments that are primarily residential. However, there are also a range of land uses within proximity to the subject site. These uses include a motel located to the south and east of the site, a child care centre and a neighbourhood shopping centre to the north, a public open space owned by the Scout Association to the west across Gordon Street, and the railway reserve to the south-west. In addition, there are a church, commercial developments and industrial uses in the area.

1.4 Amenity and Character

The area is characterised by mixed uses and developments including detached and multiple unit dwellings, as well as commercial and public uses. Existing developments in the area are of varying styles and built form, but are predominately single or double storey. The site and the neighbourhood appear to be influenced by traffic noise from the nearby railway as well as Gordon Street. The latter is one of the major roads for accessing Ormiston and Wellington Point.

2.0 APPLICATION ASSESSMENT

2.1 Integrated Planning Act 1997 (IPA)

This application has been made in accordance with Chapter 3 (Integrated Development Assessment System, IDAS) of the *Integrated Planning Act 1997* and constitutes an application for impact assessment for a material change of use under the *Town Planning Scheme for the Shire of Redland* (also known as the *Transitional Planning Scheme*).

As the application is made under a transitional planning scheme, it is subject to the 'Transitional provisions' under Chapter 6 of the *IPA*. Sections 6.1.29 and 6.1.30 of the *IPA* set out matters to be considered in the assessment of applications made under transitional planning schemes. These matters include: -

- (a) the common material for the application.
- (b) the transitional planning scheme.
- (c) the transitional planning scheme policies.
- (d) any planning scheme policy made after the commencement of Section 6.1.29 of the *IPA*.
- (e) all State planning policies.
- (f) the matters stated in Section 8.2(1) of the *Local Government (Planning and Environment) Act 1990* ("the repealed Act").
- (g) an interim development control provision, if relevant.
- (h) for this application which would be an application for town planning consent under Section 4.12 if made under the repealed Act, Section 4.13(5) and Section 4.13(5A) of the repealed Act applies.
- (i) any other matter to which regard would have been given if the application had been made under the repealed Act.

2.2 Local Government (Planning and Environment) Act 1990

Regard must be given to the matters under the repealed Act in assessing applications made under a transitional planning scheme. Those matters include: -

Section 8.2(1) – part

"...whether any deleterious effect on the environment would be occasioned by the implementation of the proposal..."

Section 4.13(5)

"In deciding an application made to it pursuant to Section 4.12, a local government is to –

- (a) approved the application; or*
- (b) approve the application, subject to conditions; or*
- (c) refuse to approve the application."*

Section 4.13(5A)

"The local government must refuse to approve the application if –

- (a) The application conflicts with any relevant strategic plan or development control plan; and*
- (b) There are not sufficient planning grounds to justify approving the application despite the conflict."*

2.3 Town Planning Scheme for the Shire of Redland (Transitional Planning Scheme, TPS)

The Schedule

Zoning

The site is located within a Comprehensive Development Zone under the planning scheme schedule. This zone is intended to enable particular areas of the Shire to be developed in a comprehensive and co-ordinated manner. Detailed guidelines for development in these areas are contained in the relevant development control plan.

Officer's comment

The Table of Assessment for the Comprehensive Zone refers to the provisions of the relevant development control plan. The site is covered by the *Development Control Plan 1*. An assessment of the proposal against the particular provisions under the DCP has been made.

Strategic Plan 1998

Preferred Dominant Land Use (PDLU)

The site is located in an area designated Service Commercial on the PDLU Map. This designation generally indicates areas that contain existing commercial and service uses which are of a significant scale but located outside of the designated Major Centres and other areas intended primarily to provide a commercial support function at Cleveland. In addition, certain business and commercial activities which require a large site or floor area and which provide a necessary support function to activities located within the Major Centre, as well as smaller scale industrial activities that do not adversely impact on the amenity of the area, are accommodated in this designation.

Areas under this designation are often oriented to major transportation routes. As such, particular attention is required to the appearance of development, and integration of development and compatibility of building design with adjoining sites.

Officer's comment

The site is located in an area which is considered to have a residential character more than a commercial character due to its separation by the railway line from other commercial developments along the southern section of Gordon Street and Shore Street. While the adjoining child care centre can be regarded as an integral part of a residential neighbourhood, the adjoining motel is also a use that is considered to be consistent with the residential nature of the area. As such, a residential development proposed for the site is not deemed to be an inappropriate use in this context.

The design of the proposed development in its current form, as a result of negotiation between the applicant and Council's assessment officers, is considered to be of a higher quality than that usually achieved on typical residential developments in the area. It is considered that sufficient effort has been made by the developer and applicant in achieving a positive outcome for the site in terms of the appearance of the proposal and integration with existing streetscape with regard to the character of the neighbourhood. The proposal is considered to satisfactorily meet the strategic intent for the area.

Development Control Plan 1 (DCP 1)

The area where the site is located is designated Comprehensive Development under the DCP1. According to the DCP, this particular area -

"... is considered to be most suitable for a general store, professional office, refreshment establishment, tourist oriented use or for a place of worship, child care centre, health-care institution or similar use. In considering such uses or any other use for which consent may be granted particular attention will be paid to the likely impact on the residential amenity of neighbouring areas. Two storeys is considered an appropriate maximum height of any building."

Officer's comment

The existing developments in the area appear to have been following the intent of the DCP provisions. For example, properties abutting the subject site have been developed into a neighbourhood shopping complex, a child care centre, and a motel (which is considered to be a tourist oriented use). Although the proposal for a multiple dwelling is not a type that is stated as the 'most suitable' for the area under the DCP1, it is considered compatible with the child care centre and the motel on the abutting sites as well as other existing residential developments in the street and surrounding area. It is not anticipated that the proposal, if allowed, would cause any significant impact on the area due to conflicting land uses.

The height of the proposed buildings, one of which being three storeys, exceed the maximum that is stated in the DCP as appropriate for the area. However, it is considered that the suggested limit of building height for the area may be relaxed for new proposals due to increasing demand for higher density urban development in existing built-up areas, provided that an acceptable design response is achieved. In this context, it is important to give particular consideration to the use of a child care

centre and a motel on abutting properties when assessing whether the proposed three storey development is acceptable.

In this regard, it is considered that the child care centre and the motel are uses that are not as susceptible to amenity impact as dwellings for long-term or permanent residence. Therefore, the difference in impact (if any) caused to those uses by a three-storey building or a two-storey or lower building on the application site is considered negligible. Furthermore, the land opposite the site is a public open space and the nearest residential properties on Gordon Street are adequately distanced from the site. It is not considered that the amenity of these properties will be affected by the proposal due to any impacts on amenity, solar access, ventilation, view or the like.

Accordingly, the building height for the proposal is deemed acceptable.

2.4 Applicable Council Codes / Local Planning Policies

Residential Code for Multiple Dwelling Development

The proposal has been assessed against this transitional planning policy by the Development Assessment Architect. Concerns were initially raised in the areas of building size and bulk, site coverage, overshadowing adjoining properties, security and lighting, and impact on the streetscape due to the acoustic fences required for the dwellings fronting Gordon Street in relation to the requirements of the Code. However, the proposal is considered acceptable given the site context, reference to the adjoining existing uses and the Comprehensive Development designation of the land under DCP1.

It is the Planning Officer's opinion that the proposed site coverage of 41.5% is also considered satisfactory, because of the Comprehensive Development designation of the site under DCP1 and the neighbourhood containing a number of commercial and community services can support a higher residential density.

In terms of overshadowing adjoining properties, it is not considered that the proposed development will cause an unacceptable effect on the abutting child care centre and motel which, as discussed, are not highly susceptible to amenity impacts. Similarly, it is not considered that the proposed 2.1m high and solid acoustic fence will cause a significant impact on the streetscape due to visual bulk because the fence would be a relatively lower structure compared to the three-storey building behind the fence when they are both viewed from the street. In addition, proposed landscaping in front of the fence as shown on the submitted plan will further soften the appearance of the fence.

A fence of this height may reduce the level of surveillance between the street and a typical dwelling. However, the proposal is for a three storey building containing apartments on the upper floors with an open view over the fence to the street. Therefore, a reasonable level of surveillance will still be maintained.

It is considered that the concerns on security and lighting for the development are relevant. These concerns can be satisfactorily addressed by landscaping conditions to be included on any permit issued.

Adaptable Housing Policy

The intent of this transitional planning policy is to encourage the provision of permanent residential accommodation capable of being adapted at a later date and with minimum cost to suit the needs of people with a disability. This policy applies to the design of new, or the substantial upgrading or redevelopment of existing accommodation unit and multiple dwelling developments, where: -

- the total number of new or existing individual accommodation units is 5 or more; or
- the total number of new or existing individual multiple dwelling units is 3 or more.

As the proposal comprises five ground floor dwellings, it is considered that the proposal can comply with the policy subject to conditions requiring at least one of these dwellings to be designed as an adaptable unit.

2.5 Applicable State Planning Policies

There are no applicable State planning policies for this application.

2.6 Engineering

The assessment of the proposal against the relevant engineering standards and requirements are as follows: -

➤ Road Access and Required Road Frontage Works

- The site has a frontage to Gordon Street. Access to the site is gained from Gordon Street.
- *Gordon Street:*
 - Currently kerb and channel is present along the entire frontage of the site. Other than direct access works no additional road works is required as a result of this development.
 - There is an existing footpath along the frontage of the site.
 - Access to the site is to be restricted to left-in left-out movements only.

➤ Internal Traffic Movement and Car Parking

- Internal traffic movements generally comply with AS2890.1, subject to detailed design.
- Car parking numbers are as per planning requirements in that:
 - 18 spaces are required, and
 - 18 spaces, including 5 visitors' spaces are proposed within the site.
- Dimensions and layouts of the car parking spaces generally comply with AS2890.1.

➤ Stormwater

With adequate engineering design, to be provided during a subsequent associated development works application, it is believed that no stormwater problems will result for upstream or downstream properties, or for the site itself. Adequate external stormwater infrastructure is available to service the site.

➤ Sewerage

There is an existing sewerage connection to the site.

➤ Water Supply

Water supply is currently available to the site.

➤ Electricity Services

The subject land can be provided with appropriate electricity services without undue concern.

➤ Telecommunication Services

The subject land can be provided with appropriate telecommunication services without undue concern.

2.7 Pollution Prevention

Council's Pollution Prevention Unit has assessed the proposal and considered it satisfactory, subject to conditions to be included on any permit issued.

2.8 Environmental Assessment

Council's Pollution Prevention Unit has assessed the proposal and considered it satisfactory. No additional conditions are required to be included on any permit issued.

2.9 Waste Management

Council's Waste Project Officers considered the proposal satisfactory and require standard conditions to be included on any permit issued.

2.10 Community Safety

Council's Community Safety Officer has assessed the latest revision of the proposal. It is considered that changes made by the applicant to improve the natural surveillance into the undercover walkway located to the east of the covered car park in the western building (i.e. replacing sections of a wall with permeable battens) are a positive response to the Officer's initial concern on the proposal. The proposal in its current form is considered satisfactory. No further conditions are required to be included on a permit to be issued.

2.11 Landscaping

The development will be required to incorporate a detailed landscape design. This will be a condition on any permit issued and will require further approvals.

2.12 Referral Agencies

The application did not trigger any referral requirements under the IDAS.

3.0 DRAFT REDLANDS PLANNING SCHEME

The new planning scheme for the Shire of Redland, the *Redlands Planning Scheme (RPS)*, has been drafted and is currently being exhibited. Although the scheme has not been adopted as a statutory planning instrument, it indicates the strategic direction for future developments and land uses within the Shire. Therefore, it is considered that reference should be made to this scheme in the assessment of the subject proposal.

According to the draft *RPS*, the subject site is to be included in the Medium Density Residential Zone, and the proposed use is defined as a multiple dwelling. The proposal will be code assessable if made under the *RPS* because: -

- The site is more than 800m² and with a frontage of more than 20m.
- The proposed development does not exceed 13m in height, with the top of the highest habitable room floor level not exceeding 7m.

The proposal is deemed to be a use that is consistent with the proposed zoning for the area. It is also considered that the proposal will comply with the applicable codes and will achieve the overall outcomes sought for the area by the *RPS* in terms of land use, built form and density, amenity, environment and infrastructure. Accordingly, it is anticipated that the proposal, if approved, will not cause a detrimental impact on the implementation of the *RPS* in the future, and the proposal should be supported.

4.0 GROUNDS OF SUBMISSIONS

One submission (objection) to the proposal has been received by Council. The grounds of objections and the Planning Officer's responses are as follows: -

➤ Ground 1: Overdevelopment of the site

Officer's response

As discussed, it is not considered that the proposed site cover (i.e. 41.5%) is unacceptable. Although this site cover is higher than the maximum of 30% under the *Residential Code for Multiple Dwelling Developments* for Residential A Zone, the site is outside of such zone thus the limit does not strictly apply. Further, the site is in proximity to commercial and community services. It is considered to be an appropriate location for higher density residential development provided that no impacts are caused to existing adjoining uses. In this regard, it is considered that any impacts caused by the proposal to the adjoining motel or child care centre will be negligible. The proposal is deemed to be an acceptable use of the site.

➤ Ground 2: Design does not fit in with existing streetscape

Officer's response

As previously mentioned, the proposed buildings being three storey exceed the maximum height for new developments stated in the relevant DCP and the *Strategic Plan*. However, in assessing whether the proposed development will be compatible with the streetscape, the use of materials, scale and form and other associated works such as landscaping are taken into account.

The proposed buildings in their current form display a character that is considered to be in keeping with nearby commercial developments such as the neighbourhood shopping centre located to the north. In addition, the subject site is some distance away from other properties on the street that contain dwellings of more traditional styles. Therefore, it is not considered that there will be any direct conflict between the proposed buildings and other developments in the street in terms of design and built form.

➤ Ground 3: Insufficient car parking for occupants and visitors

Officer's response

The proposed development is required to be provided with one covered space per dwelling, an addition of one space per every two dwellings, as well as one visitor's space per two units.

There are nine dwellings in the proposal. Therefore, nine covered spaces – one to each dwelling, 4.5 additional occupants' spaces and 4.5 visitors' space (i.e. a total of 18) are required. The proposal has included such number of spaces throughout the site including five visitors spaces. Dimensions and layout of these spaces as well as all accessways have been examined and found to be in compliance with the relevant Australian Standard. Therefore the ground of objection on insufficient car parking is not considered to be justified.

➤ Ground 4: Overlooking and loss of privacy to adjoining developments.

Officer's response

The adjoining child care centre is considered to be a community facility. It is not considered that any overlooking into this centre from adjoining residential developments is unreasonable. On the other hand, the adjoining motel providing short term accommodation is considered to require protection from overlooking. However, the north wall of the motel building, which is located on the western side of that property and to the south of the proposed development, contains only small and opaque ventilation windows for bathrooms or service areas. It is not considered the privacy of users of the motel will be unreasonably affected by the proposal, which also incorporates screens on any balconies to obscure views to the south and into the motel site.

The part of the motel site located immediately to the east of the proposed development is partly the rear communal open space and partly constructed as a driveway, abutted by the front doors of some guests rooms. As these driveway and open space are for communal use, the issue of privacy is not considered relevant. Therefore, it is not considered that the proposed development will unreasonably affect that part of the motel site by way of causing loss of privacy.

➤ **Ground 5: Overshadowing**

Officer's comment

The proposed development allows sufficient side and rear setbacks to offset any cast shadows that may otherwise affect adjoining properties. In addition, the adjoining uses are not residential purposes or other sensitive uses that require a lot of solar access. Further, the only shadows of the proposed development that may fall into adjoining properties will be limited to those casting on the driveway or the wall containing bathroom/service room windows on the motel site. It is not considered that the adjoining properties will be unreasonably affected by overshadowing due to the proposed development.

5.0 CONCLUSION

The proposal is considered to be generally in accordance with the *Transitional Planning Scheme*, the *Residential Code for Multiple Dwelling Development* and all other relevant planning and engineering requirements. Subject to conditions, the proposal will achieve a desirable design outcome and community safety objectives, and will not cause a significant impact on the environment or the amenity of the neighbourhood.

The proposal has been advertised and Council has received one submission. Grounds of submission have been addressed in this report. Overall, the proposal is not considered to cause unreasonable detrimental impact on any person.

Accordingly, it is recommended that a development permit be granted for the proposal, subject to conditions.

6.0 RECOMMENDATION

A MATERIAL CHANGE OF USE – DEVELOPMENT PERMIT

That the application for material change of use for the purpose of a multiple dwelling (x9) comprising nine (9) two-bedroom or three-bedroom units in a two storey building and a three storey building for the land known as 29-33 Gordon Street, Ormiston, described as Lot 102 on C627 be granted a development permit subject to conditions.

B CONDITIONS FOR DEVELOPMENT PERMIT

1.0 Approved Plans and Documents

1.1 The approved plans and/or documents for this development approval are listed in the following table:

| Plan/Document Number | Plan/Document Title | Prepared by | Date received by Council |
|--|--|--------------------------------------|--------------------------|
| Drawing No. 02-450, Revision F (22.12.04), Sheets 1, 2, 3, 4, 5, 6, 7, and 8 | Shown on the drawings (As amended in RED by Council) | Modini & Smith Building Design Group | 13 January 2005 |

N.B. Approval of the above listed plans are subject to Conditions 2.2 and 2.3 on this permit.

2.0 Design

- 2.1 The development must be carried out generally in accordance with the details set out in the application and the approved drawing(s) and/or document(s) listed under Condition 1.1 unless otherwise required by a condition of this approval or agreed to in writing by Council or a delegated officer.
- 2.2 At least one single-storey ground floor dwelling within the development must be designed to comply with Redland Shire's *Transitional Planning Policy – Adaptable Housing* to the satisfaction of the relevant Building Certifier and Council.
- 2.3 The 2.1m high acoustic fences as shown on the approved plans must be designed and constructed to comply with all 'Pollution Prevention' conditions on this permit.

3.0 General

- 3.1 All relevant Council Local Laws, Planning Scheme Provisions and Policies together with all conditions of approval must be fully complied with, to the complete satisfaction of Council.
- 3.2 Council and/or other appropriate authority(ies) must be paid the cost of necessary alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development and/or material change of use, or any works required by condition(s) of this approval. Such costs will be determined by Council and/or the relevant authority(ies) and must be paid prior to an application for approval of building works on the site being lodged.
- 3.3 All payments to be made to Council and/or money to be deposited and/or bond to be lodged pursuant to any condition of this approval must be made prior to an application for approval of building works on the site being lodged. Other conditions must, where applicable, be complied with before the use is commenced, unless otherwise required or agreed in writing by Council or a delegated officer.

4.0 Construction Management

- 4.1 All vehicles related to construction activities carried out on the site must enter and exit the site in a left-in, left-out manner. The responsibility to ensure compliance with this condition rests on the owner(s) of the site as well as the Project Co-ordinator for the development.

5.0 Public Open Space Contribution

- 5.1 Prior to the use commencing, a public open space contribution must be made to Council for the upgrading of public open space and/or the acquisition of additional public open space. The required contribution will be calculated on a per dwelling unit rate applicable at the time of payment and must be made prior to an application for approval of building works on the site being lodged. (Note: The rate of contribution is reviewed by Council annually on 01 July. The current rate is \$4,500.00 per additional dwelling unit.)

6.0 Waste Management

- 6.1 Sufficient kerbside space on Gordon Street pertaining to the subject site must be kept available and unobstructed at all times for the servicing of all waste/recyclable bins provided for the proposed development. Obstructions are considered to include trees, powerlines, landscaping, driveways and car parking spaces.
- 6.2 A hardstand surface must be provided within the curtilage (e.g. courtyard) of Units 6, 7 and 9 for the storage of bins. The bins must be so located so that they are not visible to any on-site or neighbouring residences.
- 6.3 A bin compound within the site must be provided for the storage of bins for Units 1, 2, 3, 4, 5 and 8. The compound must be constructed so that all bins will be fully screened from views from the road, on-site or neighbouring residences. A hardstand surface must be provided within the compound.

- 6.4 Access path must be constructed and kept available for the transport of bins from the storage compound to Gordon Road without passing through the living space or garage of any dwellings within the site.
- 6.5 A written agreement between a private cleansing contractor and the owner(s) of the dwellings and/or site must be entered into and maintained at all time for the purpose of cleansing waste containers, where no on-site waste/recyclable bin cleansing facilities are provided to the satisfaction of Council. (Note: any on-site cleansing facilities must meet Council's pollution prevention requirements and are subject to approval by Council.)

7.0 Pollution Prevention

- 7.1 A 2.1m noise barrier must be constructed generally as outlined in the *Environmental Noise Level Study for Proposed Residential Development – 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04) prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004 (or subsequent amendments where required and as approved by Council). The barrier must be designed in accordance with Figure B of the Redland Shire's *Transitional Planning Policy – Impact of Transportation Systems on Urban Amenity* (i.e. a barrier that is more than 1.8m high must be a mound/fence combination).
- 7.2 Prior to lodging an application to Council for approval of Associated Development Works, the developer must submit plans and specifications detailing the design and construction of the noise barrier to the satisfaction of Council (Development Assessment Unit). All barriers must be certified by a suitably qualified acoustic consultant indicating that they can achieve the requirements of this decision notice and must be accompanied by revised acoustic data where their location differs to that outlined in the *Environmental Noise Level Study for Proposed Residential Development – 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04) prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004 (or subsequent amendments where required and as approved by Council).
- 7.3 Prior to lodging an application to Council for approval of Associated Development Works, the required construction standards as outlined in Table 2 in the *Environmental Noise Level Study for Proposed Residential Development – 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04, prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004) must be amended to accord with any changes to the plans. The required construction standards must then be incorporated into the design and construction of the proposed development.
- 7.4 All building plans submitted for approval must be certified by a suitably qualified acoustic consultant to demonstrate compliance with the desired noise levels and the conditions of this approval. Such certification must specify compliance with Condition 6.3 above.
- 7.5 A post construction certification by a suitably qualified acoustic consultant must be submitted to Council (Development Assessment Unit) within 3 months of the completion of the development (or at the completion of each stage of the development where relevant). This certification must demonstrate that the predicted noise levels in the *Environmental Noise Level Study for Proposed Residential Development – 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04, prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004) (or subsequent amendments where required and as approved by Council) and the conditions of this approval have been achieved.

8.0 Landscaping

- 8.1 The site, including adjacent footpath(s) must be landscaped in accordance with the details indicated on an approved Landscape Plan and any other relevant construction documentation.
- 8.2 Prior to an application for approval of building works on the site being lodged, the applicant(s) and/or developer must apply for an approval from Council for landscaping plan(s) and specifications for the construction of the proposed works. In this regard, the applicant(s) and/or developer shall apply for and receive a development permit for Associated Development Works – Landscaping from Council.
- 8.3 Documentation (no less than 5 copies) to be lodged with the application for approval of landscaping plan(s) and specifications for the construction of the proposed works must take the form of scaled plan(s) and/or drawing(s) and be generally in accordance with the "Site Layout Plan" Drawing No 02-450, Sheet 1 (Amendment F) prepared by Modini & Smith Building Design Group, dated 22 December 2004 and submitted to Council on 13 January 2005.

The landscape design shall be guided by the provisions of Redland Shire's *Transitional Planning Policy – Residential Code for Multiple Dwelling Development* and the *Vegetation Enhancement Strategy*, and include the following details:

Planting Design

- a) A planting design with plant material that is in accordance with *Vegetation Enhancement Strategy*. The planting design must not contain any plant material that has been identified in the *Strategy* as:

- Declared environmental weeds,
- An invasive weed, or
- A poisonous plant

in South-East Queensland:

Similarly any existing plant that is within the above category is to be removed from the site.

- b) A hierarchy of planting, which includes shade trees, shrubs and groundcovers.
- c) A planting design that provides for buffer planting to protect neighbouring properties from overlooking. This includes the provision of taller species for upper stories. In this instance the use of palms is permitted provided they are strategically placed.
- d) A planting design incorporating the principles of CPTED (Crime Prevention Through Environmental Design).
- e) A planting design to Gordon Street that provides a positive contribution to the streetscape. The design should include shade trees and accent trees as well as shrubs to ameliorate the visual impact of the acoustic barrier.
- f) Three (3) street trees to Gordon Street in accordance with the *Street Tree Masterplan*. Stock sizes must be not less than 100 litres with a minimum height of 2 metres, unless otherwise negotiated with Council.

Communal Open Space

- g) Communal open space with elements that contribute to the recreational uses of the residents. This includes the provision of a barbeque, seating and a shade structure.

Community Safety

- h) The western access into the covered walkway to have at least 50% visual permeability. This factor should be incorporated into the screen wall design and the use of plant/landscape materials at the entry.
- i) Lighting design including motion sensor lighting to the covered walkway.
- j) Design details and integration of external lighting to driveways and other areas of pedestrian and car conflict. Bollards may be used to demarcate pedestrian uses with overhead lighting to provide a high level of illumination.
- k) Design details and integration of external lighting to the pedestrian walkway, car parks and other areas of pedestrian and car conflict, integrating the principles of Crime Prevention through Environmental Design (CPTED) theory. Lighting design is to illuminate potential areas of concealment and is to project illumination so that a human face is easily discernible from 15 metres.

Irrigation

- l) In-ground irrigation to all planted areas within the property boundary.

Hard Landscape Works

- m) Screening to all bin storage areas from public view.
- n) Clothes drying areas having access to natural sunlight and ventilation and being screened from public view.
- o) Details of all fencing including the acoustic barrier to Gordon Road (subject to Pollution Prevention conditions on this permit).
- p) Underground and overhead services. Any conflict between plant material and services must be determined.

8.4 The cost of any new fencing including acoustic treatments must be borne by the developer.

8.5 Approved landscaping works must be completed prior to the use commencing.

9.0 Engineering

9.1 Signage Prior to Construction

Prior to the commencement of any construction works associated with the development, a sign of approved size detailing the project team must be placed in a prominent position, at the road frontage, at each entrance to the development. The sign must detail the relevant Project Coordinator for the works being undertaken on the site, and the following parties (where relevant):

- Developer
- Architect / Building Designer
- Builder
- Civil Engineer
- Civil Contractor
- Landscape Architect

9.2 Construction Supervision, Required Council Inspections, and Acceptance of Works by Council

The applicant must ensure that their engineering representatives contact Council as early in the process as possible.

(a) Engineering Works – Supervision

All site earthworks, drainage and pavement construction must be designed by and the construction supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing must be carried out by N.A.T.A. registered laboratories.

Prior to occupancy of the units, or the use commencing, the applicant's Supervising Engineer must submit a certificate to Council certifying that all work has been satisfactorily completed in accordance with all requirements of Council, and to accepted engineering standards.

(b) Engineering Works – Council Inspections

Council inspections must be called for, and carried out, at the following stages:-

- (i) Pre start – This meeting is to be carried out prior to any works commencing, within an existing road reserve or on any infrastructure that will eventually be transferred to Council.
- (ii) Installation of erosion and sediment management measures.
- (iii) 'Box' inspection of industrial crossover with reinforcing in place. Reinforcing mesh is to be supported on bar chairs.
- (iv) Stormwater pipelines and manholes bedded and partially backfilled.
- (v) 'On Maintenance' inspection of completed works.
- (vi) 'Off Maintenance' inspection of works 12 months after acceptance of works on maintenance.

(c) Engineering Works – Acceptance of Works by Council

Council's Design Standards for Developments details all requirements to be complied with prior to works being accepted On and Off Maintenance by Council.

9.3 As Constructed Requirements

As Constructed drawings and documentation for all municipal and drainage works (internal and external to the development site) is to be supplied in accordance with the requirements of Chapter 2, Section C & D of Council's *Design Standards for Developments*. The applicant shall contact Council's Infrastructure Development Unit to determine their specific requirements, as the development will not be placed "on-maintenance" until these specific requirements have been addressed.

9.4 Frontage works

The developer must construct the following works, to Council standards, along the entire frontage of the site to **Gordon Street**.

- (a) Footpath earthworks, topsoiling and turfing of all disturbed footpath areas;
- (b) Reinstatement of concrete kerb and channel and concrete footpath, as required;
- (c) Underground stormwater drainage to Council standards. All lintels to stormwater gully pits is to be stamped with Council approved notation related to discharge of pollutants to the Bay;
- (d) Driveway invert and associated crossing slab as per Redland Shire Council standard drawings;
- (e) "Left-in Left-out" turning movements onto Gordon Street only;
- (f) Adjustments and relocations necessary to public utility services resulting from these works;
- (g) Signage and line marking as per the Department of Main Roads' standard, *The Manual of Uniform Traffic Control Devices (MUTCD)*;

These works must be completed prior to the use commencing. In this regard, the applicant is required to apply for and receive an associated development works approval from Council.

9.5 Electrical and Telecommunications Conduits

The applicant must install necessary conduits for the provision of public utilities along the road frontage of the property, where required by the relevant authority.

In this regard the developer must liaise with the appropriate authorities for telecommunications and electricity supply. Written confirmation of such liaison and requirements must be provided to Council prior to an application for approval of building works on the site being lodged.

9.6 Electrical Poles and Construction Considerations

A 300mm gap, in any proposed concrete slabs, is to be maintained around the base of all electricity poles along the frontage of the development. Other readily removable surface treatments are to be constructed up to the base of the pole.

9.7 Stormwater from Roofed and Paved Areas

Stormwater drainage from roofed and paved areas is to be discharged to an approved drainage system within adjoining road reserve(s) or as otherwise required or agreed in writing by Council or its delegated officer.

Construction of driveways and drainage must be to Council standards, including the provision for an ARI 100 years overland flow through driveways, open space areas or easements over adjoining properties. An assessment of the effect of 50% blockage of inlets must be included in the drainage calculations.

Temporary drainage is to be provided during the building construction phase such that discharge from all constructed roofs and paved areas is disposed of to an approved street drainage system and not onto the construction site. This temporary system must be maintained for the duration of building works.

Prior to an application for approval of building works on the site being lodged, the applicant must apply for and receive an approval for associated development works for engineering plans and specifications for the construction of proposed drainage.

9.8 Stormwater Nuisance and Legal Right of Stormwater Discharge

Overland flow paths and underground drainage is to be designed so as not to directly or indirectly cause nuisance to a downstream or adjoining property. Stormwater from external catchments is to be accepted at ground level and discharged through the subject site to a legal point of discharge.

9.9 Reticulated Water Supply Connection

The applicant must connect the proposed development to the existing reticulated water supply system.

Where the existing reticulated water supply does not currently service the site or is not an adequate capacity, the developer is to pay Council its estimated cost to construct the required connection/s to the site.

Requests for connections and estimates must be made to Council in writing, with details of work required specified. The payment for such works is to be made prior to a development permit for building works being issued for the site.

9.10 Sewerage Connection

The applicant must connect the proposed development to the existing sewerage system.

Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development, the developer must pay Council its estimated cost to construct the required connections.

Requests for connections and estimates must be made to Council in writing, with details of work required specified. The payment for such works is to be made prior to an application for approval of building works on the site being lodged.

9.11 Earthworks

If the development of the subject property requires soil to be imported or exported, the applicant must identify the allotments that would be used for borrowing or filling and must advise Council of such works. Any significant borrowing or filling may require the approval of Council. If clarification is required on the significance of the works to be undertaken, the developer shall contact Council to determine relevant approvals required.

9.12 Sediment and Erosion Management

- (a) Prior to and during the construction and maintenance phases of this development, the applicant is to be responsible for the installation and maintenance of erosion and sediment management facilities. These facilities must accord with the policy objectives of the Redland Shire's *Transitional Planning Policy - Erosion and Sediment Control* until the development has been accepted as completed by Council or its delegated officer.
- (b) The applicant must submit details of erosion and sediment management procedures for approval by Council prior to the issuing of a development permit for any building works for the site. The erosion and sediment management plans must include a schedule detailing the stages at which various management techniques would be in place.
- (c) Recommended erosion control techniques must include but not be limited to:
 - (i) soil disturbance, particularly within nominated building envelopes, should be restricted to a minimum,
 - (ii) stormwater run off from upper catchments should be diverted away from disturbed areas,
 - (iii) disturbed areas should be stabilised using mulches (straw, forest mulch, etc.) or other techniques.
 - (iv) the provision of cut-off drains, silt fences, straw bales, top soiling and turfing.
- (d) Council reserves the right to enter the site for the purposes of rectifying any sediment management facilities which are inadequate, improperly maintained or not operating in a satisfactory manner, in accordance with the approval plan.
- (e) The applicant is to be responsible for the restoration of the site and any adjoining affected lands where sediment damage has occurred as a consequence of the development. Such restoration is to be completed in a reasonable time determined by Council or its delegated officer.
- (f) Consideration is to be given to wind blown pollution, and measures implemented so as to achieve these objectives.
- (g) At all times adhere to *The Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites* published by Brisbane City Council and Gold Coast City Council, 1998.

9.13 Car Parking Facilities and Internal Driveways

Prior to an application for approval of building works on the site being lodged, the applicant must apply for and receive an approval from Council for Associated Development Works for

engineering plans and specifications for the construction of proposed car parking facilities and internal driveways. The following issues are to be addressed:

- (a) Compliance with *Australian Standard AS 2890.1: Off Street Parking – Car Parking Facilities*.
- (b) Ramps within the road reserve must accord with Council standards, unless determined otherwise by the Manager Assessment Services.
- (c) Provision is to be made for vehicles to turn within the subject site so as to enter and exit the property in a forward gear, without encroachment into formal visitor parking spaces.
- (d) Parking areas should not be used for general storage or any purpose other than the parking of motor vehicles.
- (e) Construction must comply with the following:
 - (i) Pavements is to be flexible or non flexible,
 - (ii) Surfacing is to be a bituminous seal coat, asphalt, concrete, or pavers, and
 - (iii) Properly constructed, drained and maintained to good engineering standards.
- (f) All site earthworks, drainage and pavement construction is to be designed and supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing is to be carried out by NATA Registered Laboratories. Prior to occupancy or the use commencing, the Supervising Engineer must submit a certificate certifying that all work has been satisfactorily completed to the quality control criteria for this site.

9.14 Water Supply Headworks

A contribution for water supply augmentation must be made to Council, at the rate applicable at the time of payment, prior to a development permit for building works being granted or any works commencing, whichever the sooner.

The amount payable for this development must comply with Council's Policy, *Water Supply and Sewerage Contributions to the Cost of Works*. In this regard the following advice is provided:

- The current rate for 2004/2005 per equivalent tenement is \$3,911.
- The conversion factor for water supply headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from water supply headworks payable must be made for each allotment over which the application is made.
- The rate of contribution is reviewed annually on 01 July.

Any headworks previously paid may be claimed as contributing towards the amount due to Council.

9.15 Sewerage Headworks

A contribution for sewerage augmentation is to be made to Council, at the rate applicable at the time of payment, prior to a development permit for building works being granted or any works commencing, whichever the sooner.

The amount payable for this development must comply with Council's policy, *Water Supply and Sewerage Contributions to the Cost of Works*. In this regard the following advice is provided:

- The current rate for 2004/2005 per equivalent tenement is \$4,440.
- The conversion factor for sewerage headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from sewerage headworks payable is to be made for each allotment over which the application is made.
- Headworks payable = [Number of units or GFA/100 * conversion factor] – Number of lots over which the application is made] * rate per equivalent tenement.
- The rate of contribution is reviewed annually on 01 July.

Any headworks previously paid may be claimed as contributing towards the amount due to Council.

NB: If sewerage is not immediately available, Council may require that no unit is to be occupied until a sewerage service is available.

10.0 Performance Bonding Agreement

10.1 In accordance with Redland Shire *Transitional Planning Policy - Security Bonding*, the lodgement of security with Council in accordance with the table in Condition 10.2 must be undertaken to guarantee the execution of works to be done in association with this approval.

10.2 All of the following payments must be made to Council pursuant to any condition(s) of this approval. The performance security can be in the form of cash or bank guarantee and must be made:

- Prior to an application for approval of building works on the site being lodged, or
- Prior to Council being required to issue any approval for associated development works, or
- Prior to any construction works or the use commencing (whichever is the sooner).

| Item | Amount | Drawn down | Returned |
|---|-----------------|---|--|
| Engineering Infrastructure external to the site | \$3,000 | to the greater of \$1,000 and 5% of the value of works, when accepted On Maintenance by Council | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| Landscaping | \$5,500 | | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| General performance | \$3,000 | not applicable | When all conditions associated with this approval have been complied with, as accepted by Council. |
| TOTAL | \$11,500 | | |

10.3 In the case of failure to comply with the above Conditions, 10.1 and 10.2, Council may cause the necessary work to be carried out and may deduct the cost thereof from the money deposited and/or bond held. Should such cost exceeds the security held, the applicant(s) and/or the developer and/or their successor must on demand pay to Council the amount of the works.

Note: The approval of this development remains with the land. Accordingly, the responsibility for compliance with the conditions of approval remains with the owner(s) of the land, unless this obligation has been passed to a third party if agreed to in writing by Council or a delegated officer.

C REFERRAL AGENCY CONDITIONS

Nil.

D ADDITIONAL PERMITS / APPROVALS REQUIRED

1 This approval does not allow development to be carried out. Further development permits are required for building works and plumbing and drainage works.

2 Associated development works approvals (from Council) are required for:

- External roadworks and drainage works;
- Landscaping and
- Internal car parking and stormwater drainage works.

3 A road opening permit must be obtained from Council where any works are proposed within an existing road reserve. This approval must be obtained prior to the works commencing.

E ADVICE

1 Currency Period

This development permit for a material change of use will remain current for a period of four (4) years starting the day the approval takes effect, as per sections 3.5.21(2) and 3.5.19 of the *Integrated Planning Act 1997*.

2 Fire Ants

Certain areas within Redland Shire have been identified as having an infestation of the Red Imported Fire Ant (RIFA). The movement of extracted or waste soil, retaining soil, turf, pot plants, plant material, baled hay/straw or mulch/green waste/fuel into, within and out of the Shire from a property inside a restricted area is subject to approval of the Department of Primary Industries(DPI) - RIFA Movement Controls. Further information can be obtained from the DPI Call Centre 13 25 23 or on their web site www.dpi.qld.gov.au/fireants.

3 Connection to Council Services

Should the existing allotment be further reconfigured, the applicant must ensure that each individual allotment is directly connected to Council services (such as water supply, sewer mains, etc.). This may require the extension of Council's existing infrastructure to service the individual allotments.

Signed by Development Assessment Unit

.....
Planning Officer

.....
Senior Landscape Architect

.....
Engineer

.....
Architect / Urban Designer



Redland
SHIRE COUNCIL

29 March, 2005.

Redland Shire Council
Cnr Bloomfield & Middle Sts.
Cleveland Qld 4163
PO Box 21,
Cleveland Qld 4163
Telephone (07) 3829 8999
Facsimile (07) 3829 8765
Email: rsr@redland.qld.gov.au
Web: www.redland.qld.gov.au

Your Ref: 03.1582
Our Ref: Assessment Services
File No: MC008015, cpm
Contact: Paul Toohey

Stratchen Constructions
c/- Mr R Day
Bartley Burns Town Planning Pty Ltd
PO Box 2297
WELLINGTON POINT QLD 4160

Development Application Decision Notice

Dear Sirs,

Proposed Development: Multiple Dwelling (x9).
Application Reference No: MC008015.
Legal Description: Lot 102 on C.627, Parish of Cleveland.
Site Location: 29-33 Gordon Street, Ormiston.

The development application for a material change of use to construct a multiple dwelling (x9) at the above location has been assessed and after considering all relevant matters, a development permit has been granted subject to conditions. The decision was made on 22 March, 2005 under authority delegated to the undersigned.

The following schedule provides all the relevant details.

1. **Referral Agencies:** Not ☒ Yes ☐
Applicable See below

Concurrence Agencies N/A
name and address

2. **Development Permit Conditions:**

Imposed Under Delegated Authority.

1.0 Approved Plans and Documents

- 1.1 The approved plans and/or documents for this development approval are listed in the following table:

| Plan/Document Number | Plan/Document Title | Prepared by | Date received by Council |
|--|--|--------------------------------------|--------------------------|
| Drawing No. 02-450, Revision F (22.12.04), Sheets 1, 2, 3, 4, 5, 6, 7, and 8 | Shown on the drawings (As amended in RED by Council) | Modini & Smith Building Design Group | 13 January 2005 |

N.B. Approval of the above listed plans are subject to Conditions 2.2 and 2.3 on this permit.

2.0 Design

- 2.1 The development must be carried out generally in accordance with the details set out in the application and the approved drawing(s) and/or document(s) listed under Condition 1.1 unless otherwise required by a condition of this approval or agreed to in writing by Council or a delegated officer.
- 2.2 At least one single-storey ground floor dwelling within the development must be designed to comply with Redland Shire's *Transitional Planning Policy – Adaptable Housing* to the satisfaction of the relevant Building Certifier and Council.
- 2.3 The 2.1m high acoustic fences as shown on the approved plans must be designed and constructed to comply with all 'Pollution Prevention' conditions on this permit.

3.0 General

- 3.1 All relevant Council Local Laws, Planning Scheme Provisions and Policies together with all conditions of approval must be fully complied with, to the complete satisfaction of Council.
- 3.2 Council and/or other appropriate authority(ies) must be paid the cost of necessary alterations to existing public utility mains, services or installations due to building and works in relation to the proposed development and/or material change of use, or any works required by condition(s) of this approval. Such costs will be determined by Council and/or the relevant authority(ies) and must be paid prior to an application for approval of building works on the site being lodged.
- 3.3 All payments to be made to Council and/or money to be deposited and/or bond to be lodged pursuant to any condition of this approval must be made prior to an application for approval of building works on the site being lodged. Other conditions must, where applicable, be complied with before the use is commenced, unless otherwise required or agreed in writing by Council or a delegated officer.

4.0 Construction Management

- 4.1 All vehicles related to construction activities carried out on the site must enter and exit the site in a left-in, left-out manner. The responsibility to ensure compliance with this condition rests on the owner(s) of the site as well as the Project Co-ordinator for the development.

5.0 Public Open Space Contribution

- 5.1 Prior to the use commencing, a public open space contribution must be made to Council for the upgrading of public open space and/or the acquisition of additional public open space. The required contribution will be calculated on a per dwelling unit rate applicable at the time of payment and must be made prior to an application for approval of building works on the site being lodged. (Note: The rate of contribution is reviewed by Council annually on 01 July. The current rate is \$4,500.00 per additional dwelling unit.)

6.0 Waste Management

- 6.1 Sufficient kerbside space on Gordon Street pertaining to the subject site must be kept available and unobstructed at all times for the servicing of all waste/recyclable bins provided for the proposed development. Obstructions are considered to include trees, powerlines, landscaping, driveways and car parking spaces.
- 6.2 A hardstand surface must be provided within the curtilage (e.g. courtyard) of Units 6, 7 and 9 for the storage of bins. The bins must be so located so that they are not visible to any on-site or neighbouring residences.

- 6.3 A bin compound within the site must be provided for the storage of bins for Units 1, 2, 3, 4, 5 and 8. The compound must be constructed so that all bins will be fully screened from views from the road, on-site or neighbouring residences. A hardstand surface must be provided within the compound.
- 6.4 Access path must be constructed and kept available for the transport of bins from the storage compound to Gordon Road without passing through the living space or garage of any dwellings within the site.
- 6.5 A written agreement between a private cleansing contractor and the owner(s) of the dwellings and/or site must be entered into and maintained at all time for the purpose of cleansing waste containers, where no on-site waste/recyclable bin cleansing facilities are provided to the satisfaction of Council. (Note: any on-site cleansing facilities must meet Council's pollution prevention requirements and are subject to approval by Council.)

7.0 Pollution Prevention

- 7.1 A 2.1m noise barrier must be constructed generally as outlined in the *Environmental Noise Level Study for Proposed Residential Development - 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04) prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004 (or subsequent amendments where required and as approved by Council). The barrier must be designed in accordance with Figure B of the *Redland Shire's Transitional Planning Policy - Impact of Transportation Systems on Urban Amenity* (i.e. a barrier that is more than 1.8m high must be a mound/fence combination).
- 7.2 Prior to lodging an application to Council for approval of Associated Development Works, the developer must submit plans and specifications detailing the design and construction of the noise barrier to the satisfaction of Council (Development Assessment Unit). All barriers must be certified by a suitably qualified acoustic consultant indicating that they can achieve the requirements of this decision notice and must be accompanied by revised acoustic data where their location differs to that outlined in the *Environmental Noise Level Study for Proposed Residential Development - 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04) prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004 (or subsequent amendments where required and as approved by Council).
- 7.3 Prior to lodging an application to Council for approval of Associated Development Works, the required construction standards as outlined in Table 2 in the *Environmental Noise Level Study for Proposed Residential Development - 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04, prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004) must be amended to accord with any changes to the plans. The required construction standards must then be incorporated into the design and construction of the proposed development.
- 7.4 All building plans submitted for approval must be certified by a suitably qualified acoustic consultant to demonstrate compliance with the desired noise levels and the conditions of this approval. Such certification must specify compliance with Condition 6.3 above.
- 7.5 A post construction certification by a suitably qualified acoustic consultant must be submitted to Council (Development Assessment Unit) within 3 months of the completion of the development (or at the completion of each stage of the development where relevant). This certification must demonstrate that the predicted noise levels in the *Environmental Noise Level Study for Proposed Residential Development - 29 Gordon Street Ormiston* (No. R03183/D711, Revision 1 and dated 24.05.04, prepared by David Moore & Associates P/L Environmental & Acoustic Consultants and submitted to Council on 1 June 2004) (or subsequent amendments where required and as approved by Council) and the conditions of this approval have been achieved.

8.0 Landscaping

- 8.1 The site, including adjacent footpath(s) must be landscaped in accordance with the details indicated on an approved Landscape Plan and any other relevant construction documentation.
- 8.2 Prior to an application for approval of building works on the site being lodged, the applicant(s) and/or developer must apply for an approval from Council for landscaping plan(s) and specifications for the construction of the proposed works. In this regard, the applicant(s) and/or developer shall apply for and receive a development permit for Associated Development Works – Landscaping from Council.
- 8.3 Documentation (no less than 5 copies) to be lodged with the application for approval of landscaping plan(s) and specifications for the construction of the proposed works must take the form of scaled plan(s) and/or drawing(s) and be generally in accordance with the "Site Layout Plan" Drawing No 02-450, Sheet 1 (Amendment F) prepared by Modini & Smith Building Design Group, dated 22 December 2004 and submitted to Council on 13 January 2005.

The landscape design shall be guided by the provisions of Redland Shire's *Transitional Planning Policy – Residential Code for Multiple Dwelling Development* and the *Vegetation Enhancement Strategy*, and include the following details:

Planting Design

- a) A planting design with plant material that is in accordance with *Vegetation Enhancement Strategy*. The planting design must not contain any plant material that has been identified in the *Strategy* as:
 - Declared environmental weeds,
 - An invasive weed, or
 - A poisonous plant
 in South-East Queensland.

Similarly any existing plant that is within the above category is to be removed from the site.
- b) A hierarchy of planting, which includes shade trees, shrubs and groundcovers.
- c) A planting design that provides for buffer planting to protect neighbouring properties from overlooking. This includes the provision of taller species for upper stories. In this instance the use of palms is permitted provided they are strategically placed.
- d) A planting design incorporating the principles of CPTED (Crime Prevention Through Environmental Design).
- e) A planting design to Gordon Street that provides a positive contribution to the streetscape. The design should include shade trees and accent trees as well as shrubs to ameliorate the visual impact of the acoustic barrier.
- f) Three (3) street trees to Gordon Street in accordance with the *Street Tree Masterplan*. Stock sizes must be not less than 100 litres with a minimum height of 2 metres, unless otherwise negotiated with Council.

Communal Open Space

- g) Communal open space with elements that contribute to the recreational uses of the residents. This includes the provision of a barbeque, seating and a shade structure.

Community Safety

- h) The western access into the covered walkway to have at least 50% visual permeability. This factor should be incorporated into the screen wall design and the use of plant/landscape materials at the entry.

- i) Lighting design including motion sensor lighting to the covered walkway.
- j) Design details and integration of external lighting to driveways and other areas of pedestrian and car conflict. Bollards may be used to demarcate pedestrian uses with overhead lighting to provide a high level of illumination.
- k) Design details and integration of external lighting to the pedestrian walkway, car parks and other areas of pedestrian and car conflict, integrating the principles of Crime Prevention through Environmental Design (CPTED) theory. Lighting design is to illuminate potential areas of concealment and is to project illumination so that a human face is easily discernible from 15 metres.

Irrigation

- l) In-ground irrigation to all planted areas within the property boundary.

Hard Landscape Works

- m) Screening to all bin storage areas from public view.
- n) Clothes drying areas having access to natural sunlight and ventilation and being screened from public view.
- o) Details of all fencing including the acoustic barrier to Gordon Road (subject to Pollution Prevention conditions on this permit).
- p) Underground and overhead services. Any conflict between plant material and services must be determined.

8.4 The cost of any new fencing including acoustic treatments must be borne by the developer.

8.5 Approved landscaping works must be completed prior to the use commencing.

9.0 Engineering

9.1 Signage Prior to Construction

Prior to the commencement of any construction works associated with the development, a sign of approved size detailing the project team must be placed in a prominent position, at the road frontage, at each entrance to the development. The sign must detail the relevant Project Coordinator for the works being undertaken on the site, and the following parties (where relevant):

- Developer
- Architect / Building Designer
- Builder
- Civil Engineer
- Civil Contractor
- Landscape Architect

9.2 Construction Supervision, Required Council Inspections, and Acceptance of Works by Council

The applicant must ensure that their engineering representatives contact Council as early in the process as possible.

(a) Engineering Works – Supervision

All site earthworks, drainage and pavement construction must be designed by and the construction supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing must be carried out by N.A.T.A. registered laboratories.

Prior to occupancy of the units, or the use commencing, the applicant's Supervising Engineer must submit a certificate to Council certifying that all work has been satisfactorily completed in accordance with all requirements of Council, and to accepted engineering standards.

(b) Engineering Works – Council Inspections

Council inspections must be called for, and carried out, at the following stages:-

- (i) Pre start – This meeting is to be carried out prior to any works commencing, within an existing road reserve or on any infrastructure that will eventually be transferred to Council.
- (ii) Installation of erosion and sediment management measures.
- (iii) 'Box' inspection of industrial crossover with reinforcing in place. Reinforcing mesh is to be supported on bar chairs.
- (iv) Stormwater pipelines and manholes bedded and partially backfilled.
- (v) 'On Maintenance' inspection of completed works.
- (vi) 'Off Maintenance' inspection of works 12 months after acceptance of works on maintenance.

(c) Engineering Works –Acceptance of Works by Council

Council's Design Standards for Developments details all requirements to be complied with prior to works being accepted On and Off Maintenance by Council.

9.3 As Constructed Requirements

As Constructed drawings and documentation for all municipal and drainage works (internal and external to the development site) is to be supplied in accordance with the requirements of Chapter 2, Section C & D of Council's *Design Standards for Developments*. The applicant shall contact Council's Infrastructure Development Unit to determine their specific requirements, as the development will not be placed "on-maintenance" until these specific requirements have been addressed.

9.4 Frontage works

The developer must construct the following works, to Council standards, along the entire frontage of the site to **Gordon Street**.

- (a) Footpath earthworks, topsoiling and turfing of all disturbed footpath areas;
- (b) Reinstatement of concrete kerb and channel and concrete footpath, as required;
- (c) Underground stormwater drainage to Council standards. All lintels to stormwater gully pits is to be stamped with Council approved notation related to discharge of pollutants to the Bay;
- (d) Driveway invert and associated crossing slab as per Redland Shire Council standard drawings;
- (e) "Left-in Left-out" turning movements onto Gordon Street only;
- (f) Adjustments and relocations necessary to public utility services resulting from these works;
- (g) Signage and line marking as per the Department of Main Roads' standard, *The Manual of Uniform Traffic Control Devices (MUTCD)*;

These works must be completed prior to the use commencing. In this regard, the applicant is required to apply for and receive an associated development works approval from Council.

9.5 Electrical and Telecommunications Conduits

The applicant must install necessary conduits for the provision of public utilities along the road frontage of the property, where required by the relevant authority.

In this regard the developer must liaise with the appropriate authorities for telecommunications and electricity supply. Written confirmation of such liaison and requirements must be provided to Council prior to an application for approval of building works on the site being lodged.

9.6 Electrical Poles and Construction Considerations

A 300mm gap, in any proposed concrete slabs, is to be maintained around the base of all electricity poles along the frontage of the development. Other readily removable surface treatments are to be constructed up to the base of the pole.

9.7 Stormwater from Roofed and Paved Areas

Stormwater drainage from roofed and paved areas is to be discharged to an approved drainage system within adjoining road reserve(s) or as otherwise required or agreed in writing by Council or its delegated officer.

Construction of driveways and drainage must be to Council standards, including the provision for an ARI 100 years overland flow through driveways, open space areas or easements over adjoining properties. An assessment of the effect of 50% blockage of inlets must be included in the drainage calculations.

Temporary drainage is to be provided during the building construction phase such that discharge from all constructed roofs and paved areas is disposed of to an approved street drainage system and not onto the construction site. This temporary system must be maintained for the duration of building works.

Prior to an application for approval of building works on the site being lodged, the applicant must apply for and receive an approval for associated development works for engineering plans and specifications for the construction of proposed drainage.

9.8 Stormwater Nuisance and Legal Right of Stormwater Discharge

Overland flow paths and underground drainage is to be designed so as not to directly or indirectly cause nuisance to a downstream or adjoining property. Stormwater from external catchments is to be accepted at ground level and discharged through the subject site to a legal point of discharge.

9.9 Reticulated Water Supply Connection

The applicant must connect the proposed development to the existing reticulated water supply system.

Where the existing reticulated water supply does not currently service the site or is not an adequate capacity, the developer is to pay Council its estimated cost to construct the required connection/s to the site.

Requests for connections and estimates must be made to Council in writing, with details of work required specified. The payment for such works is to be made prior to a development permit for building works being issued for the site.

9.10 Sewerage Connection

The applicant must connect the proposed development to the existing sewerage system.

Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development, the developer must pay Council its estimated cost to construct the required connections.

Requests for connections and estimates must be made to Council in writing, with details of work required specified. The payment for such works is to be made prior to an application for approval of building works on the site being lodged.

9.11 Earthworks

If the development of the subject property requires soil to be imported or exported, the applicant must identify the allotments that would be used for borrowing or filling and must advise Council of such works. Any significant borrowing or filling may require the approval of Council. If clarification is required on the significance of the works to be undertaken, the developer shall contact Council to determine relevant approvals required.

9.12 Sediment and Erosion Management

- (a) Prior to and during the construction and maintenance phases of this development, the applicant is to be responsible for the installation and maintenance of erosion and sediment management facilities. These facilities must accord with the policy objectives of the Redland Shire's *Transitional Planning Policy - Erosion and Sediment Control* until the development has been accepted as completed by Council or its delegated officer.
- (b) The applicant must submit details of erosion and sediment management procedures for approval by Council prior to the issuing of a development permit for any building works for the site. The erosion and sediment management plans must include a schedule detailing the stages at which various management techniques would be in place.
- (c) Recommended erosion control techniques must include but not be limited to:
 - (i) soil disturbance, particularly within nominated building envelopes, should be restricted to a minimum,
 - (ii) stormwater run off from upper catchments should be diverted away from disturbed areas,
 - (iii) disturbed areas should be stabilised using mulches (straw, forest mulch, etc.) or other techniques.
 - (iv) the provision of cut off drains, silt fences, straw bales, top soiling and turfing.
- (d) Council reserves the right to enter the site for the purposes of rectifying any sediment management facilities which are inadequate, improperly maintained or not operating in a satisfactory manner, in accordance with the approval plan.
- (e) The applicant is to be responsible for the restoration of the site and any adjoining affected lands where sediment damage has occurred as a consequence of the development. Such restoration is to be completed in a reasonable time determined by Council or its delegated officer.
- (f) Consideration is to be given to wind blown pollution, and measures implemented so as to achieve these objectives.
- (g) At all times adhere to *The Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites* published by Brisbane City Council and Gold Coast City Council, 1998.

9.13 Car Parking Facilities and Internal Driveways

Prior to an application for approval of building works on the site being lodged, the applicant must apply for and receive an approval from Council for Associated Development Works for engineering plans and specifications for the construction of proposed car parking facilities and internal driveways. The following issues are to be addressed:

- (a) Compliance with *Australian Standard AS 2890.1: Off Street Parking – Car Parking Facilities*.
- (b) Ramps within the road reserve must accord with Council standards, unless determined otherwise by the Manager Assessment Services.
- (c) Provision is to be made for vehicles to turn within the subject site so as to enter and exit the property in a forward gear, without encroachment into formal visitor parking spaces.
- (d) Parking areas should not be used for general storage or any purpose other than the parking of motor vehicles.
- (e) Construction must comply with the following:
 - (i) Pavements is to be flexible or non flexible,
 - (ii) Surfacing is to be a bituminous seal coat, asphalt, concrete, or pavers, and
 - (iii) Properly constructed, drained and maintained to good engineering standards.
- (f) All site earthworks, drainage and pavement construction is to be designed and supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing is to be carried out by NATA Registered Laboratories. Prior to occupancy or the use commencing, the Supervising Engineer must submit a certificate certifying that all work has been satisfactorily completed to the quality control criteria for this site.

9.14 Water Supply Headworks

A contribution for water supply augmentation must be made to Council, at the rate applicable at the time of payment, prior to a development permit for building works being granted or any works commencing, whichever the sooner.

The amount payable for this development must comply with Council's Policy, *Water Supply and Sewerage Contributions to the Cost of Works*. In this regard the following advice is provided:

- The current rate for 2004/2005 per equivalent tenement is \$3,911.
- The conversion factor for water supply headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from water supply headworks payable must be made for each allotment over which the application is made.
- The rate of contribution is reviewed annually on 01 July.

Any headworks previously paid may be claimed as contributing towards the amount due to Council.

9.15 Sewerage Headworks

A contribution for sewerage augmentation is to be made to Council, at the rate applicable at the time of payment, prior to a development permit for building works being granted or any works commencing, whichever the sooner.

The amount payable for this development must comply with Council's policy, *Water Supply and Sewerage Contributions to the Cost of Works*. In this regard the following advice is provided:

- The current rate for 2004/2005 per equivalent tenement is \$4,440.
- The conversion factor for sewerage headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from sewerage headworks payable is to be made for each allotment over which the application is made.
- Headworks payable = [Number of units or GFA/100 * conversion factor] – Number of lots over which the application is made] * rate per equivalent tenement.
- The rate of contribution is reviewed annually on 01 July.

Any headworks previously paid may be claimed as contributing towards the amount due to Council.

NB: If sewerage is not immediately available, Council may require that no unit is to be occupied until a sewerage service is available.

10.0 Performance Bonding Agreement

10.1 In accordance with Redland Shire *Transitional Planning Policy - Security Bonding*, the lodgement of security with Council in accordance with the table in Condition 10.2 must be undertaken to guarantee the execution of works to be done in association with this approval.

10.2 All of the following payments must be made to Council pursuant to any condition(s) of this approval. The performance security can be in the form of cash or bank guarantee and must be made:

- Prior to an application for approval of building works on the site being lodged, or
- Prior to Council being required to issue any approval for associated development works, or
- Prior to any construction works or the use commencing (whichever is the sooner).

| Item | Amount | Drawn down | Returned |
|---|-----------------|--|--|
| Engineering Infrastructure external to the site | \$3,000 | to the greater of \$1,000 and 5% of the value of works, when accepted by Council | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| Landscaping | \$5,500 | | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| General performance | \$3,000 | not applicable | When all conditions associated with this approval have been complied with, as accepted by Council. |
| TOTAL | \$11,500 | | |

10.3 In the case of failure to comply with the above Conditions, 10.1 and 10.2, Council may cause the necessary work to be carried out and may deduct the cost thereof from the money deposited and/or bond held. Should such cost exceeds the security held, the applicant(s) and/or the developer and/or their successor must on demand pay to Council the amount of the works.

Note: The approval of this development remains with the land. Accordingly, the responsibility for compliance with the conditions of approval remains with the owner(s) of the land, unless this obligation has been passed to a third party if agreed to in writing by Council or a delegated officer.

ADDITIONAL ADVICE

1 Currency Period

This development permit for a material change of use will remain current for a period of four (4) years starting the day the approval takes effect, as per sections 3.5.21(2) and 3.5.19 of the *Integrated Planning Act 1997*.

2 Fire Ants

Certain areas within Redland Shire have been identified as having an infestation of the Red Imported Fire Ant (RIFA). The movement of extracted or waste soil, retaining soil, turf, pot plants, plant material, baled hay/straw or mulch/green waste/fuel into, within and out of the Shire from a property inside a restricted area is subject to approval of the Department of Primary Industries (DPI) - RIFA Movement Controls. Further information can be obtained from the DPI Call Centre 13 25 23 or on their web site www.dpi.qld.gov.au/fireants.

3 Connection to Council Services

Should the existing allotment be further reconfigured, the applicant must ensure that each individual allotment is directly connected to Council services (such as water supply, sewer mains, etc.). This may require the extension of Council's existing infrastructure to service the individual allotments.

3. Approval Type:

| | | | |
|-------------------------------------|--------------------|-------------------------------------|-----------------------------|
| <input checked="" type="checkbox"/> | Development Permit | <input checked="" type="checkbox"/> | Material Change of Use |
| | | <input type="checkbox"/> | Building Works |
| | | <input type="checkbox"/> | Plumbing and Drainage Works |
| | | <input type="checkbox"/> | Operational Works |
| | | <input type="checkbox"/> | Reconfiguring a Lot |

4. Further Development Permits Required:

- 1 This approval does not allow development to be carried out. Further development permits are required for building works and plumbing and drainage works.
- 2 Associated development works approvals (from Council) are required for:
 - External roadworks and drainage works;
 - Landscaping and
 - Internal car parking and stormwater drainage works.
- 3 A road opening permit must be obtained from Council where any works are proposed within an existing road reserve. This approval must be obtained prior to the works commencing.

5. Rights of Appeal:

A copy of the rights of appeal under Section 4.1.27 and Section 4.1.28 of the Act for Applicants and Submitters is appended, together with Division 10 Part 1 (Chapter 4) of the Act which deals with the making of an Appeal to the Planning and Environment Court.

6. In addition to the above information, I advise that:

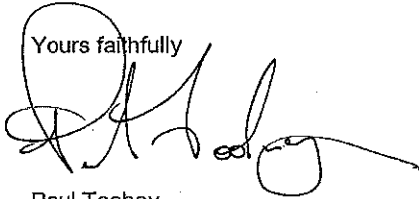
- (a) Submissions Received:
Council has accepted a total of one (1) submission to this Development Application from the following:

Mr D McGrath, Cleveland Motor Inn, 37 Freeth Street, Ormiston. 4160

(b) Written Notice:

The Applicants may wish to give the Assessment Manager written notice of their intention not to make representations on conditions of this approval (decided by the Assessment Manager) in advance of the ending of the Applicants' Appeal period so that further action(s) can be initiated by the Assessment Manager.

Yours faithfully



Paul Toohey
Acting Services Manager
Development Assessment
Assessment Manager - Delegate

enc

Right to Information Release



Redland 2 October 2008
CITY COUNCIL

Redland City Council
ABN 86 058 929 428
Cnr Bloomfield & Middle Sts.
Cleveland Qld 4163
PO Box 21,
Cleveland Qld 4163
Telephone 07 3829 8999
Facsimile 07 3829 8765
Email rcc@redland.qld.gov.au
www.redland.qld.gov.au

Your Ref: 20102
Our Ref: JK:mr
File No: **MC008015**
Contact: Land Development

JDA Consultants Pty Ltd
PO Box 2185
FORTITUDE VALLEY BC QLD

Dear Sir / Madam

Sealing of Survey Plan

Site Location: 29-33 Gordon Street Ormiston QLD 4160

Reference is made to your letter dated 16 September 2008 submitting plan SP211959 for execution on behalf of Council.

This plan and Community Management Statement have now been signed by Council and are returned herewith for your further attention.

Please instruct your clients to have the plan lodged in the Titles Office as soon as possible.

Yours faithfully,

Bruce Appleton
Acting Manager Assessment Services

Enc

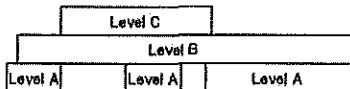
B/C Mr Edward H Strachan &
Mrs Sandra M Strachan & S Siu

SURVEY PLAN

Sheet 1 of 4

BAINBRIDGE STREET
No O.Mk
Screw Id
OPM's

100
RP889340
IS126959



LATERAL ASPECT DIAGRAM
(Looking East from Gordon Street)
Not to Scale

101
C627
IS27869

| PM | ORIGIN | BEARING | DIST | NO | TYPE |
|------------------|----------|-----------|---------|--------|------|
| 4-OPM | SP114614 | 2°30'40" | 30.715 | 70192 | |
| 4-OPM (New Conn) | CP880563 | 83°33'45" | 381.053 | 107779 | |

REFERENCE MARKS

| STN | TO | ORIGIN | BEARING | DIST |
|-----|-----------------------|----------|------------|--------|
| 1 | Screw in conc | | 285°29'55" | 4.11 |
| 1 | Screw in conc | | 57°40' | 6.222 |
| 1 | O Screw in conc | RP889340 | 208°10' | 7.151 |
| 1 | O Nail in conc gone | IS175622 | 338°50'40" | 21.109 |
| 2 | Screw in conc | | 262°20' | 5.708 |
| 2 | O Nail in conc gone | IS175622 | 230°54' | 7.139 |
| 3 | O Screw in conc | IS126959 | 280°16'20" | 6.18 |
| 4 | Screw Id in conc | | 1°52'50" | 10.278 |
| 4 | Screw in kerb | | 53°18'55" | 24.111 |
| 5 | Screw in conc barrier | | 250°06'15" | 15.825 |
| 6 | Screw in GT surround | | 309°48'45" | 2.947 |
| 6 | Screw in conc barrier | | 268°05'30" | 17.728 |

Area of Base Parcel
2074 m²

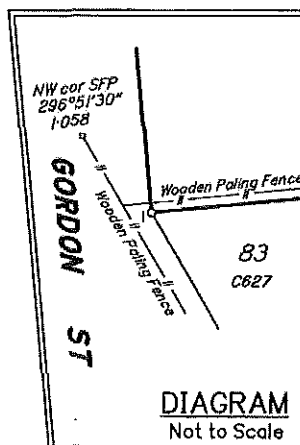


DIAGRAM
Not to Scale

STREET

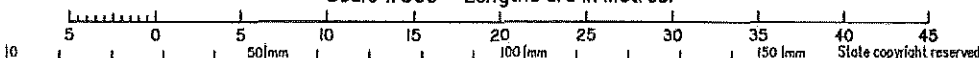
OP
(over fence)
Removed
Peg pld
Cen old RFP (top)
O-0.3N, O-18E
Int. Fences
291°12'35", O-623
O Screw
O Nail

SEE
DIAG

BUILDING A
TWO AND THREE STOREY
CONCRETE BLOCK BUILDING

BUILDING B
TWO STOREY CONCRETE BLOCK BUILDING

Scale 1:300 - Lengths are in Metres.



Plan of Lots 1-9 & Common Property

Cancelling Lot 102 on plan C627

PARISH: CLEVELAND COUNTY: Stanley

Meridian: SP114614

F/N's: No

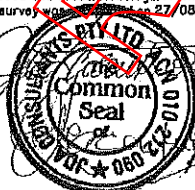
Scale: 1:300

Format: BUILDING

SP211959

Plan Status:

DA Consultants Pty Ltd (ABN 57 010 272 000) hereby certify that the land comprised by this plan was surveyed by the corporation, by John de Labouture, a duly qualified surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 27/08/2008.



Date 13/9/08

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

Registered

5. Lodged by

(Include address, phone number, reference and Lodger Code)

1. Certificate of Registered Owners or Lessees.

1/We EDWARD HENRY STRACHAN
SANDRA MAY STRACHAN JOINT TENANTS INTER SE 1/2
SIMON KWOK KWAN SIU TENANT IN COMMON 1/2
AS TENANT IN COMMON

(Names in full)

*as Registered Owners of this land agree to this plan and dedicate the Public Use
Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

*as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

* Edward Henry Strachan

* Sandra May Strachan

* SIMON KWOK KWAN SIU

* Rule out whichever is inapplicable

2. Local Government Approval.

* Redland City Council

hereby approves this plan in accordance with the :

% Integrated Planning Act 1997

Dated this 20th day of October 2008

Approved

* Gary John Stevenson
Chief Executive Officer

Dated this 18th day of September

* Insert the name of the Local Government. % Insert Integrated Planning Act 1997 or
Insert designation of signatory or delegation Local Government (Planning & Environment) Act 1997

3. Plans with Community Management Statement :

CMS Number :

Name : ORMISTON BAY VISTA.

4. References :

Dept File :

Local Govt : m0006015

Surveyor : 20102

6. Existing

| Title Reference | Description | New Lots | Created | Road | Emts | Cov. | Profit or Prendre |
|-----------------|-----------------|----------|---------|------|------|------|-------------------|
| 16898155 | Lot 102 on C627 | 1-9 & CP | | | | | |

1-9 & CP

Allot 20 Sec 86

Lots

Orig

7. Portion Allocation :

8. Map Reference :

9542-14443

9. Locality :

Ormiston

10. Local Government :

Redland City Council

11. Passed & Endorsed :

By : J. de Lacouture

Date : 13/9/08

Signed : *J. de Lacouture*

Designation : Cadastral Surveyor

Date of Development Approval: 29/08/2006

12. Building Format Plans only.

I certify that :

* As far as it is practical to determine, no part
of the building shown on this plan encroaches
onto adjoining lots or road;

~~* Part of the building shown on this plan
encroaches onto adjoining lots and road.~~

J. de Lacouture 13/9/08
Cadastral Surveyor/Director * Date
* delete words not required

13. Lodgement Fees :

Survey Deposit \$

Lodgement \$

.....New Titles \$

Photocopy \$

Postage \$

TOTAL \$

14. Insert
Plan
Number

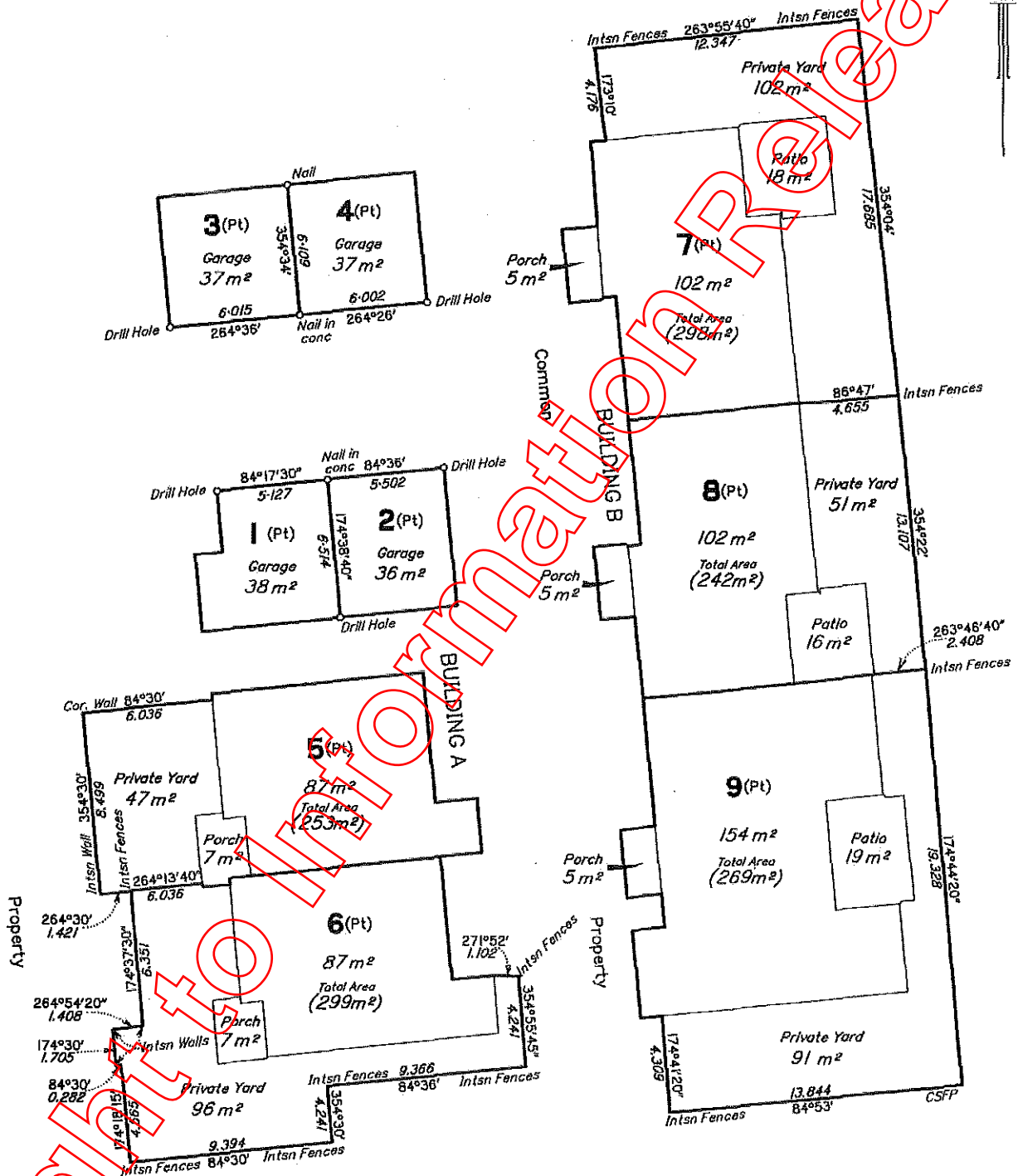
SP 211959

LEVEL A

Scale 1:200

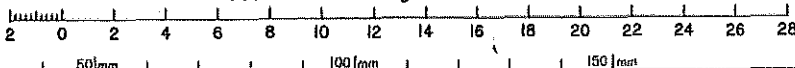
N

Common



All Corners Marked by Structural Elements
Unless Otherwise Shown.

Scale 1:200 - Lengths are in Metres.



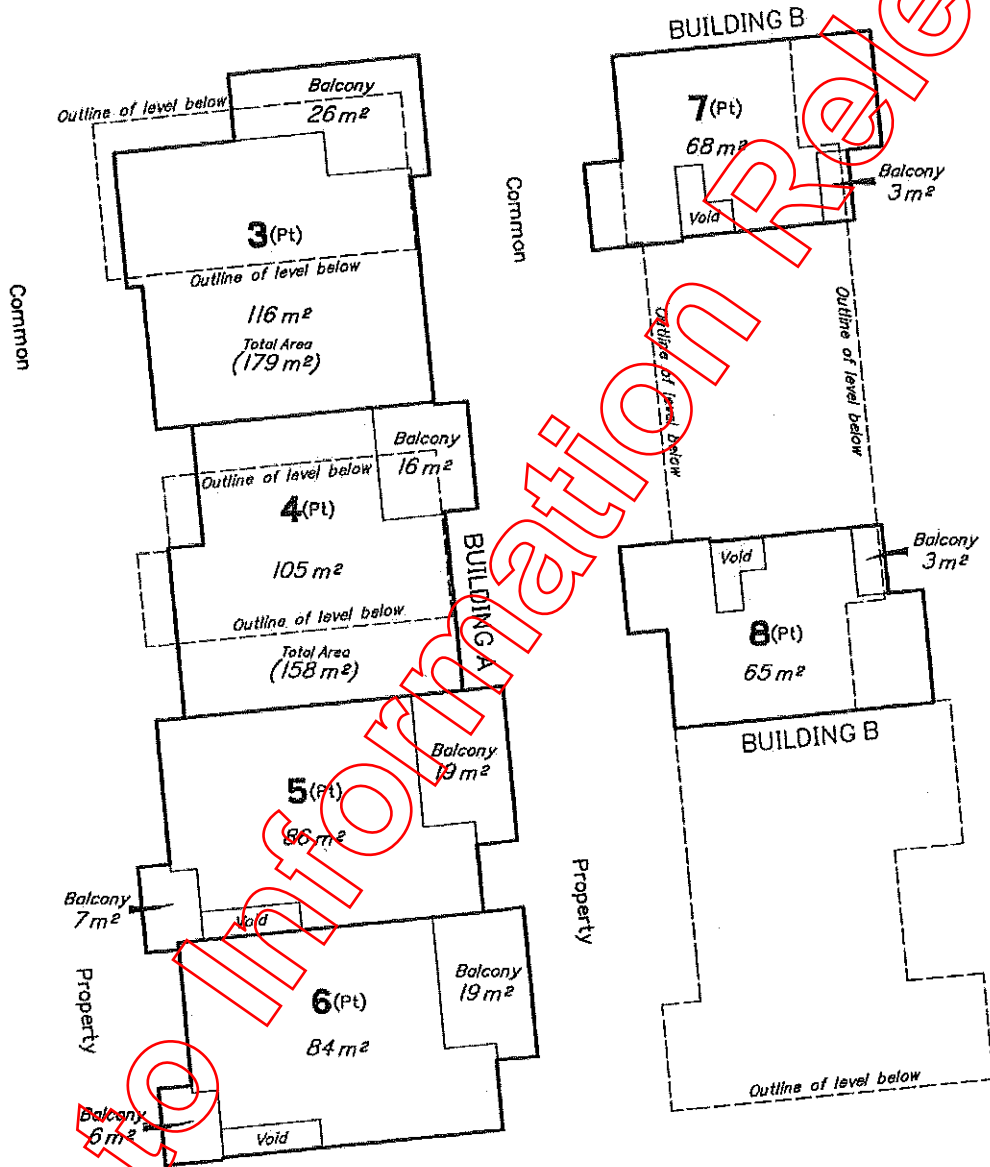
State copyright reserved.

Insert Plan Number

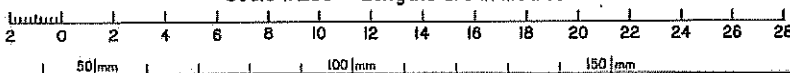
SP 211959

LEVEL B

Scale 1: 200



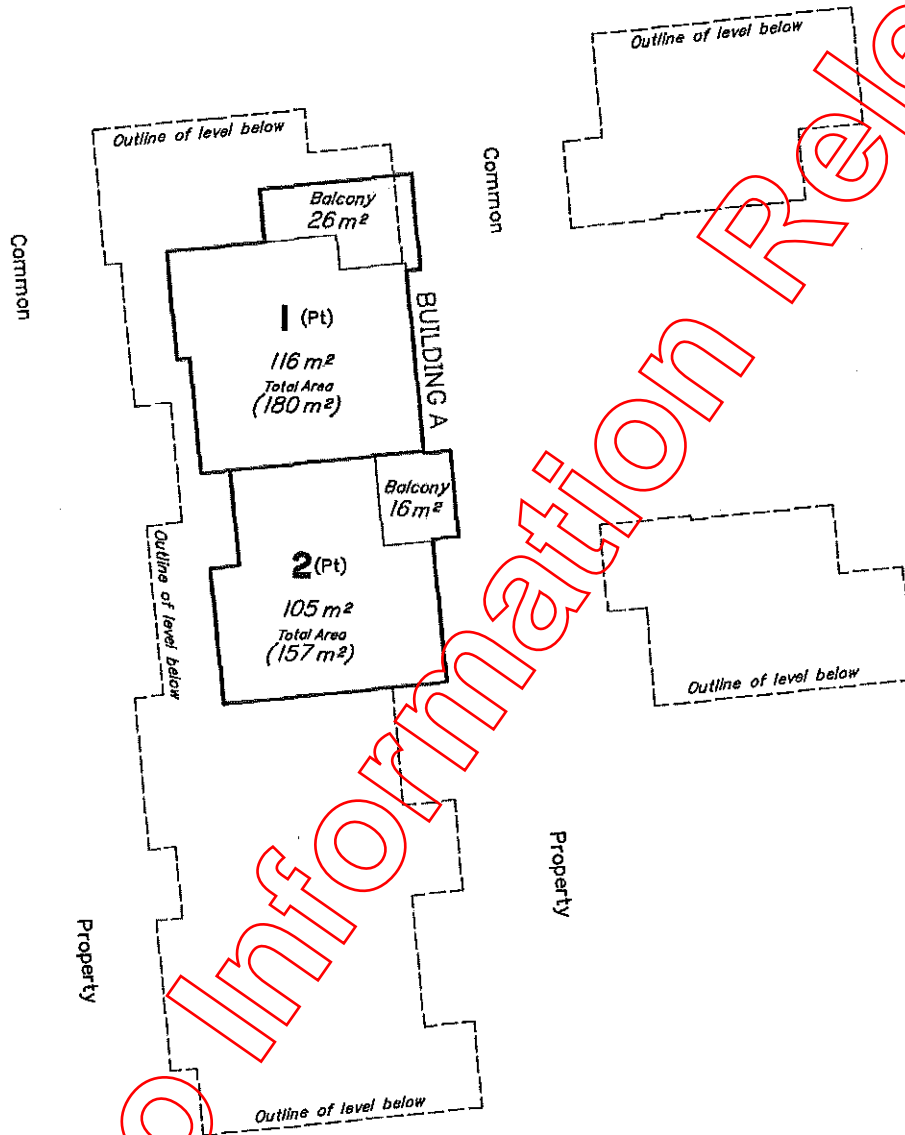
Scale 1: 200 - Lengths are in Metres.



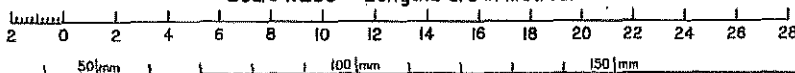
State copyright reserved.

Insert Plan Number SP 211959

LEVEL C
Scale 1:200



Scale 1:200 - Lengths are in Metres.



State copyright reserved.

Insert
Plan
Number

SP 211959

THIS STATEMENT MUST BE LODGED TOGETHER WITH A FORM 14 GENERAL REQUEST AND IN THE CASE OF A NEW STATEMENT MUST BE LODGED WITHIN THREE (3) MONTHS OF THE DATE OF CONSENT BY THE BODY CORPORATE

Office use only
CMS LABEL NUMBER

This statement incorporates and must include the following:

Schedule A - Schedule of lot entitlements
Schedule B - Explanation of development of scheme land
Schedule C - By-laws
Schedule D - Any other details
Schedule E - Allocation of exclusive use areas

1. Name of community titles scheme

ORMISTON BAY VISTA
COMMUNITY TITLES SCHEME

2. Regulation module

STANDARD MODULE

3. Name of body corporate

BODY CORPORATE FOR ORMISTON BAY VISTA COMMUNITY TITLES SCHEME

4. Scheme land

| Lot on Plan Description | County | Parish | Title Reference |
|--|---------|-----------|---------------------|
| COMMON PROPERTY OF ORMISTON BAY VISTA CTS Lots 1 to 9 (inclusive) on SP 211959 | STANLEY | CLEVELAND | New titles to issue |

5. *Name and address of original owner

EDWARD HENRY STRACHAN, SANDRA MAY STRACHAN
& SIMON KWOK KWAN SIU

6. Reference to plan lodged with this statement

BUILDING FORMAT PLAN
SP 211959

first community management statement only

7. Local Government community management statement notation

Gary John Stevenson - Chief Executive Officer
REDLAND CITY COUNCIL

signed

name and designation

name of Local Government

8. Execution by original owner/Consent of body corporate

Execution Date

*Execution

*Original owner to execute for a first community management statement
*Body corporate to execute for a new community management statement

Privacy Statement

Collection of this information is authorised by the Body Corporate and Community Management Act 1997 and is used to maintain the publicly searchable registers in the land registry. For more information about privacy in NR&W see the Department's website.

**SCHEDULE / ENLARGED PANEL /
ADDITIONAL PAGE / DECLARATION**

Title Reference []

| SCHEDULE A SCHEDULE OF LOT ENTITLEMENTS | | |
|---|---------------------|-----------------|
| Lot on Plan | Contribution | Interest |
| 1 on SP 211959 | 1 | 113 |
| 2 on SP 211959 | 1 | 113 |
| 3 on SP 211959 | 1 | 113 |
| 4 on SP 211959 | 1 | 113 |
| 5 on SP 211959 | 1 | 113 |
| 6 on SP 211959 | 1 | 113 |
| 7 on SP 211959 | 1 | 113 |
| 8 on SP 211959 | 1 | 113 |
| 9 on SP 211959 | 1 | 96 |
| | | |
| TOTALS | 9 | 1000 |

| | |
|-------------------|--|
| SCHEDULE B | EXPLANATION OF THE DEVELOPMENT OF SCHEME LAND |
|-------------------|--|

Sections 66(1)(f) and (g) of the Body Corporate and Community Management Act 1997 are not applicable.

Title Reference [1]

SCHEDULE C BY-LAWS

NOISE.

1. The occupier of a lot must not create noise likely to interfere with the peaceful enjoyment of a person lawfully on another lot or the common property.

VEHICLES.

- 2.(1) The occupier of a lot must not, without the body corporate's written approval-
 - (a) park a vehicle, or allow a vehicle to stand, on the common property; or
 - (b) permit an invitee to park a vehicle, or allow a vehicle to stand, on the common property, except for the designated visitor parking which must remain available at all times for the sole use of visitors' vehicles.
- 2.(2) An approval under subsection (1) must state the period for which it is given, with the exception of designated visitor parking.
- 2.(3) However, the body corporate may cancel the approval by giving 7 days written notice to the occupier, with the exception of designated visitor parking.

OBSTRUCTION.

3. The occupier of a lot must not obstruct the lawful use of the common property by someone else.

DAMAGE TO LAWNS etc.

- 4.(1) The occupier of a lot must not, without the body corporate's written approval-
 - (a) damage a lawn, garden, tree, shrub, plant or flower on the common property; or
 - (b) use a part of the common property as a garden.
- 4.(2) An approval under subsection (1) must state the period for which it is given.
- 4.(3) However, the body corporate may cancel the approval by giving 7 days written notice to the occupier.

DAMAGE TO COMMON PROPERTY.

- 5.(1) An occupier of a lot must not, without the body corporate's written approval, mark, paint, drive nails, screws or other objects into, or otherwise damage or deface a structure that forms part of the common property.
- 5.(2) However, an occupier may install a locking or safety device to protect the lot against intruders, or a screen to prevent entry of animals or insects, if the device or screen is soundly built and is consistent with the colour, style and materials of the building.
- 5.(3) The owner of a lot must keep a device installed under subsection (2) in good order and repair.

BEHAVIOUR OF INVITEES.

6. An occupier of a lot must take reasonable steps to ensure that the occupier's invitees do not behave in a way likely to interfere with the peaceful enjoyment of another lot or the common property.

Title Reference []

LEAVING OF RUBBISH ETC. ON COMMON PROPERTY.

7. The occupier of a lot must not leave rubbish or other materials on the common property in a way or place likely to interfere with the enjoyment of the common property by someone else.

APPEARANCE OF LOT.

- 8.(1) The occupier of a lot must not, without the body corporate's written approval, make a change to the external appearance of the lot unless the change is minor and does not detract from the amenity of the lot and its surrounds.
- 8.(2) The occupier of a lot must not, without the body corporate's written approval-
- (a) hang washing, bedding, or another cloth article if the article is visible from another lot or the common property, or from outside the scheme land; or
 - (b) display a sign, advertisement, placard, banner, pamphlet or similar article if the article is visible from another lot or the common property, or from outside the scheme land.
- 8.(3) Subsection (2)(b) does not apply to a real estate advertising sign for the sale or letting of the lot if the sign is of a reasonable size.
- 8.(4) This section does not apply to a lot created under a standard format plan of subdivision.

STORAGE OF FLAMMABLE MATERIALS.

- 9.(1) The occupier of a lot must not, without the body corporate's written approval, store a flammable substance on the common property.
- 9.(2) The occupier of a lot must not, without the body corporate's written approval, store a flammable substance on the lot unless the substance is used or intended for use for domestic purposes.
- 9.(3) However, this section does not apply to the storage of fuel in-
- (a) the fuel tank of a vehicle, boat, or internal combustion engine; or
 - (b) a tank kept on a vehicle or boat in which the fuel is stored under the requirements of the law regulating the storage of flammable liquid.

GARBAGE DISPOSAL.

- 10.(1) Unless the body corporate provides some other way of garbage disposal, the occupier of a lot must keep a receptacle for garbage in a clean and dry condition and adequately covered on the lot, or on part of the common property designated by the body corporate for the purpose.
- 10.(2) The occupier of a lot must-
- (a) comply with all local government local laws about disposal of garbage; and
 - (b) ensure that the occupier does not, in disposing of garbage, adversely affect the health, hygiene or comfort of the occupiers of other lots.

KEEPING OF ANIMALS.

- 11.(1) The occupier of a lot must not, without the body corporate's written approval-
- (a) bring or keep an animal on the lot or the common property; or
 - (b) permit an invitee to bring or keep an animal on the lot or the common property.
- 11.(2) The occupier must obtain the body corporate's written approval before bringing, or permitting an invitee to bring, an animal onto the lot or the common property.

GUIDE DOGS. N.B. By-law 11 does not apply to 'Guide Dogs' in accordance with Section 181.(1),(2) & (3) of the Act.

**SCHEDULE / ENLARGED PANEL /
ADDITIONAL PAGE / DECLARATION**

Title Reference []

RECOVERY OF LEVIES

12. That a person (which expression shall extend to corporations) shall pay on demand the whole of the Body Corporate's costs and expenses (including solicitor, collection agency and own client costs) such amount deemed to be a liquidated debt due in recovering such levies or moneys duly levied upon that person by the Body Corporate, pursuant to the Act.

RECOVERY FOR DAMAGES

13. Where the Body Corporate expends money to make good damage caused by a breach of the Act or of these By-Laws by any owner or the tenants, servants, employees, agents, invitees or licensees of the owner or any of them, the committee shall be entitled to recover the amount so expended as a debt in an action in any Court of competent jurisdiction from the owner of the unit at the time when the breach occurred.

PENALTY FOR LATE PAYMENT

14. As provided for under the Body Corporate and Community Management Act 1997, the committee for the time being shall at its discretion be authorised to charge the prescribed penalty of 2.5% monthly against owners for the late payment of levies, including any special levies which may be properly struck at any time.

| SCHEDULE D OTHER DETAILS REQUIRED/PERMITTED TO BE INCLUDED | | |
|--|--|---------------------------|
| Lot on Plan | Statutory Easements | Services Location Diagram |
| Lot 1 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 2 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 3 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 4 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 5 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 6 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 7 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 8 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Lot 9 on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |
| Common Property on SP 211959 | Stormwater Pit Gully Trap, Water, Stormwater, Sewer, Telstra & Power | Sketch A |

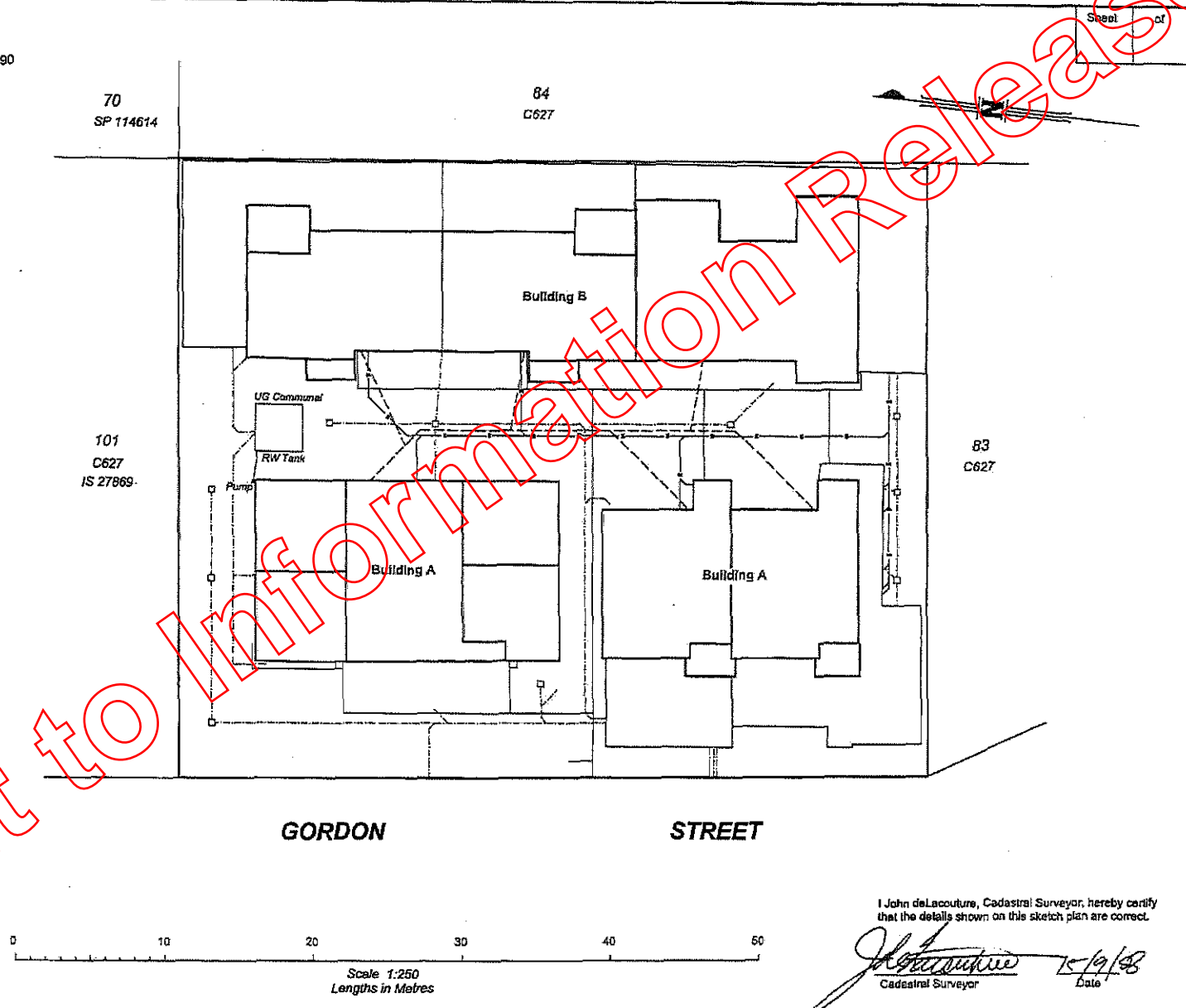
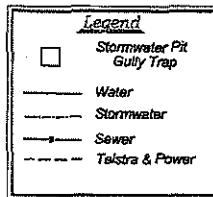
| SCHEDULE E DESCRIPTION OF LOTS ALLOCATED EXCLUSIVE USE AREAS OF COMMON PROPERTY |
|---|
| Nil. |

Prepared by:
JDA CONSULTANTS PTY LTD
Consulting Surveyors ACN 010 272 090
50 Prospect Street, Fortitude Valley
Ph: 3252 3777 3852 1634
Mobile: 0418 722 305
Fax: 3252 1291
Email: jdcass@acenet.net.au

SKETCH A

Plan Showing:
Services over the Common Property
on SP 211953
Parish: Cleveland
County: Stanley
CMS Name: Ormiston Bay Vista
CMS No:
Scale 1 : 250

Note:-
Drawn from As Constructed Plans Supplied.



I John deLacouture, Cadastral Surveyor, hereby certify
that the details shown on this sketch plan are correct.


Cadastral Surveyor
Date 15/9/98

Page 6 of 6



Redland
CITY COUNCIL

ASSESSMENT SERVICES - LAND DEVELOPMENT

CHECKLIST FOR BUILDING FORMAT PLANS & COMMUNITY TITLES SCHEMES

FILE NO: MC008015 STAGE: 1
REFER ALSO: BD137711; PD217335; OP00071B; OP000712 APPROVED: 29/3/05
APPLICANT/OWNER: E & S Strachan & S Siu
DEVELOPMENT NAME: Ormiston Bay Vista
LOCATION: 29-33 Gordon Street, Ormiston
PLAN NO: SP211959 & CMS TOTAL LOTS: 9 ZONE: MDR

| LAND DEVELOPMENT | Yes | No | N/A | Comments |
|---|-----|----|-----|--------------------|
| Application Fees Paid | ✓ | | | |
| Inspection Fee Raised | ✓ | | | |
| Inspection Fee Paid (<u>\$57.50</u>) | ✓ | | | R/N 677924 17/2/05 |
| Rates Paid | ✓ | | | |
| Unit No. of Building Approvals to Conform with Lot Nos. on Building Format | | | | |
| Back of Survey Plan Shows Name & Number of CMS | ✓ | | | |
| Back of Survey Plan Indicates Relevant Act of Approval | ✓ | | | |
| Other <u>Plan Sealing (\$926) & CMS (\$476.60)</u> | ✓ | | | R/N 677924 17/2/05 |
| DEVELOPMENT ASSESSMENT TEAM 2 | Yes | No | N/A | Comments |
| Site Inspection Made | ✓ | | | |
| Clearly Pegged & Building Substantially Completed | ✓ | | | |
| Fencing Surveyed | ✓ | | | |
| Material Change of Use Conditions Complied With | ✓ | | | |
| Landscaping Requirements Met | ✓ | | | |
| Community Management Statement Does Not Conflict with Planning Scheme | | | | |
| External Works Bonded | ✓ | | | |
| Augmentation Contributions Received | ✓ | | | |
| Conditions of Approval Complied With | ✓ | | | |
| Design of Internal Driveways & Stormwater Drainage Checked | ✓ | | | |
| Building Application Received & Checked | ✓ | | | |
| Units Only Class (1) | ✓ | | | |
| Setback Requirements | ✓ | | | |
| Lot Boundaries Comply with Building Plans | ✓ | | | |
| Improvements Contained within Lot | ✓ | | | |
| Building Design Complies with Fire Safety Provision of BCA for New Boundaries | ✓ | | | |
| Trade Waste Generators Assigned to a Particular Lot | | | ✓ | |
| Certificate of Classification Issued or Stage of Construction Substantially Constructed | ✓ | | | |

GENERAL COMMENTS & RECOMMENDATIONS

EXAMINED BY:

Technical Officer: MB
Technical Officer's Name: LLOYD B1665

Principal Officer, Integrated Development
& Building Certification Unit

Date: 30/9/08

AUTHORISED BY:

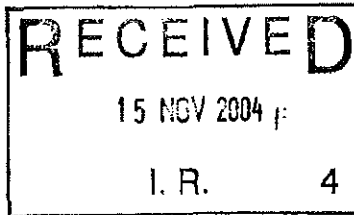
Manager Assessment Services

Date: _____

Our Ref: 03.1582
Your Ref: MC008015

12 November 2004

Di Glynn
Assessment Manager
Development Assessment Team
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163



Certifiers



& Planners

Bartley Burns

Bartley Burns Town Planning Pty Ltd
ABN 36 413 954 407

1 Peterson Street
Wellington Point QLD 4160
PO Box 2297
Wellington Point QLD 4160

Tel 07 3207 4488
Fax 07 3207 5599
info@bartleyburns.com.au
www.bartleyburns.com.au

Dear Madam,

AMENDED PLANS RELATING TO PROPOSED MULTIPLE DWELLING (9 UNITS) AT 29-33 GORDON STREET, ORMISTON.

I refer to Council's correspondence dated 27 August 2004 and our subsequent meeting with Council Officers, the building designer and clients on Tuesday 9 November 2004.

The matters raised in Council's correspondence and at the subsequent meeting are addressed as follows.

Building Design

I concur with Council's comments in relation to the Strategic Plan designation of the site and the desire for a meritorious design to be provided. The amended plans indicate substantial changes in the building design with the major change to building bulk being the reduction of height in the front building module to only a partial third storey. The architecture of the development has also totally changed and now incorporates colorbond roof sheeting on a variety of hip and skillion roof forms. The new roof profiles provide benefits in also significantly lowering the height of this building and reducing the overall scale of the development.

Lightweight materials are now incorporated into the upper level of the building with a variety of detailing and external materials now being provided. The development is now one which reflects contemporary architecture in a manner which reduces building bulk and positively contributes to the streetscape.

Individual gatehouses are provided to the courtyards on the fenceline for Units 5 and 6 to provide an entry point and sense of identity. A gatehouse is also now provided on the front alignment adjacent to the driveway to provide an entry point to the development.

The 2.1 metre height of the Acoustic Fence in front of Units 5 and 6 is governed by the requirements of the Acoustic Report. To assist in reducing the dominance of this structure, timber feature battens are provided to the top section of the fence. The landscaped setback in this location has also been increased to a minimum of 2.0 metres. Recesses are also provided in the fence line to provide articulation

and larger landscaped areas to provide for additional planting to address the street.

Building Density

The Draft South East Queensland Regional Plan (SEQRP) provides a number of initiatives to promote responsible urban growth within the region of which consolidation of development and infill within the existing Urban Footprint is one.

Cleveland is designated as a potential Transit Oriented Development (TOD) with densities to increase around community focal points and public transport. The subject site is located within 800 metres of both the Ormiston and Cleveland Citytrain Stations and the Cleveland Town Centre. Page 39 of the Draft SEQRP states that the main strategies for TOD's are to:

"Increase residential densities around public transport nodes such as rail and bus stations. Residential development in these locations should be medium to high density, and mixed-use activities in the range of 40-80 dwellings per hectare."

The proposed development achieves a density in the order of 43.39 dwellings per hectare and satisfies this intent. The site is also located immediately adjacent to a Child Care Centre and within 100 metres of a Local Convenience Shopping Centre.

It is considered that the proposal demonstrates an acceptable outcome having regard to the number of units proposed and does not compromise the residential amenity of individual units. The proposed population density is only a minor departure from the provisions of the Strategic Plan and not materially affect the development of the site.

Streetscape Amenity

The adjoining Child Care Centre to the north of the site contains a high pitched roof which results in an overall height which is consistent with that of the proposed building.

Alterations to the building facade such as the inclusion of a variety of materials and lightweight elements assist in improving the level of articulation and increasing the visual interest of the development. The landscaped concept and the introduction of entry statements will ensure that the development effectively responds to the street.

Building Setbacks and Site Coverage

The proposed site coverage and building setbacks of the development are considered reasonable having regard to adjoining development. It is also noted that to achieve the densities prescribed within the Draft SEQRP that Performance Solutions to the Code will need to be applied. Of note is that two storey components of the development are now only adjoining the southern and western side boundaries reducing the shadow impact on the development.

Dwelling Unit Design and Appearance

As previously stated, the amended design, architectural style, materials, articulation and detailing are far improved over the original designs and demonstrate strong architectural and planning merit.

Car Parking and Site Access

Car parking for the units has been modified to accommodate a total of 18 car parking spaces of which 5 are visitor car parking spaces. As discussed at the meeting, it is considered unreasonable for residents of a Multiple Dwelling to expect to be able to store a boat on site.

In relation to site access, it is my understanding that the carriageway on Gordon Street in this location is separated by painted white double lines. My client has agreed to a left-in, left-out scenario to ensure that the current traffic operations around the site do not alter as a result of the development. I believe that this voids the requirement for a traffic report with respect to this proposal.

With regard to site access, clear entry points are indicated on site through the use of gatehouses with the central undercover walkway being open at both ends and on the garage side to improve visibility and avoid this being a point of entrapment. The garage located beneath Units 1-4 is now also open and does not contain any gates or similar devices. These changes improve the performance of the development from a CPTED point of view.

Please find attached 3 x A2 copies of amended plans for your consideration and approval. I await receipt of Council's approval at the earliest opportunity.

If you require clarification to any of the issues discussed above, please do not hesitate to contact me on (07) 3207 4488 or 0463 383 064.

Yours faithfully,



Aaron Sweet
Senior Planner

enc.
3 x Amended Plans

August 20, 2004

Your Ref:

Our Ref: DG:DG

File No: MC008134

Contact: Development Assessment

Aaron Sweet
Bartley Burns Town Planning Pty Ltd
1 Peterson Street
WELLINGTON POINT QLD 4160

Dear Mr Sweet

| | |
|----------------------------------|-------------------------------|
| Proposed Development: | Multiple Dwelling x 9 |
| Application Reference No: | MC008015 |
| Site Description: | Lot 102 C627 |
| Site Location: | 29-33 Gordon Street, Ormiston |

Upon review of information supplied in response to an information request, we wish to advise that the current proposal does not comply with the intentions for the site as indicated by the Strategic Plan. The site is zoned 'Services Commercial' in the current Strategic Plan. The intentions of this zoning is to provide for:

"...existing commercial or service uses which are of a significant scale and are located outside of the designated centres, including hotels, motels, stand-alone business headquarters and service stations." (P38)

It is noted that the site is surrounded by commercial uses such as motels, a private childcare centre and a local shopping centre indicating that the strategic plan was promoting commercial developments along this section of Gordon Street.

Council also considers that the height, mass and density of the proposal does not comply with the Multiple Dwelling Code and would have significant impacts on the surrounding area. Design Element 1, Performance Criteria 1 (p8) requires that:

"The layout and design of multiple dwelling developments enhance and complement the surrounding streetscape by:

- Integrating with the surrounding residential neighbourhood and local street network

Council considers that the current proposal would provide a stark contrast to the surrounding lowset developments and detract from the spacious feeling of the area provided by the green space area directly opposite the site.

A proposal for a 2 storey building with 8 units would be considered more favourably by Council particularly if the building design included lightweight construction styles, techniques and materials.

If you need to discuss this matter further, please contact:

Diana Glynn
Development Assessment Team
Assessment Services
PO Box 21, Cleveland Qld 4163

Phone: 3829 8274 Fax: 3829 8809
e-mail: dianag@redland.qld.gov.au

Yours sincerely

Ross Edmonds
Development Assessment Services Manager

Right to Information Release

TOWN PLANNING CALCULATIONS :-

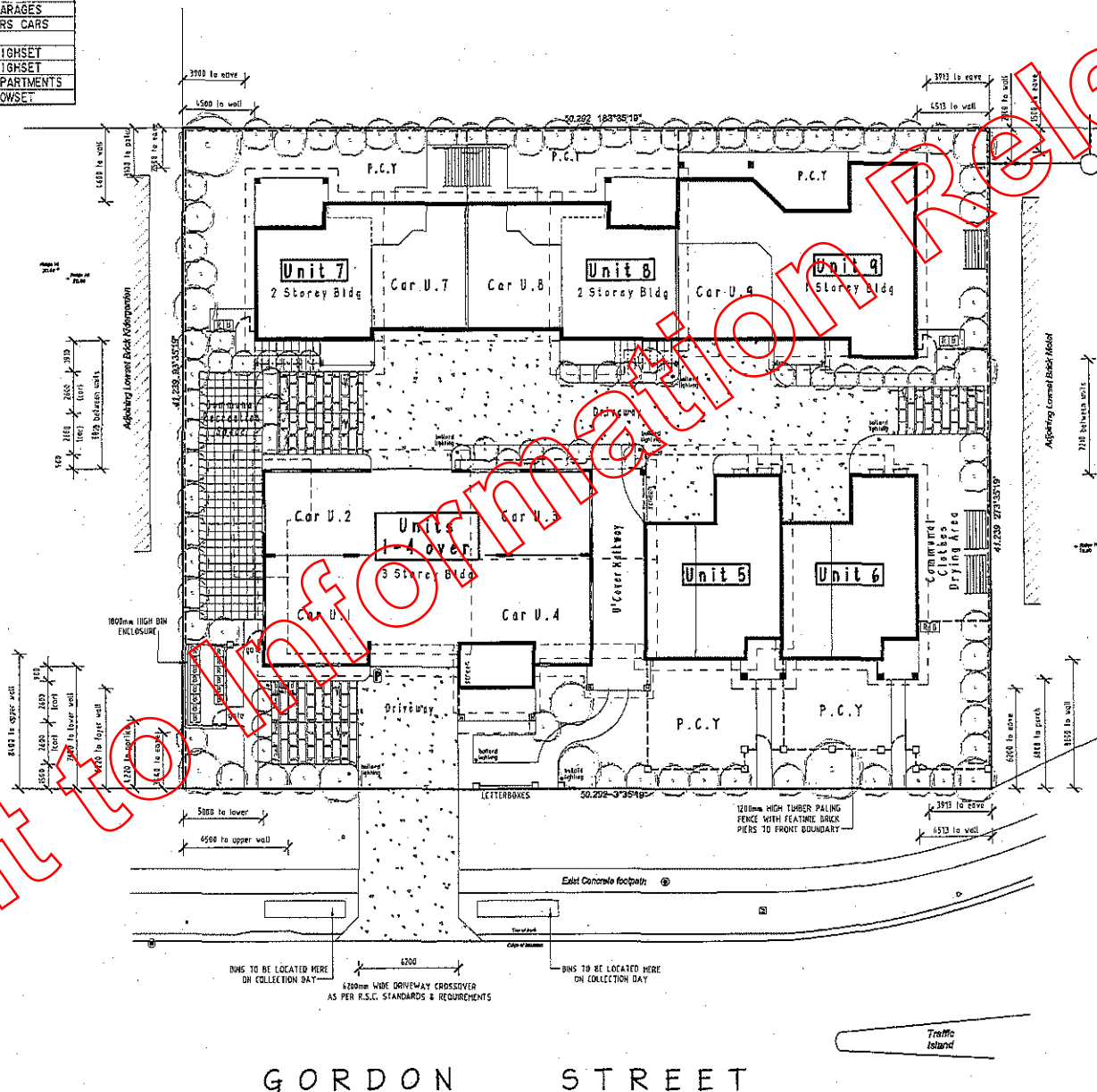
| | | |
|--|------------|----------------------|
| TOTAL SITE AREA | 2074 sq.m. | 100.0% |
| TOTAL SITE COVERAGE | 880 sq.m. | 42.4% |
| TOTAL G.F.A. | 1095 sq.m. | 52.7% |
| TOTAL CLOTHES DRYING AREA | 50 sq.m. | 2.8% |
| TOTAL LANDSCAPING | 877 sq.m. | 42.3% |
| TOTAL P.C.Y. AREA (incl balcony areas) | 635 sq.m. | 30.6% |
| TOTAL COMMUNAL OPEN SPACE | 112 sq.m. | |
| TOTAL PARKING | 14 | 9 - UNIT GARAGES |
| | | 5 - VISITORS CARS |
| TOTAL NUMBER OF UNITS | 9 | 2 x 2 BED HIGHSET |
| | | 2 x 3 BED HIGHSET |
| | | 4 x 2 BED APARTMENTS |
| | | 1 x 2 BED LOWSET |

LEGEND :-

| | |
|---|---|
| P.C.Y. | TILT UP CLOTHES LINE FIXED TO WALL/FENCE |
| | PRIVATE COURTYARD AREA FOR EACH UNIT/DWELLING |
| 1800 HIGH TIMBER PALING FENCE WITH FEATURE BRICK PIERS TO FRONT PRIVATE COURTYARD AREAS AS SHOWN | |
| 1200 HIGH TIMBER PALING FENCE WITH FEATURE BRICK PIERS TO FRONT BOUNDARY AS SHOWN | |
| 1800 HIGH TIMBER PALING FENCE TO SIDE BOUNDARIES | |
| 1800 HIGH OPEN PALING FENCE TO COURTYARD AREAS GATES TO COURTYARD AREAS TO BE CONFIRMED AT BUILDING STAGE | |
| PEBBLE PATHWAY AREAS | |
| PAVED COMMUNAL RECREATION SPACE | |
| CONCRETE DRIVEWAY AREAS | |
| PATTERNED CONCRETE CARPARKING AREAS | |
| CONCRETE PATHWAY AREAS WITH SELECT FINISH | |
| bollard lighting | |
| EXISTING TREES SHOWN (THOSE THAT FALL IN BUILDING/DRIVEWAY AREA TO BE REMOVED) | |

P PARKING SIGN TO BE PROVIDED AS PER R.S.C. & ENGINEERS STANDARDS & REQUIREMENTS

Concept Drawing for Town Planning Approval ONLY



| | | | |
|---|-----------|---|--|
| D | 19.10.04 | Unit layout amendments & Facade changes | |
| C | 20.05.04 | General amendments as per Information Request | |
| B | 11.05.04 | General amendments as per Information Request | |
| A | See Below | Original Issue | |

ABBREVIATIONS LEGEND :-

| | | | |
|-----|--------------------|-----|-----------------------|
| dp | DOWN PIPE | hp | HOT PLATES |
| wt | WATER CLOSET | hw | WALL DRYER |
| s | SINK | dw | DISH WASHER |
| sh | SHOWER | mw | MICRO WAVE OVEN |
| vb | VANITY BASIN | oh | OVERHEAD CUPBOARD |
| l | LAUNDRY TUB | csd | CAVITY SLIDING DOOR |
| mh | MAINHOLE 100mm dia | swp | STORMWATER WATER PIPE |
| pv | PERMANENT VENT | rl | REDUCED LEVEL |
| st | STOVE | ext | EXTERNAL |
| ply | PANTRY | int | INTERNAL |
| ref | REFRIGERATOR | s/d | SLIDING DOOR |
| nd | NOTCHED | h | HOT |
| oc | OBSCURE GLASS | nh | NOT NOTCHED |
| hw | HOT WATER SYSTEM | lb | LOAD BEARING |
| fw | FLOOR WASTE | n/b | NON-LOAD BEARING |
| ht | HOT TAP | t | TRENCHED |
| fg | FIXED GLASS | nt | NOT TRENCHED |

Drawn by: MODINI + SMITH BUILDING DESIGN GROUP, Unit 1, 11 Venetia Boulevard, Springfield, QLD 4177. Ph: 077 3808 5471 Fax: 077 3808 5462

GENERAL NOTES :-
We the draftsmen and designers MODINI + SMITH BUILDING DESIGN GROUP heretofore take no responsibility for structural sizes or design. If changes or alterations are made to the plan during or prior to construction without written notice and approval. Do not scale off plan, figured dimensions take preference. Builder to verify all dimensions and levels on plan before commencement of job as no responsibility taken after starting. All dimensions shown are to nominal frame and/or brick dimensions and do not include cladding thickness, unless noted otherwise.

COPYRIGHT CLAIM :-
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© MODINI + SMITH BUILDING DESIGN GROUP

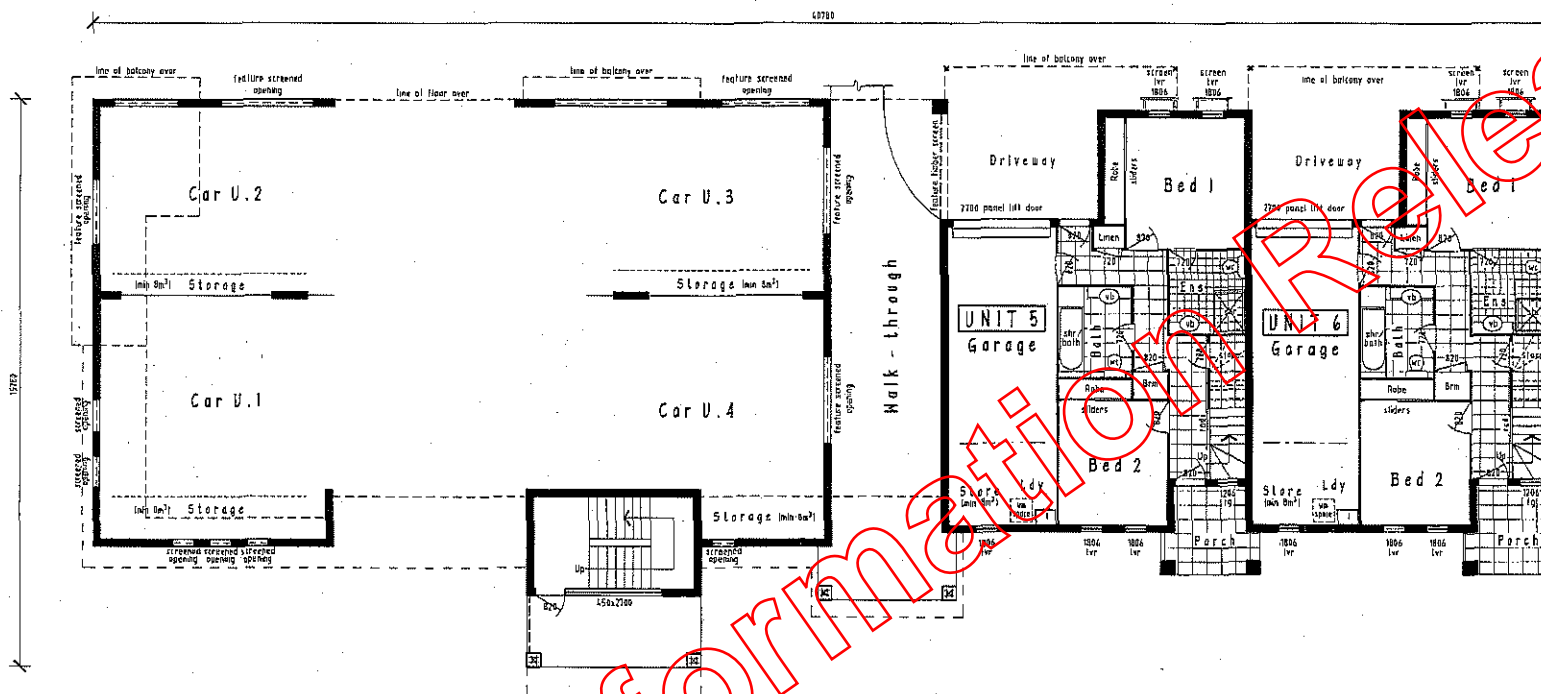
DESIGN CRITERIA
BASIC WIND REGION :- B
SHELDING CLASSIFICATION :- F.S.
TERRAIN CATEGORY CLASS :- 3
TYPE OF CONSTRUCTION :- C
TOPOGRAPHIC CLASS :- T1
DESIGN WIND VELOCITY :- N2

PROJECT :- PROPOSED DEVELOPMENT
OF
29 GORDON STREET
ORMISTON
CLIENT :- W.E. & J.A. STRACHAN, E.H. & S.M. STRACHAN & P.G. & K.L. STRACHAN

MODINI + SMITH
BUILDING DESIGN GROUP
Unit 1, 11 Venetia Blvd,
P.O. BOX 1419, SPRINGWOOD QLD 4177
Tel: 077 3808 5471 or 3808 5464
Fax: 077 3808 5462
E.H. Smith & Assoc. P/L
100A St. John Street

REAL PROPERTY DESCRIPTION :-
LOT 102 R.P. C627
PARISH OF CLEVELAND
COUNTY OF STANLEY
SITE AREA : 2074sq.m.
U.I.D. MAP : REF :
LOCAL AUTHORITY :- REDLAND S.C.
DATE :- 23.09.03
DRAWN :- M.K.W.
CHECKED :-
SHEET No. - 1 of 8
DRAWING No.
02-450 (D)

SITE PLAN CONCEPT PLANS



GROUND FLOOR PLAN

SCALE 1:100

UNIT GFA

| | |
|--------------------------|------------------------|
| UNIT 1 GFA | 108,461 m ² |
| UNIT 2 GFA | 102,319 m ² |
| UNIT 3 GFA | 103,441 m ² |
| UNIT 4 GFA | 102,319 m ² |
| UNIT 5 LOWER FLOOR GFA | 51,921 m ² |
| UNIT 5 UPPER FLOOR GFA | 77,631 m ² |
| TOTAL UNIT 5 GFA | 131,752 m ² |
| UNIT 6 LOWER FLOOR GFA | 51,921 m ² |
| UNIT 6 UPPER FLOOR GFA | 80,559 m ² |
| TOTAL UNIT 6 GFA | 132,480 m ² |
| TOTAL BLOCK A GFA | 688,792 m ² |
| TOTAL BLOCK A SITE COVER | 571,439 m ² |

GENERAL NOTES:-
1. No alterations and changes to the design shall be made without the written consent of the architect.
2. The architect shall be responsible for the design and construction of the building.
3. The architect shall be responsible for the design and construction of the building.
4. The architect shall be responsible for the design and construction of the building.
5. The architect shall be responsible for the design and construction of the building.

| No. | Date | Amendment | Checked |
|-----|----------|---|---------|
| A | 19.10.04 | Unit layout amendments & facade changes | |
| B | 20.05.04 | General amendments as per Information Request | |
| C | 11.05.04 | General amendments as per Information Request | |
| D | 11.05.04 | General amendments as per Information Request | |
| E | 11.05.04 | General amendments as per Information Request | |
| F | 11.05.04 | General amendments as per Information Request | |
| G | 11.05.04 | General amendments as per Information Request | |
| H | 11.05.04 | General amendments as per Information Request | |
| I | 11.05.04 | General amendments as per Information Request | |
| J | 11.05.04 | General amendments as per Information Request | |
| K | 11.05.04 | General amendments as per Information Request | |
| L | 11.05.04 | General amendments as per Information Request | |
| M | 11.05.04 | General amendments as per Information Request | |
| N | 11.05.04 | General amendments as per Information Request | |
| O | 11.05.04 | General amendments as per Information Request | |
| P | 11.05.04 | General amendments as per Information Request | |
| Q | 11.05.04 | General amendments as per Information Request | |
| R | 11.05.04 | General amendments as per Information Request | |
| S | 11.05.04 | General amendments as per Information Request | |
| T | 11.05.04 | General amendments as per Information Request | |
| U | 11.05.04 | General amendments as per Information Request | |
| V | 11.05.04 | General amendments as per Information Request | |
| W | 11.05.04 | General amendments as per Information Request | |
| X | 11.05.04 | General amendments as per Information Request | |
| Y | 11.05.04 | General amendments as per Information Request | |
| Z | 11.05.04 | General amendments as per Information Request | |

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Drawing by: MODINI + SMITH BUILDING DESIGN GROUP
Unit 1, 14 Vanessa Boulevard, Springwood QLD 4127
Ph: (07) 3888 4477 Fax: (07) 3888 5462

MODINI + SMITH
BUILDING DESIGN GROUP
Unit 1, 14 Vanessa Blvd.
P.O. BOX 1049, SPRINGWOOD QLD 4127
Tel: (07) 3888 4477 or 3888 8664
Fax: (07) 3888 5462
E: info@modini-smith.com.au
Web: www.modini-smith.com.au

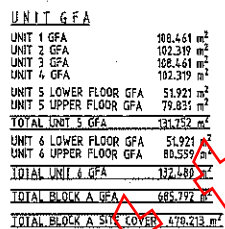
PROPOSED DEVELOPMENT
at 29 GORDON STREET
ORMISTON
W.E. & J.A. STRACHAN, E.H. & S.M. STRACHAN
E.P.G. & J.L. STRACHAN
CONCEPT PLANS

DESIGN CRITERIA
BASIC WIND REGION - B
TERRAIN CATEGORY CLASS - 3
TOPOGRAPHIC CLASS - T1
SMOKE CLASSIFICATION - F.S.
TYPE OF CONSTRUCTION - C
DESIGN WIND VELOCITY
N2

REAL PROPERTY DESCRIPTION
LOT 102 R.P. C627
PARISH OF CLEVELAND
COUNTY OF STANLEY
SITE AREA: 2074sq.m.
U.O.D. MAP: REF:
LOCAL AUTHORITY - REDLAND S.C.
BLOCK A

COMP. FILE: 02450con-
DATE: 23.09.03
DRAWN: M.K.W.
CHECKED: J.L.S.
SHEET No: 2 of 8
DRAWING No: 02-450 (D)

Concept Drawing for Town Planning Approval ONLY



Concept Drawing for Town Planning Approval ONLY

GENERAL NOTES:
 1. No fee for drawings and design. **OWNER TO OBTAIN NEIGHBOR CONSENT** before final plan submission. If substantial change or change of scope, then drawings or alterations must be resubmitted for review and approval. All changes must be submitted with the original drawings and approved. Builder to verify all dimensions and materials before construction. Construction of job to be substantially complete prior to starting. All dimensions shown are to finished frame and/or finish. Dimensions do not include cladding thickness. All work must be completed.

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 Drawing by: MODINI & SMITH BUILDING DESIGN GROUP
 Unit 1, 14 Vanessa Blvd., Suite 101, Victoria Park, Scarborough, ONT. M1V 3B7
 Tel: (416) 308-4471 Fax: (416) 308-5442

MODINI & SMITH
 Unit 1, 14 Vanessa Blvd., Suite 101, Victoria Park, Scarborough, ONT. M1V 3B7
 Tel: (416) 308-4471 Fax: (416) 308-5442

GENERAL NOTES:
 1. No fee for drawings and design. **OWNER TO OBTAIN NEIGHBOR CONSENT** before final plan submission. If substantial change or change of scope, then drawings or alterations must be resubmitted for review and approval. All changes must be submitted with the original drawings and approved. Builder to verify all dimensions and materials before construction. Construction of job to be substantially complete prior to starting. All dimensions shown are to finished frame and/or finish. Dimensions do not include cladding thickness. All work must be completed.

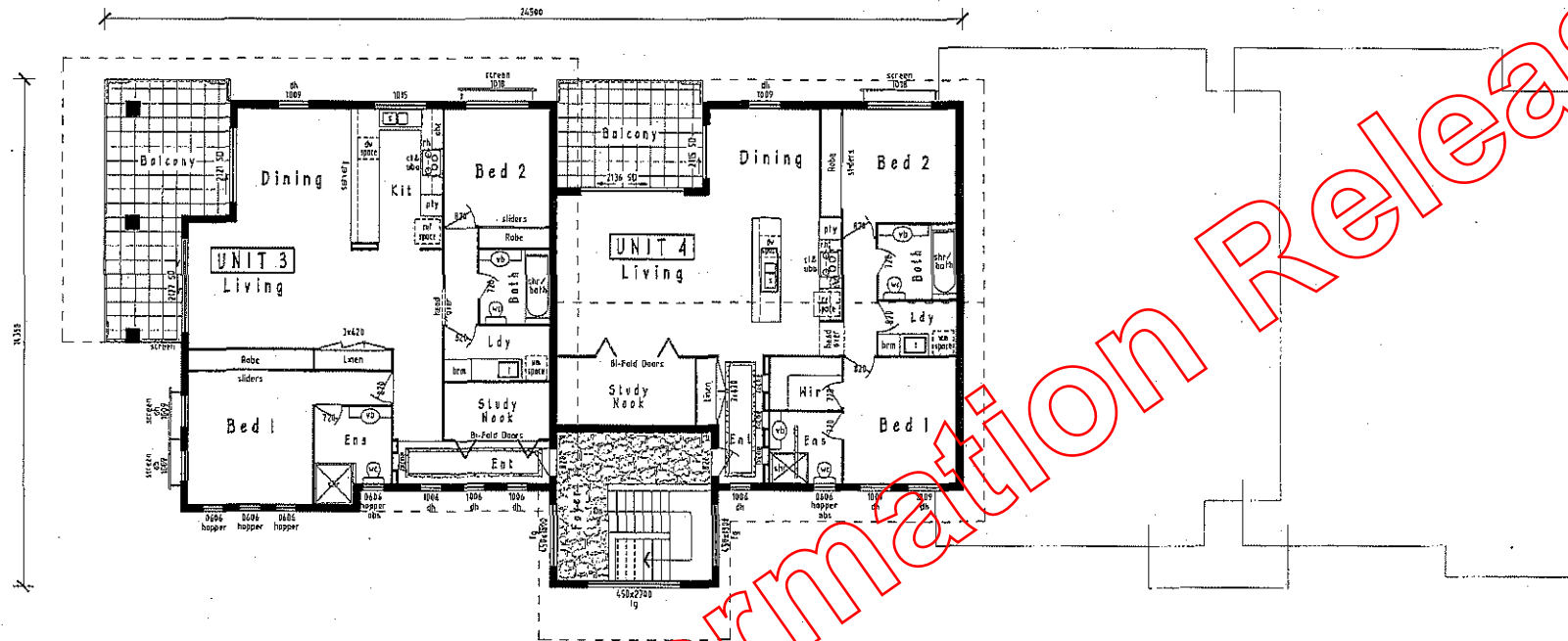
SCOPED PLAN CLASS - C
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MODINI & SMITH BUILDING DESIGN GROUP
 Drawing by: MODINI & SMITH BUILDING DESIGN GROUP
 Unit 1, 14 Vanessa Blvd., Suite 101, Victoria Park, Scarborough, ONT. M1V 3B7
 Tel: (416) 308-4471 Fax: (416) 308-5442

MODINI & SMITH
 Unit 1, 14 Vanessa Blvd., Suite 101, Victoria Park, Scarborough, ONT. M1V 3B7
 Tel: (416) 308-4471 Fax: (416) 308-5442

GENERAL NOTES:
 1. No fee for drawings and design. **OWNER TO OBTAIN NEIGHBOR CONSENT** before final plan submission. If substantial change or change of scope, then drawings or alterations must be resubmitted for review and approval. All changes must be submitted with the original drawings and approved. Builder to verify all dimensions and materials before construction. Construction of job to be substantially complete prior to starting. All dimensions shown are to finished frame and/or finish. Dimensions do not include cladding thickness. All work must be completed.

SCOPED PLAN CLASS - C
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MODINI & SMITH BUILDING DESIGN GROUP
 Drawing by: MODINI & SMITH BUILDING DESIGN GROUP
 Unit 1, 14 Vanessa Blvd., Suite 101, Victoria Park, Scarborough, ONT. M1V 3B7
 Tel: (416) 308-4471 Fax: (416) 308-5442

MODINI & SMITH
 Unit 1, 14 Vanessa Blvd., Suite 101, Victoria Park, Scarborough, ONT. M1V 3B7
 Tel: (416) 308-4471 Fax: (416) 308-5442



SECOND FLOOR PLAN SCALE 1:100

| | |
|---------------------------------|------------------------------|
| UNIT 3 GFA | |
| UNIT 3 GFA | 108,441 m ² |
| UNIT 3 GFA | 102,319 m ² |
| UNIT 3 GFA | 108,441 m ² |
| UNIT 3 GFA | 102,319 m ² |
| UNIT 3 LOWER FLOOR GFA | 51,921 m ² |
| UNIT 3 UPPER FLOOR GFA | 79,831 m ² |
| TOTAL UNIT 3 GFA | 131,752 m² |
| UNIT 4 LOWER FLOOR GFA | 51,921 m ² |
| UNIT 4 UPPER FLOOR GFA | 80,559 m ² |
| TOTAL UNIT 4 GFA | 132,480 m² |
| TOTAL BLOCK A GFA | 264,232 m² |
| TOTAL BLOCK A SITE COVER | 478,215 m² |

GENERAL NOTES :-
See the millwork and drawings. MODINI + SMITH BUILDING DESIGN GROUP hereafter take no responsibility for structural design or design. If changes or alterations are made to the plan during or prior to construction without written notice from MODINI + SMITH BUILDING DESIGN GROUP, the client shall be responsible. Do not scale off plan, figured dimensions take precedence. Builder to verify all dimensions and levels on plan before commencement of job as no responsibility taken after existing. All dimensions shown are to nominal finish and/or peak dimensions and do not include cladding thickness, unless noted otherwise.

| | | | |
|-----|-----------|---|---------|
| No. | Date | Amendment | Checked |
| | | | |
| A | 19.10.04 | Unit layout amendments & facade changes | |
| B | 20.05.04 | General amendments as per Information Request | |
| C | 11.05.04 | General amendments as per Information Request | |
| D | See Brief | Original issue | |

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Drawing by: MODINI + SMITH BUILDING DESIGN GROUP
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Ph: (07) 3808 5671 Fax: (07) 3808 5642

MODINI + SMITH

BUILDING DESIGN GROUP
Unit 1, 14 Vanessa Blvd,
P.O. BOX 3449, SPRINGWOOD QLD 4127
Tel: (07) 3808 5671 or 3808 5642
Fax: (07) 3808 5642
E: E. Smith & J. Smith
255A LN, No. 1038

PROPOSED DEVELOPMENT
at 29 GORDON STREET
ORMISTON
W.E. & J.A. STRACHAN; E.H. & S.M. STRACHAN
& P.G. & K.L. STRACHAN
CONCEPT PLANS

DESIGN CRITERIA

BASIC WIND REGION - B
TERRAIN CATEGORY CLASS - 3
TOPOGRAPHIC CLASS - T1
SHIELDING CLASSIFICATION - F.S.
TYPE OF CONSTRUCTION - C
DESIGN WIND VELOCITY

N2

REAL PROPERTY DESCRIPTION :-

LOT 102 R.P. C627
PARISH OF CLEVELAND
COUNTY OF STANLEY
SITE AREA : 2074 sq.m.
U.S.D. MAP : REF :
LOCAL AUTHORITY - REDLAND S.C.

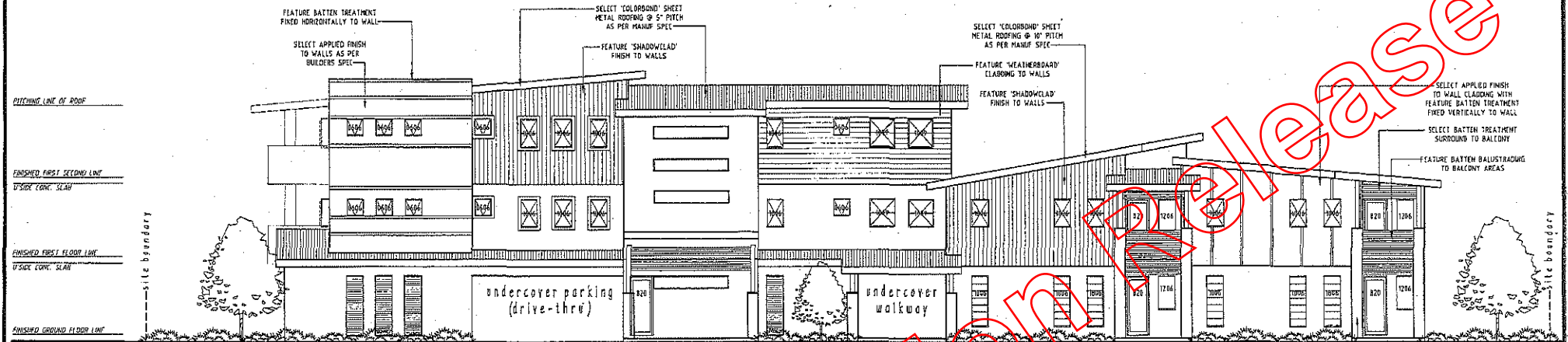
BLOCK A

COMP. FILE : 02450con

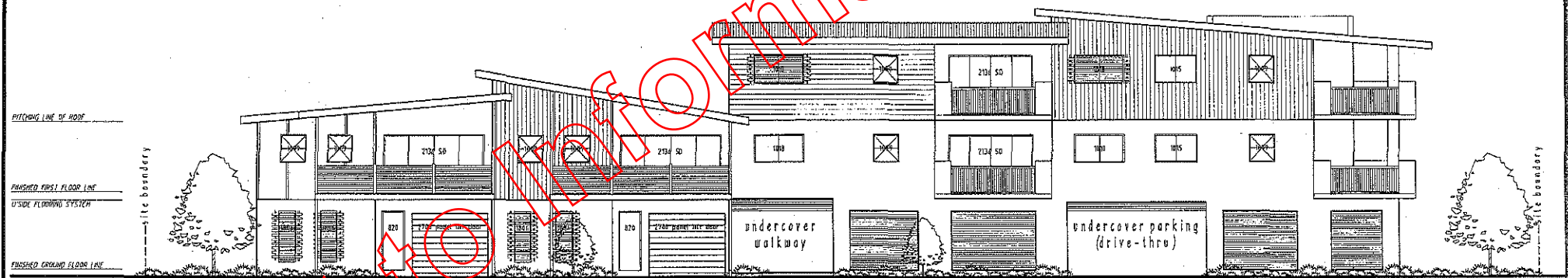
DATE - 23.09.03
DRAWN - M.K.W.
CHECKED -
SHEET No. - 4 of 8
DRAWING No.
02-450 (D)

Concept Drawing for Town Planning Approval ONLY

Concept Drawing for Town Planning Approval ONLY



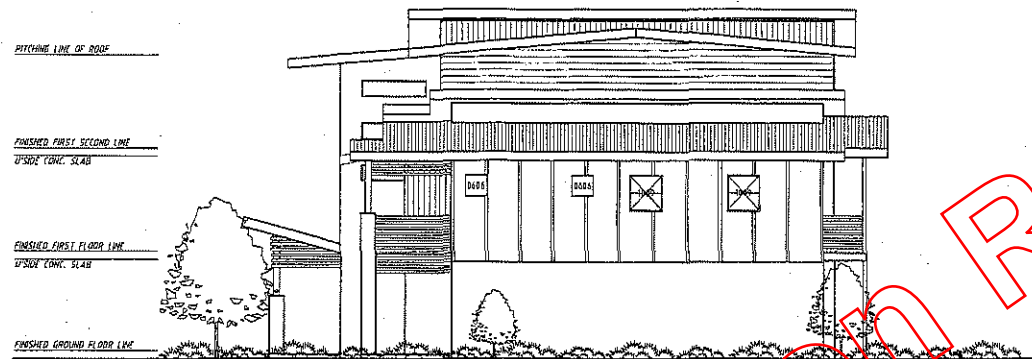
WESTERN ELEVATION (1)
SCALE 1:100 (FACING GORDON STREET)



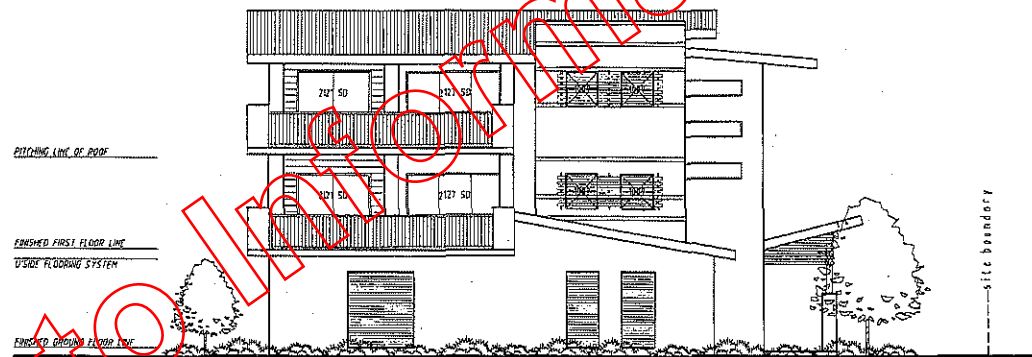
EASTERN ELEVATION (3)
SCALE 1:100 (FACING INTERNAL DRIVENWAY)

| | | | | | | |
|--|--|--|---|---|---|---|
| <p>GENERAL NOTES</p> <p>We the Architect and designers, MODINI + SMITH BUILDING DESIGN GROUP, heretofore take no responsibility for any errors or omissions in these plans or drawings. If changes or alterations are made to the plan during or after the construction without written notice and approval, the architect and designers shall not be responsible for any errors or omissions. Do not scale all plans. Referenced drawings take precedence. Builder to verify all dimensions and locate an plan before commencing all job as no responsibility taken after starting. All dimensions shown are to nominal frame and/or size, dimensions and do not include cladding thickness, unless noted otherwise.</p> | <p>MODINI + SMITH BUILDING DESIGN GROUP</p> <p>Unit 1, 14 Vantage Blvd, P.O. BOX 1649, SPRINGWOOD QLD 4127 Tel: (07) 3808 6471 or 3808 8664 Fax: (07) 3808 5612</p> <p>Drafting by: MODINI + SMITH BUILDING DESIGN GROUP Unit 1, 14 Vantage Boulevard, Springwood 4127 Ph: (07) 3808 6471 Fax: (07) 3808 5612</p> | <p>MODINI + SMITH BUILDING DESIGN GROUP</p> <p>Unit 1, 14 Vantage Blvd, P.O. BOX 1649, SPRINGWOOD QLD 4127 Tel: (07) 3808 6471 or 3808 8664 Fax: (07) 3808 5612</p> <p>Drafting by: MODINI + SMITH BUILDING DESIGN GROUP Unit 1, 14 Vantage Boulevard, Springwood 4127 Ph: (07) 3808 6471 Fax: (07) 3808 5612</p> | <p>PROPOSED DEVELOPMENT</p> <p>at 29 GORDON STREET ORMISTON</p> <p>CLIENT: W.E. & J.A. STRACHAN; E.H. & S.M. STRACHAN P.G. & K.L. STRACHAN</p> <p>CONCEPT PLANS</p> | <p>DESIGN CRITERIA</p> <p>BASIC WIND REGION - B TERRAIN CATEGORY CLASS - 3 TOPOGRAPHIC CLASS - T1 SHELTERING CLASSIFICATION - F.S. TYPE OF CONSTRUCTION - C DESIGN WIND VELOCITY N2</p> | <p>REAL PROPERTY DESCRIPTION</p> <p>LOT 102 R.P. C627 PARISH OF CLEVELAND COUNTY OF STANLEY SITE AREA: 2074-sq.m. U.B.D. MAP 1 REF: LOCAL AUTHORITY - REDLAND S.C.</p> <p>BLOCK A</p> | <p>COMP. FILE: 02450con- DATE: 23.09.03 DRAWN: M.K.W. CHECKED: S SHEET No.: 5 of 8 DRAWING No.: 02-450 (D)</p> |
|--|--|--|---|---|---|---|

Concept Drawing for Town Planning Approval ONLY



SOUTHERN ELEVATION (2)
SCALE 1:100 (FACING SIDE BOUNDARY)



NORTHERN ELEVATION (4)
SCALE 1:100 (FACING SIDE BOUNDARY)

GENERAL NOTES :-
1. No alterations and changes to MODINI + SMITH BUILDING DESIGN GROUP drawings (site plan, structural, etc.) shall be made without the written approval of MODINI + SMITH BUILDING DESIGN GROUP prior to construction without written approval. Do not scale off plan, figured dimensions take precedence. Builder is verify all dimensions and levels on plan before commencing of job as no responsibility is taken after starting. All dimensions shown are in millimetres and/or feet. Dimensions and do not include cladding thickness, unless stated otherwise.

| No. | Date | Amendment |
|-----|-----------|---|
| D | 19.10.04 | Unit layout amendments & facade changes |
| C | 20.05.04 | General amendments as per information Request |
| B | 11.05.04 | General amendments as per information Request |
| A | See Below | Original Issue |

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MODINI + SMITH BUILDING DESIGN GROUP
Drafting by: MODINI + SMITH BUILDING DESIGN GROUP
Unit 1, 14, Vincent Boulevard, Springwood QLD 4127
Ph: 07 3808 4477 Fax: 07 3808 5642

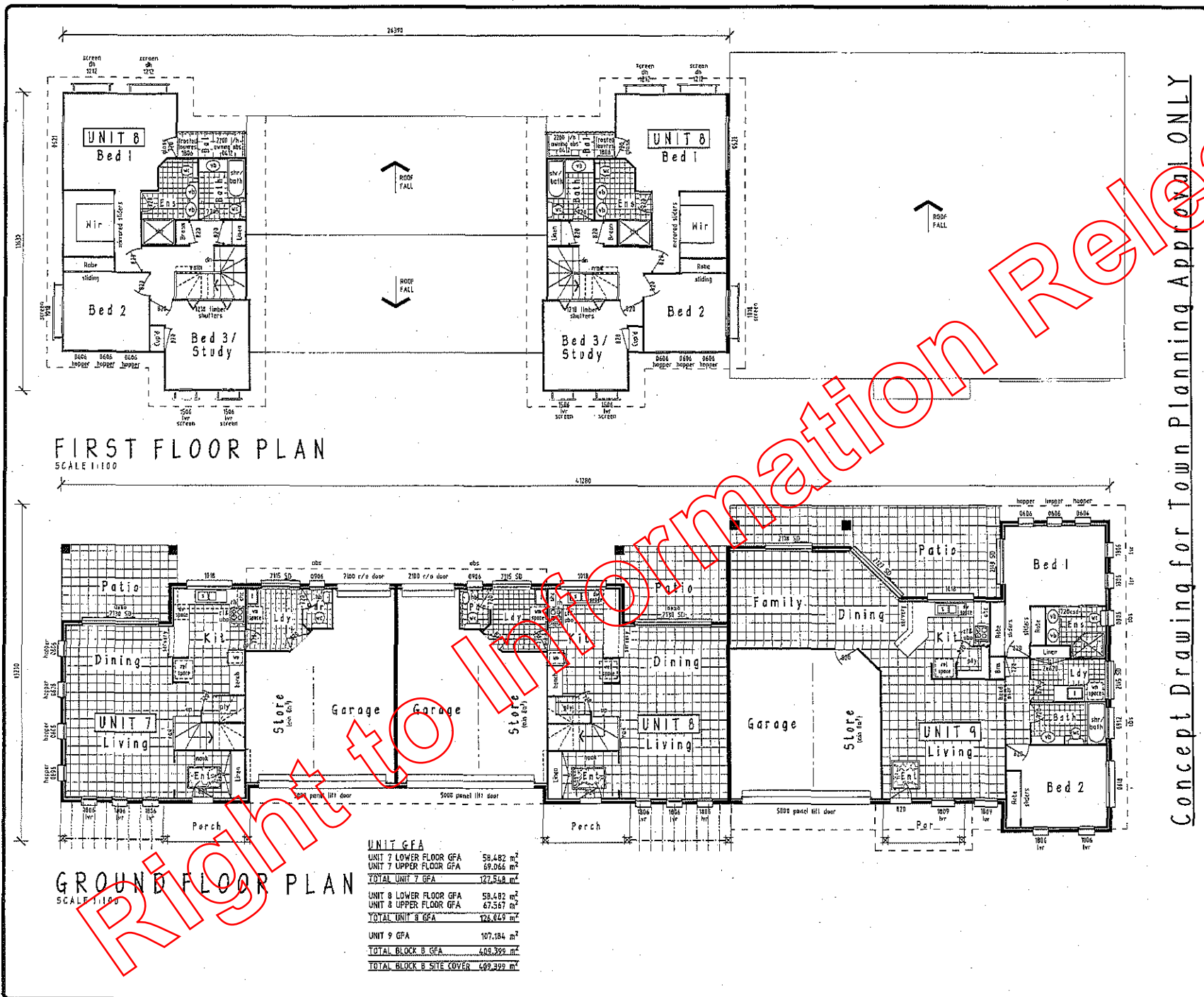
MODINI + SMITH
BUILDING DESIGN GROUP
Unit 1, 14 Vincent Blvd.
P.O. BOX 849, SPRINGWOOD QLD 4127
Tel: (07) 3808 4477 or 3808 5642
Fax: (07) 3808 5642
G.P. Smith & Sons, Pty.
1850 E. St. IN. USA

PROJECT: PROPOSED DEVELOPMENT
at 29 GORDON STREET
ORMISTON
CLIENT: M.E. & J.A. STRACHAN, E.H. & S.M. STRADMAN & P.G. & K.L. STRACHAN
CONCEPT PLANS

DESIGN CRITERIA
BASIC WIND REGION - B
TERRAIN CATEGORY CLASS - B
TOPOGRAPHIC CLASS - T1
SMELTING CLASSIFICATION - F.S.
TYPE OF CONSTRUCTION - C
DESIGN WIND VELOCITY
N2

REAL PROPERTY DESCRIPTION
LOT 102 R.P. C627
PARISH OF CLEVELAND
COUNTY OF STANLEY
SITE AREA: 2074 sq.m.
U.B.D. MAP: REF:
LOCAL AUTHORITY: REDLAND S.C.
BLOCK A

COMP. FILE: 02450con-
DATE: 23.09.03
DRAWN: M.K.W.
CHECKED: -
SHEET No: 6 of 8
DRAWING No:
02-450 (D)



14.10.04 Unit layout amended & Facade changes
20.05.04 General amendments as per Information Request
B 11.05.04 General amendments as per Information Request
A See Below Original Issue

No. Date Amendment Checked

ABBREVIATIONS LEGEND:

| | |
|----------------------------------|-----------------------------|
| db - DOWN PIPE | hb - HOT PLATES |
| wc - WATER CLOSET | wo - WALL OVEN |
| s - SINK | dw - DISH WASHER |
| shr - SHOWER | mw - MICRO WAVE OVEN |
| vb - VANITY BASIN | ohc - OVERHEAD CUPBOARD |
| l - LAUNDRY TUB | csd - CAVITY SLIDING DOOR |
| mh - MAINFOLD (HOPPER) MIN. SUP. | stwp - STOPWATER WATER PIPE |
| pv - PERMANENT VENT | rl - REDUCED LEVEL |
| sl - STOVE | ext - EXTERNAL |
| ply - PAINTRY | int - INTERNAL |
| ref - REFRIGERATOR | nt - NOTED |
| s/d - SLIDING DOOR | h - NOTCHED |
| obs - OBSCURE GLASS | nm - NOT NOTED |
| hw - HOT WATER SYSTEM | lb - LADDERBOARD |
| fw - FLOOR WASTE | n/b - NON-LOADBEARING |
| hl - HOIST LIFT | t - TRENCHED |
| fg - FIXED GLASS | nt - NOT TRENCHED |

Drawn by: MODINI + SMITH BUILDING DESIGN GROUP, Unit 1, 14 Vonnessa Blvd, Springfield 4127. Ph: (07) 3558 4471 Fax: (07) 3558 5442

GENERAL NOTES:-
We the drafters and designers - MODINI + SMITH BUILDING DESIGN GROUP herewith take no responsibility for structural sizes or design. If changes or alterations are made to the plan during or prior to construction without written notice and approval, we do not scale off plan, figured dimensions take preference. Builder to verify all dimensions and levels on plan before commencement of job as the responsibility is taken after starting. All dimensions shown are to nominal frame and/or brick dimensions and do not include cladding thickness, unless noted otherwise.

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MODINI + SMITH BUILDING DESIGN GROUP

DESIGN CRITERIA
BASIC WIND REGION - B SHELLING CLASSIFICATION - F.S.
TERRAIN CATEGORY CLASS - 3 TYPE OF CONSTRUCTION - C
TOPOGRAPHIC CLASS - T1 DESIGN WIND VELOCITY - N2

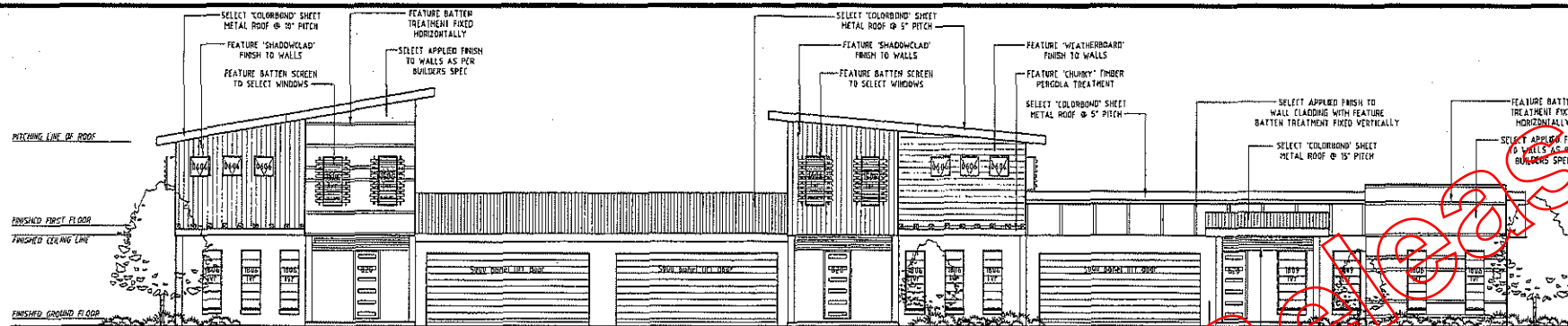
PROJECT - PROPOSED DEVELOPMENT
AT 29 GORDON STREET ORMISTON
CLIENT - W.E. & J.A. STRACHAN, E.H. & S.K. STRACHAN & P.G. & K.L. STRACHAN

MODINI + SMITH
BUILDING DESIGN GROUP
Unit 1, 14 Vonnessa Blvd, P.O. BOX 1249, SPRINGWOOD QLD 4127
Tel: (07) 3558 4471 or 3558 5444 Fax: (07) 3558 5442
E: S. Smith & J. Smith P/L
BASA Lic. No. 113106

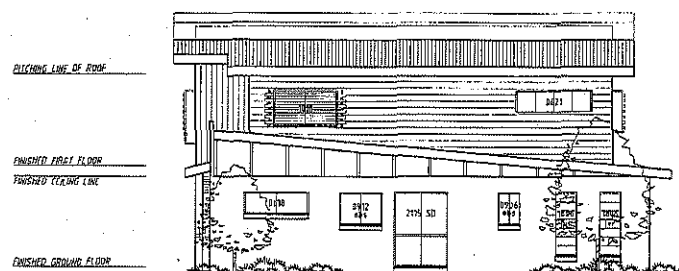
REAL PROPERTY DESCRIPTION:-
LOT 102 R.P. C627
PARISH OF CLEVELAND
COUNTY OF STANLEY
SITE AREA: 2074sq.m.
S.D.D. MAP: REF:
LOCAL AUTHORITY - REDLAND S.C.

COMP. FILE: 02450con-
DATE: 23.09.03
DRAWN - M.K.W.
CHECKED -
SHEET No. - 7 of 8
DRAWING No. 02-450 (D)

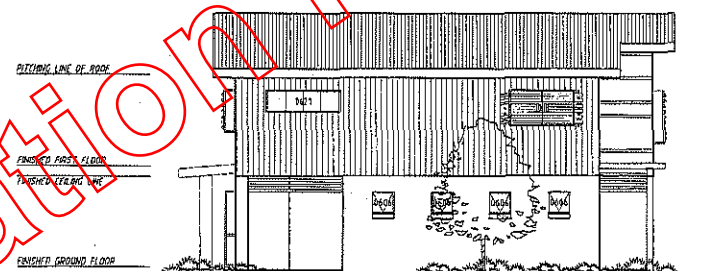
BLOCK B
CONCEPT PLANS



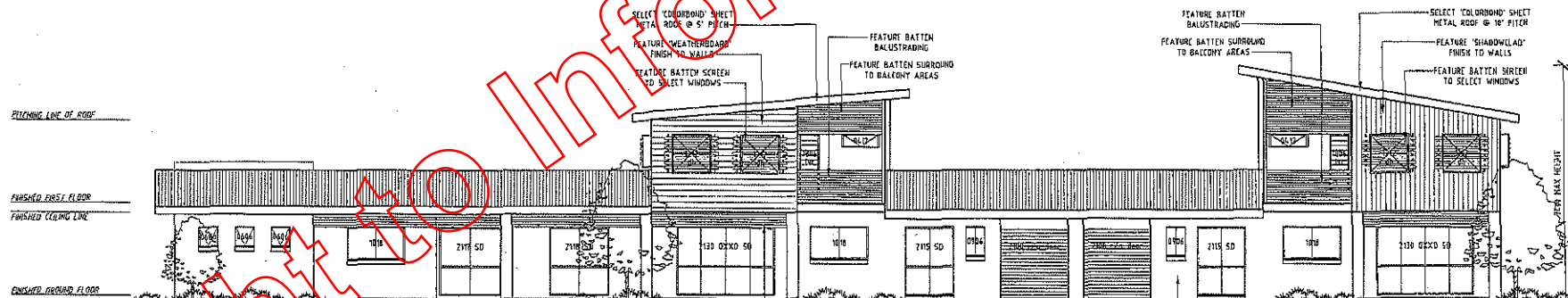
WESTERN ELEVATION
SCALE 1:100 (FACING INTERNAL DRIVEWAY)



SOUTHERN ELEVATION
SCALE 1:100 (FACING SIDE BOUNDARY)



NORTHERN ELEVATION
SCALE 1:100 (FACING SIDE BOUNDARY)



EASTERN ELEVATION
SCALE 1:100 (FACING REAR BOUNDARY)

GENERAL NOTES:-
We the draftsmen and designers, holding a valid Building Practising Certificate, take no responsibility for structural design, development changes or alterations made to the plan during or prior to construction without written notice and approval. We will retain all plans, figures, documents, notes and drawings. Builder to verify all dimensions and levels on plan before commencing all work on no responsibility. All dimensions shown are to finished surfaces unless otherwise stated. All dimensions shown are to finished surfaces unless otherwise stated. All dimensions shown are to finished surfaces unless otherwise stated.

| No. | Date | Amendment | Checked |
|-----|-----------|---|---------|
| A | 19.06.04 | Unit layout amendments & facade changes | |
| C | 20.05.04 | General amendments as per information Request | |
| B | 11.05.04 | General amendments as per information Request | |
| A | See Below | Original Issue | |

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MODINI+SMITH BUILDING DESIGN GROUP
Unit 1, 16 Venessee Boulevard, Springwood QLD 4127
Ph: 071 3808 6471 Fax: 071 3808 5422

MODINI + SMITH
BUILDING DESIGN GROUP
Unit 1, 16 Venessee Blvd.
P.O. BOX 9439, SPRINGWOOD QLD 4127
Tel: 071 3808 6471 or 3808 6694
Fax: 071 3808 5422
E. R. Smith & Assoc. Pty.
QIDA Ltd. No. 71274

PROPOSED DEVELOPMENT
at 29 GORDON STREET
ORMISTON
W.E. & J.A. STRACHAN; E.H. & S.M. STRACHAN
& P.E. & K.L. STRACHAN
CONCEPT PLANS

DESIGN CRITERIA
BASE WIND REGION :- B
TERRAIN CATEGORY CLASS :- 3
TOPOGRAPHIC CLASS :- T1
SHELTERING CLASSIFICATION :- F.S.
TYPE OF CONSTRUCTION :- C
DESIGN WIND VELOCITY
N2

REAL PROPERTY DESCRIPTION :-
LOT 102
PARISH OF CLEVELAND
COUNTY OF STANLEY
SITE AREA : 2074sq.m.
U.S.D. MAP : REF :
LOCAL AUTHORITY :- REDLAND S.C.
BLOCK B
COMP. FILE : 02450con-
DATE :- 23.09.03
DRAWN :- M.K.W.
CHECKED :-
SHEET No. 8 of 8
DRAWING No.
02-450 (D)

From: Katrina Lindsay
Sent: Monday, 19 January 2004 4:32:15 PM
To: Kristopher Krpan; Frances Eastall
CC: Julie Anderson; Scott Robinson
Subject: Pollution Prevention comments - MC8015 - Multiple Dwelling x 9, 29-33 Gordon Street, Ormiston info.doc

Hi Kris,

Attached are Pollution Prevention's comments for the above site. There are some comments in Proclaim that maybe you thought were appropriate re bins etc. I have dealt with this issue in my info request so if these comments are not from someone else, they can be deleted.

I have put my comments in.

Thanks Kris.

Katrina Lindsay
Environmental Health Officer
Pollution Prevention Unit

Ph: (07) 3829 8595 Fax: (07) 3829 8417

katrinal@redland.qld.gov.au

Right to Information Release

From: Emily Fletcher
Sent: Friday, 3 December 2004 1:38:13 PM
To: Diana Glynn
CC: Meredith Middleton
Subject: PPU comments for 8015 DEC

Please find attached PPU comments for Decision for MC8015 - Multiple Dwelling x 9, 29-33 Gordon Street, Ormiston.
Thanks
Emily

Right to Information Release

0014DD9C.001.txt

From: Sara Regio Candeias
Sent: Wednesday, 16 June 2004 10:21 AM
To: John Hoare
Cc: Sharee Shaw
Subject: RE: MC008015 - Decision - Multiple Dwelling x 9 - 29-33 Gordon Street, Ormiston John,

Waste conditions for the above application:

Waste Storage

A bin compound must be provided for the storage of all bins. The compound must fully screens the bins from the road, on-site and neighbouring residences and be equipped with a hardstand surface

Waste Collection

Sufficient unobstructed kerbside space must be available for the servicing of all waste/recycle wheelie bins provided for the proposed land use. This includes obstructions such as trees, powerlines, landscaping, driveways and carparks. Kerbside space belonging to the development only is to be used and not that of any neighbouring properties.

Waste Cleansing

Where on-site waste cleansing facilities will be provided, Council must approve the location and construction details of the washdown bay, with details to be submitted with the plumbing and drainage application for the development. Generally a washdown bay must be a hardstand area suitably drained to a trade waste outlet and have a hose and cock available within the vicinity of the bay. A trade waste outlet will require a trade waste permit from Council through Trade waste control.

Where no on site waste/recycling bin cleansing facilities are provided, a written agreement is to be made (to the satisfaction of the Manager Assessment Services) with a private cleansing contractor for the purpose of cleansing the containers.

Thanks,
Sara

0015FAAD.001.txt

From: David Carter
Sent: Monday, 1 November 2004 11:48 AM
To: Diana Glynn
Cc: Peter Coleman; Jan Haughton
Subject: RE: MC008015 29 -33 Gordon Street, Ormiston
Di,

I see that the proposal has been substantially revised, mainly in relation to the removal of part of the 3 storey section to the south end of the Gordon St elevation and the elevational treatment (skillion roof forms replace the hips).

Are you satisfied that the revisions are not substantial enough to warrant the application to go back to Info. Req. stage? Certainly the elevations have been improved and with the removal of a portion of the building, the bulk has been reduced.

The other concern I have is that the applicant (Aaron Sweet) has not advised of what the amendments actually are, nor has he responded to a number of other issues which formed part of the Information Request.

In my opinion the design has improved, but not sufficiently enough for approval without further substantiation from the applicant. I suggest that the applicant be advised that we recognise the improvements which have been made, but still require a full response to the Information Request. I cannot see the point of meeting with him, and others, unless it is to give them re-assurance that what they have done so far is on the right track.

Regards,

David Carter
Architect/Urban Designer
Development Assessment Unit
phone 3829 8866

-----Original Message-----

From: Diana Glynn
Sent: Monday, 1 November 2004 10:29 AM
To: David Carter; Jan Haughton; Peter Coleman
Subject: MC008015 29 -33 Gordon Street, Ormiston

Aaron has sent in new drawings which I have distributed. Can you let me know what is a likely day - Thursday or Friday?

Our Ref: 03.1582
Your Ref: MC008015

27 May 2004

John Hoare
Assessment Manager
Development Assessment Team
Redland Shire Council
PO Box 21
CLEVELAND QLD 4163

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27 MAY 2004

Development
Assessment

Certifiers & Planners

Bartley Burns

Bartley Burns Town Planning Pty Ltd
ABN 36 419 954 407

1 Peterson Street
Wellington Point Q 4160
PO Box 2297
Wellington Point Q 4160

Tel 07 3207 4488
Fax 07 3207 5599
info@bartleyburns.com.au
www.bartleyburns.com.au

Dear Sir,

**APPLICANT'S RESPONSE TO INFORMATION REQUEST RELATING TO PROPOSED
MULTIPLE DWELLING (9 UNITS) AT 29-33 GORDON STREET, FORMISTON.**

I refer to Council's Information Request relating to the above-mentioned development application dated 20 January 2004 and our subsequent meeting with Council Officers on Tuesday 6 April 2004.

The matters raised in Council's correspondence and at the subsequent meeting as addressed as follows.

Strategic Plan

The site is included within the Service Commercial designation in the 1998 Redland Shire Strategic Plan. The intent of the Service Commercial area is "...to accommodate certain business and commercial activities which, by their nature require a large site or floor area (such as showrooms, motor vehicle saleyards, retail warehouses and the like) or which provide a necessary support function to activities located within the major centre."

The subject site is located in an area which is considered to have more of a residential character as opposed to commercial due to its separation from other service industry/commercial type uses further along Gordon Road and Shore Street on the other side of the railway line. A Child Care Facility and Motel are located immediately adjoining the site and are uses which are not compatible with those advocated by the Service Commercial designation. The Motel by virtue of its operations has a residential character with the child care centre also being compatible with residential uses.

It is considered that the inclusion of land on the northern side of the railway line in the Service Commercial designation is inappropriate as it permits an intrusion of potentially conflicting uses within close proximity to residential development. A logical methodology in designating preferred dominant land uses would be to treat the railway line as the boundary of the commercial uses to prevent them from eroding the amenity of residential areas along Gordon Street. It is considered more appropriate to consider residential uses on the subject site given the Urban Residential designated land immediately adjoining the allotment.

RECEIVED

31 MAY 2004

THE EXCITEMENT IS STARTING TO BUILD

I.R.

10

Population Density

The proposal proposes a population density of 104.3 equivalent persons per hectare. The proposal would not exceed 100 equivalent persons per hectare if the site was 90m² larger.

The site is well located having a good level of access to local services and facilities. The site is located 50 metres from a Local Shopping Centre, within 400 metres of the Ormiston Primary School (5 minute walk) and Ormiston Railway Station within a 10 minute walk. The site is also adjacent to a Child Care Centre which increases the level of convenience for residents.

It is considered that the proposal demonstrates an acceptable outcome having regard to the number of units proposed and does not compromise the residential amenity of individual units. The proposed population density is only a minor departure from the provisions of the Strategic Plan and not materially affect the development of the site.

Streetscape Amenity

The adjoining Child Care Centre to the north of the site contains a high pitched roof which results in an overall height which is consistent with that of the proposed building.

A streetscape elevation is attached with the amended plans indicating the bulk of the building in the context of the street. The streetscape elevation indicates that the height and scale of the building does not appear to be excessive in the immediate context.

Alterations to the building façade such as the inclusion of awnings on the western elevation also assist by improving the level of articulation and increasing the visual interest of the development.

Building Setbacks and Site Coverage

The bulk of the building provides a front building setback of 8.0 metres to wall. The proposed enclosed stairwell provides a front building setback of 3.4 metres. The stairwell is considered to be an important element in the design of the building as it assists to articulate and break up the bulk of the front façade to create visual interest. The stairwell is of a limited height and width and generally open at ground level to easily identify the entrance to Units 1-4 and to address the street.

The balconies of Units 1 and 3 will not create a privacy problem for the adjoining development as it is a Child Care Centre and these balconies will generally face the roof of that building. The Unit windows on the northern elevation also provide privacy screens to avoid privacy impacts.

The side setbacks of the 3 storey building complies with the requirements of the *Standard Building Regulation 1993* and will not cause an adverse shadow impact as the site has a westerly frontage to the street. The adjoining development to the south is a Motel which has all its utility areas located on its northern elevation.

The provision of a 3 metre setback from the internal driveway system is not considered to provide any benefit to the Units. Units 7-9 will be constructed of rendered blockwork which will reduce noise intrusion. To increase privacy and to

stop headlight intrusion, pergolas and privacy screens are provided to the living room windows adjacent to the internal driveway for each of these units. Additional landscaping has also been provided adjoining the internal driveway system to improve amenity.

The site coverage of the proposal is considered to be reasonable as sufficient landscaped open space areas are provided on site. Similarly, the inclusion of 2 separate building modules also assists in reducing the overall bulk of the development.

Dwelling Unit Design and Appearance

The site plan has been amended slightly to provide distinctive paths for the stairwell for Units 1-4 and the individual paths for Units 5 and 6 which join the footpath area. The internal covered walkway to gain access to Units 7-9 has also been modified to provide a clearer pathway from the footpath. Appropriate signage will be provided in locations throughout the development identifying the location of various dwelling units.

To further assist in individually identifying different units, the roof lines of Units 7-9 have been modified to give the appearance of 3 individual dwelling units attached by common walls. It is also noted that Units 5-9 all provide porches at the front doors to assist in identifying the entries.

Car Parking and Site Access

The garage for Units 1-4 has been modified to provide an open style door and openings in the front, side and rear elevations. These changes were requested by Council Officers for both visual amenity and public safety reasons.

The garages for Units 5 & 6 are recessed beneath the balconies on the levels above to reduce their dominance. The garages for Units 7-9 are recessed behind the porches and pergola structures to reduce their dominance.

Visitor access to the visitor car parking spaces internal to the development will be gained via an intercom situated on the right hand side of the driveway as indicated on the amended plan. Signage and an intercom system will also be installed at the gate to the internal walkway to provide access to the development.

It is considered to be an unreasonable imposition to require the provision of a boat parking space in a multiple dwelling. People residing in the complex will be prohibited from storing boats on site as part of the Body Corporate rules. It is unreasonable to expect that persons residing in units should be able to store pleasure crafts on site.

As previously mentioned, the rear units will be constructed of rendered blockwork to reduce noise intrusion with the proposed pergolas and privacy screens to prevent the sweep of headlights entering the living areas of these units.

Climatic Design

All units have been designed where possible to take advantage of a north easterly aspect. This has generally been able to be achieved for the majority of units. Some units have also managed to take advantage of a north westerly aspect. It is considered that given the dimensions of the site and its orientation that the proposal has successfully attempted to address climatic conditions in its

design. Shading devices have been incorporated into the western elevation of the building to reduce heat loads in summer. It is also acknowledged that the units are most likely going to be mechanically ventilation at the time of construction or not long after their completion.

Privacy

Balconies located in the 3 storey building do not have a direct line of sight between each other and as a result do not require privacy screens. The windows on the western elevation of the rear units all contain privacy screens on the upper level to reduce privacy impacts on the balconies on the other building. The proposed balconies on the rear units facing east do not require privacy screens as they overlook an access driveway in the Motel complex.

Engineering Requirements

The proposal provides 18 car parking spaces on site being the minimum required under the Planning Scheme. The site is located within 800 metres of the Ormiston Railway Station.

Garbage collection for the site will occur via kerbside pickup on collection day. A bin storage area is indicated on the north western corner of the site for permanent bin storage. It is proposed that persons moving furniture and other goods will do so by vans or utilities which are able to enter and park within the site. Any deliveries by larger design vehicles will occur on-street in front of the development.

Stormwater from the development will be treated in accordance with Council's requirements prior to discharge from the site.

Acoustic Report

The previously submitted Acoustic Report is currently being amended to address the requirements outlined by Council. Six (6) copies of the amended plans and amended Acoustic Reports are enclosed for assessment by Council.

Please be advised that this correspondence constitutes the applicant's full and final response to the Information Request under section 3.3.8 of the *Integrated Planning Act 1997*. I advise that we will proceed to public notification of the development application immediately.

If you require clarification to any of the issues discussed above, please do not hesitate to contact me on (07) 3207 4488 or 0403 383 064.

Yours faithfully,


Aaron Sweet
Senior Planner

and
6 x Amended Plans
6 x Acoustic Reports

0016516D.001.txt

From: Emma Hosfield
Sent: Friday, 19 November 2004 4:01 PM
To: Diana Glynn
Subject: RW & W waste conditions for MC008015
Di,

Waste conditions:

Conditions:

Sufficient unobstructed kerbside space must be available for the servicing of all waste/recycle wheelie bins provided for the proposed land use. This includes obstructions such as trees, powerlines, landscaping, driveways and carparks. Kerbside space belonging to the development only is to be used and not that of any neighbouring properties.

A hardstand surface must be provided within the curtilage (eg. courtyard) of units 6, 7 and 9 (as per the site plan) for the storage of bins. The bins must be located so that they are not visible to on-site and neighbouring residences. A bin compound must be provided for the storage of all bins for units 1-5 and Unit 8. The compound must fully screens the bins from the road, on-site and neighbouring residences and be equipped with a hardstand surface.

Access must be available to enable the bins to be wheeled out to kerbside without passing through the respective unit house and garage (if bins are stored in courtyard).

5. Where no on-site waste/recycling bin cleansing facilities are provided, a written agreement is to be made (to the satisfaction of the Manager Assessment Services) with a private cleansing contractor for the purpose of cleansing the containers.

Emma Hosfield
Waste Projects Officer
Redland Water and Waste
(in office: Thurs, Fri and alt Wed)
' 07 3829 8560
* emmah@redland.qld.gov.au

MC 005763 – 29-33 Gordon Street, Ormiston

ENGINEERING ASSESSMENT

XX. Road Access and Required Road Frontage Works

The combined sites have frontages to Gordon Street and Freeth Street. Access to the development is gained via the existing driveway crossover located in Freeth Street, however an emergency exit from the development shall be located onto Gordon Street.

Gordon Street:

Currently kerb and channel, and concrete footpath is present along the entire frontage of the site.

The construction of a driveway crossover for the emergency exit shall be required.

Freeth Street:

Currently kerb and channel, driveway crossover and concrete footpath is present along the entire frontage of the site.

XX. Internal Traffic Movement and Car Parking

Internal traffic movements, dimensions and layouts of the car parking spaces generally comply with AS2890.1, subject to detailed design.

The ratio of car parking spaces to units on the subject site are as follows:

29 possible units, with the provision of 44 car parking spaces on the subject site. This appears to be an acceptable amount of car parking for the proposed use.

XX. Stormwater

Underground stormwater from the subject site is proposed to be connected to the existing underground stormwater drainage system located in Gordon Street and the existing internal site drainage which discharges to Freeth Street. Stormwater overland flow shall be directed to Freeth Street.

With adequate engineering design, to be provided during a subsequent associated development works application, it is believed that no stormwater problems will result for upstream or downstream properties, nor for the site itself.

XX. Sewerage

There is an existing sewerage connection to the site.

No additional sewerage infrastructure is required as a result of this development.

XX. Water Supply

A water supply is currently available to the site. No additional water supply infrastructure is required as a result of this development.

XX. Electricity Services

The subject land can be provided with appropriate electricity services without undue concern.

XX. Telecommunication Services

The subject land can be provided with appropriate telecommunication services without undue concern.

| |
|-------------------|
| CONDITIONS |
|-------------------|

XX. Re Configuration

The development shall be designed so as to facilitate a community titles scheme being applied to the development in accordance with the provisions of this approval, the Integrated Planning Act, the Body Corporate & Community Management Act and its regulations, and the Redland Shire Town Planning Scheme.

Each submission of survey plans shall be accompanied by a Community Management Statement.

Council shall not be required to sign and seal a plan of survey or endorse a community management statement for a community titles scheme until the buildings are substantially complete (at least to lock-up stage) and all services are provided to the individual lots on the plan of survey.

Where a building format plan is proposed for the development, the applicant shall supply to Council certification from the building certifier for the development that construction has been substantially completed in accordance with the plans and specifications approved by Council. This shall be provided to Council prior to Council being required to sign and seal plans of survey for the development.

XX. Signage Prior to Construction

Prior to the commencement of any construction works associated with the development, a sign of approved size detailing the project team shall be placed in a prominent position, at the road frontage, at each entrance to the development. The sign shall detail the relevant project coordinator for the works being undertaken on the site, and the following parties:

- Developer
- Project Coordinator
- Architect / Building Designer
- Builder
- Civil Engineer
- Civil Contractor
- Landscape Architect

XX. Construction Supervision, Required Council Inspections, and Acceptance of Works by Council

(a) Engineering Works – Supervision

All site earthworks, drainage and pavement construction shall be designed by and the construction supervised by a Registered Professional Engineer, Queensland (RPEQ). Testing shall be carried out by N.A.T.A. registered laboratories.

(b) Engineering Works – Council Inspections

Council inspections shall be called for, and carried out, at the following stages:-

- (i) Pre start – This meeting shall be carried out prior to any works commencing, within an existing road reserve or on any infrastructure that will eventually be transferred to Council.
- (ii) Installation of erosion and sediment management measures.
- (iii) 'Box' inspection of crossover with reinforcing in place. Reinforcing mesh shall be supported on bar chairs.
- (iv) Stormwater pipelines and manholes bedded and partially backfilled.
- (v) 'On Maintenance' inspection of completed works.
- (vi) 'Off Maintenance' inspection of works 6 months after acceptance of works on maintenance.

(c) Engineering Works –Acceptance of Works by Council

Council's Design Standards for Developments details all requirements to be complied with prior to works being accepted On and Off Maintenance by Council.

XX. Frontage works

The developer shall construct the following works, to Council standards, to the frontage of the site to both Gordon Street and Freeth Street:

- (a) Footpath earthworks, topsoiling and turfing of all disturbed footpath areas;
- (b) Underground stormwater drainage to Council standards;
- (c) Driveway invert and associated crossing slabs as per Redland Shire Council standard drawings;
- (d) Adjustments and relocations necessary to public utility services resulting from these works;

These works shall be completed prior to the use commencing. In this regard, the applicant is required to apply for and receive an associated development works approval from Council.

XX. Stormwater from Roofed and Paved Areas

Stormwater drainage from roofed and paved areas shall be discharged to an approved drainage system within adjoining road reserve(s) or as otherwise required or agreed in writing by the Manager – Assessment Services.

Construction of drainage shall be to Council standards.

Prior to a development permit for building works being issued for any works within the site, the applicant shall apply for and receive an approval for associated development works for engineering plans and specifications for the construction of proposed drainage.

XX. Stormwater Nuisance and Legal Right of Stormwater Discharge

Overland flow paths and underground drainage shall be designed so as not to directly or indirectly cause nuisance to a downstream or adjoining property. Stormwater from

external catchments shall be accepted at ground level and discharged through the subject site to a legal point of discharge.

XX. Reticulated Water Supply Connection

Where the existing reticulated water supply does not currently service the site or is not an adequate capacity, the developer shall pay Council its estimated cost to construct the required connection/s to the site.

Requests for connections and estimates shall be made to Council in writing, with details of work required specified. The payment for such works shall be made prior to a development permit for building works being issued for the site.

XX. Sewerage Connection

Where sewerage connections are not available to the site, or where existing connections are not satisfactory for the proposed development or is not an adequate capacity, the developer shall pay Council its estimated cost to construct the required connections.

Requests for connections and estimates shall be made to Council in writing, with details of work required specified. The payment for such works shall be made prior to a development permit for building works being issued for the site.

XX. Sewerage Considerations – Building Design

Building foundations shall be designed such that no additional loads, associated with the building, are imposed on the sewer trench.

XX. Earthworks

If the development of the subject property requires soil to be imported or exported, the applicant shall identify the allotments that would be used for borrowing or filling and shall advise Council of such works. Any significant borrowing or filling may require the approval of Council. If clarification is required on the significants of the works to be undertaken, contact should be made with Council to determine relevant approvals required.

XX. Sediment and Erosion Management

(a) During the construction and maintenance phases of this development the applicant shall be responsible for the installation and maintenance of erosion and sediment management facilities. These facilities shall accord with the policy objectives of the Redland Shire Council Local Planning Policy - Erosion and Sediment Control until the development has been accepted as completed by Council.

(b) At all times adhere to the "Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites" published by Brisbane City and Gold Coast City Councils, 1998. A copy of the document is attached with this Decision Notice.

XX. Car Parking Areas and Internal Driveways

Prior to a development permit for building works being issued, or works commencing, the applicant shall apply for and receive an approval from Council for Associated Development Works for engineering plans and specifications for the construction of

proposed car parking areas and internal driveways. The following issues shall be addressed:

- (a) Compliance with Australian Standard AS 2890.1 : Off Street Parking – Car Parking Facilities.
- (b) Compliance with Australian Standard AS 2890.2 : Commercial Vehicle Facilities.
- (c) Ramps within the road reserve shall accord with Council standards, unless determined otherwise by the Manager, Assessment Services.
- (d) Provision shall be made for vehicles to turn within the subject site so as to enter and exit the property in a forward gear, without encroachment into formal visitor parking spaces.
- (e) Parking areas should not be used for general storage or any purpose other than the parking of motor vehicles.
- (f) Construction shall comply with the following:
 - (i) Pavements shall be flexible or non flexible,
 - (ii) Surfacing shall be a bituminous seal coat, asphalt, concrete, or pavers, and
 - (iii) Properly constructed, drained and maintained to good engineering standards.
- (g) Paths of travel for persons with disabilities shall be provided from the carparking bay through to the main entrance of the building. Access provisions shall be in accordance with AS1428.1.
- (h) Pavement grades for disabled parking bays shall be limited to 1:33 for bituminous seal and 1:40 in other cases.

XX. Water Headworks

A contribution for water supply augmentation shall be made to Council, at the rate applicable at the time of payment, prior to a Development Permit for building works being granted.

The amount payable for this development shall comply with Council's Policy titled, "Water Supply and Sewerage Contributions to the Cost of Works". In this regard the following comments are made:

- The current rate for 2000/2001 per equivalent tenement is \$ 3512
- The conversion factor for water supply headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from water supply headworks payable shall be made for each allotment over which the application is made.

The rate of contribution is reviewed annually on 01 July.

XX. Sewerage Headworks

A contribution for sewerage augmentation shall be made to Council, at the rate applicable at the time of payment, prior to a Development Permit for building works being granted.

The amount payable for this development shall comply with Council's policy titled, "Water Supply and Sewerage Contributions to the Cost of Works". In this regard the following comments are made:

- The current rate for 2000/2001 per equivalent tenement is \$ 3987

- The conversion factor for sewerage headworks payable vary amongst the different uses. Refer to the policy in this regard.
- A deduction from sewerage headworks payable shall be made for each allotment over which the application is made.
- Headworks payable = [Number of units * conversion factor) – Number of lots over which the application is made] * rate per equivalent tenement.
- The rate of contribution is reviewed annually on 01 July.

XX. Performance Bonding Agreement

The lodgement of security in accordance with the following table shall be undertaken to Council to guarantee the execution of works to be done in association with this approval.

All of the following payments to be made to the Council pursuant to any condition of this approval or money to be deposited or bond to be lodged shall be made prior to the issue of any development permit for building works in respect of the proposed development, or prior to Council being required to issue any approval for associated development works, or prior to any construction works or the use commencing, whichever is the sooner.

| Item | Amount | Drawn down | Returned |
|---|---------|---|--|
| Engineering Infrastructure external to the site | \$2,000 | to the greater of \$1,000 and 5% of the value of works, when accepted On Maintenance by Council | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| Landscaping | \$X,XXX | | When works are accepted Off Maintenance by Council (Note – There is a minimum maintenance period of 6 months). |
| General performance | \$2,000 | not applicable | When all conditions associated with this approval have been complied with, and accepted by Council. |
| TOTAL | \$X,XXX | | |

In the case of failure to comply with the provisions covered by this condition, the Council may cause the necessary work to be carried out and may deduct the cost thereof from the money deposited or bond held in accordance with this condition and if such costs exceed the security held, the applicant(s) or their successor shall on demand pay to the Council the amount of such works.

Note The approval of this development remains with the property, and equally, the responsibility for compliance with the conditions of approval remains with the owner of the property, unless this obligation has been passed to a third party.

C. ADDITIONAL APPLICATIONS / PERMITS REQUIRED

Associated development works approvals (from Council) are required for:

- External roadworks and drainage works;
- Landscaping; and
- Internal car parking and stormwater drainage works.

A road opening permit shall be obtained from Council where any works are proposed within an existing road reserve. This application shall be obtained prior to the works commencing.

Right to Information Release