

29 SEP 2014

Form 11— Certificate / Interim Certificate of Classification**1. Type of Certificate**

Indicate the type of Certificate of Classification being issued.

☒ **Certificate of Classification**
☐ **CUSTOMER SERVICE**
Interim Certificate of Classification

Interim Certificate: Issued pending the carrying out of the inspection, when due to a building's location, it is not practicable for a building certifier to inspect a building to decide if it has been substantially completed.

Date Interim Certificate of Classification will expire if applicable

2. Owner details

If the applicant is a company, a contact person must be shown.

Name (natural person or company)

Home Town Villas Limited

3. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include No., street, suburb / locality and postcode)

156 Finucane Road

Alexandra Hills Qld

Postcode 4161

Lot & plan details (attach list if necessary)

Lot 40 on RP 79330

In which local government area is the land situated?

Redland City Council

4. Classification

The building or part thereof described is classified as follows in accordance with Part A3 of the Building Code of Australia having regard to the use for which it was designed, built or adapted. If a part of the building is classified differently to another part – state the part to which each classification relates.

Part of Building / Description

Units – Approval to Construct 10 Unit Development

Class of Building / Part

Class 2

5. Max No. of people permitted

If applicable, state the maximum number of people permitted in the building and the portion it applies to.

Maximum population

Part of building

6. Restrictions on the use or occupation of the building

If the building work uses a building solution within the meaning of Building Code of Australia or the Queensland Development Code, restricting the use or occupation of the building, state the restriction.

For example, a limitation on the use of finishes with the fire hazard properties as defined under the Building Code of Australia.

Restrictions

The following restrictions apply to the use or occupation of the building:

Occupants must remain within class



LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

7. Alternative Solutions

If the building work uses an alternative solution, state the applicable materials, systems, methods of building, procedures, specifications and other relevant requirements.

This will provide building owners and occupiers with a concise and practical explanation of alternative solutions that may have some operational implications on the use of the building. This will also help ensure the ongoing use of the building and any future modifications do not compromise compliance with the performance requirements of the applicable building code.

Alternative solution requirements

The following systems and procedures form part of the alternative solution:

8. Building Certifier

If the certifier is a company, a contact person must be shown.

Name of building certifier (in full)

Luke Jones

Licence number

A1035338

Signature

Luke Jones

Date

10/09/2014

Building Approval Reference Number

C1211330

Form 15—Compliance Certificate for building Design or Specification

<p>NOTE</p>	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>156 Finucane Road</p> <p>Alexandra Hills QLD 4161</p> <p>Lot & plan details (attach list if necessary)</p> <p>Lot 40 on RP 79330</p> <p>In which local government area is the land situated?</p> <p>Redland City Council</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Energy Efficiency assessment for 10 x Class 2 Units</p> <p>Inclusions to comply with the 5.0 star rating</p> <p>Unit 1 - Bulk R1.5 insulation to External Walls, Doors & Windows as per plans</p> <p>Unit 2 - Bulk R1.5 insulation to External Walls & Roof, Ceiling Fan to Patio, Doors & Windows as per plans</p> <p>Unit 3 - Bulk R1.5 insulation to External Walls, Doors & Windows as per plans</p> <p>Unit 4 - Bulk R1.5 insulation to External Walls, Doors & Windows as per plans</p> <p>Unit 5 - Bulk R1.5 insulation to External Walls & Roof, Ceiling Fan to Patio, Doors & Windows as per plans</p> <p>Unit 6 - Bulk R1.5 insulation to External Walls & Roof, Ceiling Fan to Patio, Doors & Windows as per plans</p> <p>Unit 7 - Bulk R1.5 insulation to External Walls, Doors & Windows as per plans</p> <p>Unit 8 - Bulk R1.5 insulation to External Walls, Doors & Windows as per plans</p> <p>Unit 9 - Bulk R1.5 insulation to External Walls & Roof, Ceiling Fan to Patio, Doors & Windows as per plans</p> <p>Unit 10 - Bulk R1.5 insulation to External Walls & Roof, Ceiling Fan to Patio, Doors & Windows as per plans</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>BERs Pro Plus Version 4.2 Software</p>

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Plans supplied by John Marsson & Associates Architects

LOCAL GOVERNMENT
USE ONLY Date received

Reference Numbers

5. Building certifier reference number

Building certifier reference number

C1211330

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Janice Bradfield

Company name (if applicable)

The Certifier Pty Ltd

Contact person

Janice Bradfield

Phone no. business hours

07 3821 8777

Mobile no.

Fax no.

07 3276 5718

Email address

janice@thecertifier.com

Postal address

PO Box 368

Cleveland Qld

Postcode 4163

Licence or registration number (if applicable)

QLD 345

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

Date

04 July 2013

The Building Act 1975 is administered by the
Department of Housing and Public Works



Queensland
Government

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 1 - 2 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 1

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3, 1/1/11

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Collar Repair,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number


PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature



Date

12/02/2014

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____ <u>WATERPROOFING</u></p> <hr/> <p><input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Waterproofing to Retaining Walls</p> <p>_____</p> <p>_____</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40 Finucane Road</p> <p>Alexandra Hills</p> <p>Postcode _____</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>G.C.C.C.</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Dwelling</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>1a</p> <p>_____</p> <p>_____</p> <p>_____</p>
LOCAL GOVERNMENT USE ONLY	<p>DATE RECEIVED _____ REFERENCE NUMBER/S _____</p>	

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Waterproofing to Retaining Walls

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2
B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

Fax no.

0407119950

Email address

pcwaterproofing@outlook.com

Postal address

128 Casarita Road

Casarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must also use this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

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NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Sustainable Building Options

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Sustainable Building Options and Water Savings Target

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 1 (U1-2), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Dwelling

Class of building / structure

1A

4. Description of components certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams

Lighting, Plumbing Fixtures and Rainwater Tanks

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 1b
Version 3, 11/09

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

QDC MP4.1 and 4.2

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Architectural Plans

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

Fax no.

1300 655 230

Email address

Postal address

PO Box 3353

Helensvale TC

Postcode 4212

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the *Building Act 1975*.

Signature

Date

27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd,

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to 10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
version 3.1.1.1

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required RW (RW+ CTR) 50 (42)

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required RW (RW+ CTR) 55 (46)

Insulation Installed to **AS/NZS4859.1-2002**

Wall and Ceiling Materials used on building comply with the BSA specification C1.10a

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .									
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work <u>Bored Pier Footings and Monolithic Slab on Ground to</u> (indicate the aspect) <u>Buildings 1 – 3 inclusive.</u></p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Not Applicable</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>									
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb / locality & postcode)</i></p> <p>156 Finucane Rd, Alexandra Hills, Queensland.</p> <p>Postcode 4161</p> <p>Lot & plan details <i>(Attach list if necessary)</i></p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>Redland City Council.</p>									
<p>3. Building/structure description</p>	<table border="1"> <thead> <tr> <th data-bbox="501 1518 1155 1552">Building/structure description</th> <th data-bbox="1171 1518 1487 1552">Class of building / structure</th> </tr> </thead> <tbody> <tr> <td data-bbox="501 1552 1155 1597">Townhouse Development</td> <td data-bbox="1171 1552 1487 1597">Class 1a</td> </tr> <tr> <td data-bbox="501 1597 1155 1641">_____</td> <td data-bbox="1171 1597 1487 1641">_____</td> </tr> <tr> <td data-bbox="501 1641 1155 1686">_____</td> <td data-bbox="1171 1641 1487 1686">_____</td> </tr> </tbody> </table>		Building/structure description	Class of building / structure	Townhouse Development	Class 1a	_____	_____	_____	_____
Building/structure description	Class of building / structure									
Townhouse Development	Class 1a									
_____	_____									
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<p>LOCAL GOVERNMENT USE ONLY</p> <table border="1"> <tr> <td data-bbox="102 1843 389 1886">DATE RECEIVED</td> <td data-bbox="389 1843 764 1886"></td> <td data-bbox="764 1843 1155 1886">REFERENCE NUMBER/S</td> <td data-bbox="1155 1843 1487 1886"></td> </tr> </table>			DATE RECEIVED		REFERENCE NUMBER/S					
DATE RECEIVED		REFERENCE NUMBER/S								



4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Certification of Bored Piers –Excavations inspected on 7 February 2014 (Engineering Inspection Report No. 19045) and 26 February 2014 (Engineering Inspection Report No. 19424) prior to Placement of Concrete.

Certification of Monolithic Slab on Ground to:

Building 1 – Inspected on 12th February 2014 (Engineering Inspection Report No. 19048);

Building 2 – Inspected on 14th February 2014 (Engineering Inspection Report No. 19050); and

Building 3 – Inspected on 10th March 2014 (Engineering Inspection Report No. 23232).

Excavation, Preparation and Steel Reinforcement were inspected prior to any concrete placement.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The Building Code of Australia and all relevant Australian Standards including AS/NZS 1170 Parts 0, 1-2002; AS2870 – 1996; AS3600 – 2009 and AS4055-2010 as required.

We certify that the constructed structural elements listed in Item 4 above generally conformed with the engineering drawings, engineering inspection reports and other correspondence listed in section 6 below as issued during course of the work.

This certification has been issued on the basis that the head contractor has completed all instructed works listed with the Engineering Inspection Report nominated below in section 6.

By issuing this certification it shall not be construed as relieving any other party of their responsibilities to complete the works in accordance with the documents and instructions listed in section 6 below an the Building Code of Australia.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Job Number: 30421-13CS including any Form 15s, reports & drawings prepared by Structerre Consulting Engineers.

Refer to Engineering Inspection Reports 19045, 19048, 19050, 19424 and 23232 as prepared by Structerre Consulting Engineers.

Geotechnical Report by Soil Survey Engineering Pty Ltd, Report Ref No. 1-15345, 2013-06-14, LR Rev 0 dated 14 June 2014.

Refer to Architectural Drawings Ref No. 12-05-01 – 12-05-08 as prepared by John Marrson & Associates Pty Ltd.

Refer to Statutory Declaration dated 8th June 2014 as prepared by Mr. Justin Loewe in relation to the Pier and Footing Constructions.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Greg Anderson

Company name (if applicable)

Structerre Consulting Engineers

Contact person

Greg Anderson

Phone no. business hours

(07) 3307-8300

Mobile no.

Fax no.

(07) 3307-8301

Email address

brisbane@structerre.com.au

Postal address

PO Box 621

HAMILTON

Postcode 4007

Licence class

Licence number

FIEAust CPEng RPEQ 1359

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QBC MP 3.4.

Signature

Date

30 June 2014

Right to Information Release



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the Building Act 1975 and/or section 32, 35B, 43, 44 and 47 of the Building Regulation 2006.

1. Indicate the type of certificate.

The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☒ Inspection Certificate for Stage of building work - Section 24 (4)

☒ Inspection Certificate for Aspect of building work - Shower Screen Products

☒ QBSA Licensee Aspect Certificate

Scope of the work
Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Supply & fix shower products

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address

Sandsky Developments Pty Ltd
FINUCANE RD 156 (UNITS 1-2)
TJ 0434 688 630
ALEXANDRA HILLS QLD 4161

Lot & plan details (attach is necessary)

In which local government area is the land

3. Building /structure description

Building/structure description

House

Class of building/structure

Class 1

4. Description of component/s certified.
Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof beams.

Supply & fix showers, mirrors and mirror robe doors.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Glazed as per AS1288

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD
BOONDALL

Postcode 4034

Licence class

Glass Glazing & Aluminium

Licence number

58885

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee
Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC of MP 3.4.

Signature

Date

30/06/14

LOCAL GOVERNMENT USE ONLY

Date Received

Reference Number/s

Version 4
March 2013

The Building Act 1975 is administered by the
Department of Housing and Public Works



Queensland
Government

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

Practical Completion

☒

Aspect of building work

(indicate the aspect)

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 FINUCANE ROAD

ALEXANDRA HILLS QLD

Postcode: 4161

Lot & plan details (Attach list if necessary)

LOT: 40

RP: 79336

In which local government area is the land situated?

REDLAND CITY COUNCIL

3. Building description

Lift off hinges installed

Building description

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2: 02/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with National Construction Code

AS1720 TIMBER STRUCTURES CODE

AS1684 TIMBER FRAMING CODE

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

MATTHEW YOURELL

Company name if applicable

NEWPORT CONSULTING ENGINEERS

Contact person

MATTHEW YOURELL

Phone no. business hours

(07) 3252 9822

Mobile no.

0400 702 677

Fax no.

(07) 3252 9844

Email address

myourell@dnce.com.au

Postal address

208 CONSTANCE STREET

FORTITUDE VALLEY

Postcode: 4006

Licence class

RPEQ

Licence number

8295

Date approval to inspect received from building certifier

09.06.2014

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Matthew Yourell

Date

27/06/14





PEST CONTROL

Certificate of Application / Completion of Termite Control Agent in accordance with Australian Standard AS 3660.1

ALL PURPOSE PEST CONTROL PTY LTD

10/42 Burnside Rd, Yatala 4207

Po Box 254, Beenleigh 4207

ABN 14 320 866 516 - ACN 130 494 389

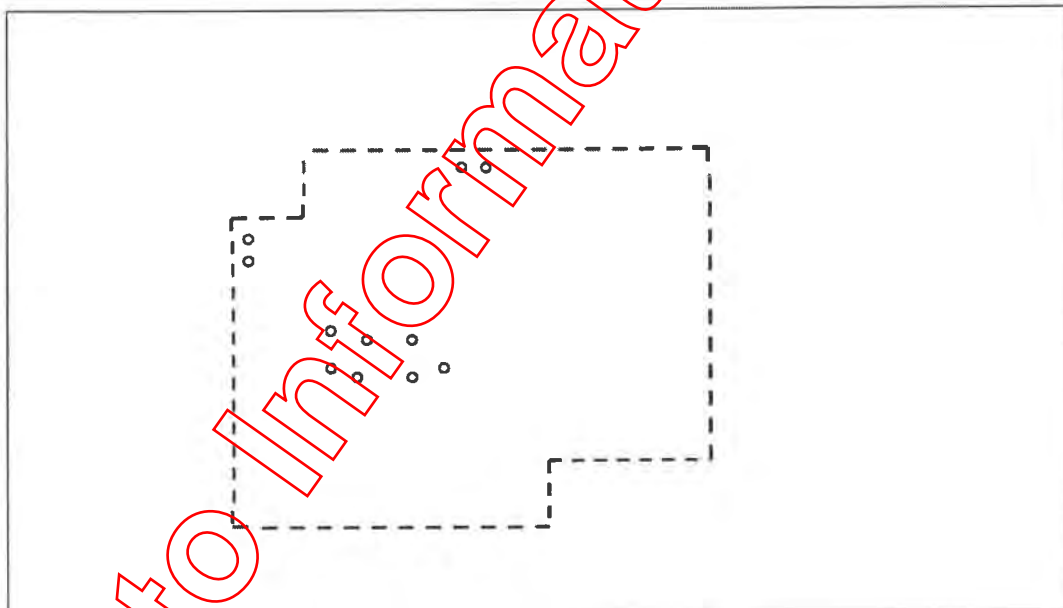
Ph: 3382 7378 Fax: 3382 0355

Builders Name: Sandsky Developments **Property Address:** Units 1 & 2 Lot 40 #156
(Building 1) Finucane Rd, Alexandra Hills

Type of property: New Home: ☒ Extension / Renovation: ☐ Other: ☐

PERIMETER		PENETRATIONS		OTHER	
HomeGuard TMB .2mm		HomeGuard Strips		Brick Pier 350 X 350	
Home Guard Blue. 25mm	40	HomeGuard 100mm	11	Brick Pier 350 X 390	
HomeGuard DPC .5mm		HomeGuard 80mm		Retaining Wall	
		HomeGuard 40mm			

Plan of Building Showing Treated Areas (Not to Scale)
Legend: -- = Perimeter Treated ○ = Penetrations Treated □ = Treated Brick Piers



I certify that the above application of a termite control agent has been applied in accordance with AS 3660.1.

Installers Name: Warren O'Dare

Warranty / Certificate Number #

022014QGMH

Date Completed: 13.02.2014

Signature:



Terms and Conditions

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this Certificate whether in whole or in part does so at their own risk.

1. A Termite Protection Program is dependent upon the provision of a complete, treated soil barrier around the structure(s) using approved Termite Control Agents. If this treated soil barrier is in any way disturbed then re-entry by subterranean termites is possible.
2. With Pre-Construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS 3660.1 before the treatment is commenced.
3. The Australian Standard AS 3660 highly recommends inspections at intervals not exceeding 12 months. Where the termite risk is high or the building type is susceptible to termite attack, more frequent inspection (3-6 months) should be undertaken. Termites can build around barriers but they can then be detected more readily during routine inspections.
4. No liability is accepted for any treatment failure unless all the treatment requirements have been completed and a Certificate of Completion issued.
5. This treatment only applies to the protection of the structure(s) as detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against any other pest/s. In particular it does not provide any protection against 'drywood termites', FAMILY: KALOTERMITIDAE.
6. **No responsibility is accepted, or warranty implied, for any timber damage that may occur as the result of past, current or future termite activity.**
7. This termite protection program can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awnings, verandahs, etc), introducing infested materials, disturbing external gardens, pathways, etc adjacent to the areas protected and through establishing lawns &/or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the termite protection barrier). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the soil barrier is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered up by garden materials eg soil, pine bark or similar. Also air vents or weep holes must never be blocked.
9. Do not use untreated timbers for garden beds or retaining walls as they may attract termites.
10. In the event of any controversy or claim arising out of, or relating to this Certificate, it will be settled by arbitration, in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

VERY IMPORTANT

The completion of this Certificate does not in itself certify that the structure treated overleaf has been protected in compliance with AS 3660.

A Certificate of Completion must be provided confirming that all elements of the Termite Treatment Program in accordance with AS 3660 have been completed.

IMPORTANT INFORMATION: The Australian Standard AS 3660 *Protection of buildings from subterranean termites* provides details for minimising the risks to buildings from termite attack, and methods for treatment to control termite infestations. The provision of a complete termite barrier will impede concealed termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspection.

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<div style="display: flex; flex-direction: column; align-items: flex-start;"> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Inspection Certificate for </div> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____ </div> <div> <input type="checkbox"/> Aspect of building work (indicate the aspect) _____ </div> </div> <div style="margin-top: 20px;"> <p>■ QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> Installing HomeGuard termite management systems </div> </div>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <div style="border: 1px solid black; padding: 2px;"> U 1 - 2 156 Finucane Rd ALEXANDRA HILLS Postcode 4161 </div> <p>Lot & plan details (Attach list if necessary)</p> <div style="border: 1px solid black; padding: 2px;"> L 40 BUILDING 1 </div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; padding: 2px;"> Redlands Shire </div>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <div style="border: 1px solid black; padding: 2px; min-height: 100px;"> New House </div>	<p>Class of building / structure</p> <div style="border: 1px solid black; padding: 2px; min-height: 100px;"></div>

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Perimeter,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255

Building Code of Australia As 3660.1-2000

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical

BSA License

Licence number

PMT-Q-11133 (HomeGuard 0020)

518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

13/02/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____

☒ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Install Metal Roof Sheetting,

Install Fascia & Gutter

Install Flashings

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 40 /156 Finucane Road, Building 1

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

In which local government area is the land situated?

Brisbane

3. Building/structure description

Building/structure description

RESIDENTIAL

Class of building / structure

CLASS 1A

4. Description of components certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Custom Orb Roof Sheet

Metal Fascia and Gutter

Metal Battens

Apron Flashings, Barge and Parpet Capping Colorbond Steel

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 76
Version 3 11/11

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In Accordance with A.S 1562.1

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steven Wyndham

Company name if applicable

Wyndham Metal Roofing

Contact person

Steven wyndham

Phone no. business hours

07 5563 2621

Mobile no.

0421 673 258

Fax no.

07 5563 2631

Email address

admin@wmroofing.com.au

Postal address

Unit 9/14 Activity Crescent,

Molendinar

Postcode 4214

Licence class

Roof and Wall Cladding

Licence number

1100181

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

27/06/2014



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input type="checkbox"/> Aspect of building work (indicate the aspect) _____</p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the license class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing license is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>INSTALLATION OF INSULATION TO WALLS AND CEILINGS</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>LOT 40 FINUCAN ROAD – BLD 1 – UNITS 1 & 2</p> <p>ALEXANDRA HILLS</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>_____</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>A single dwelling being a detached house or one or more attached dwellings</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>1A</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

WALL WRAP TO EXTERNAL WALLS
ACOUSTIGARD 14KG 50 mm TO INTERNAL WALLS AS PER PLAN
R1.5 INSULATION BATTS TO EXTERNAL WALLS AS PER PLAN
R2.5 INSULATION BATTS TO CEILINGS AS PER PLAN

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

The above product meets the current BCA, Australian Standards AS/NZS 4859.1

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

ACCESS INSULATION PTY LTD

Company name if applicable

Access Insulation Pty Ltd

Contact person

David Comerford (Director)

Phone no. business hours

07 3809 0000

Mobile no.

0438 222 377

Fax no.

07 3809 0777

Email address

info@accessinsulation.com.au

Postal address

UNIT 1/62 EASTERN ROAD

BROWNS PLAINS

Postcode 4118

Licence class

Insulation, Ventilation & Skylight Installation

Licence number

BSA 743951

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

David Comerford

Date

17/03/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd,

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of components certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to 10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 15
Version 3 11-11

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required RW (RW+ CTR) **50 (42)**

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required RW (RW+ CTR) **55 (46)**

Insulation Installed to **AS/NZS4859.1-2002**

Wall and Ceiling Materials used on building comply with the BSA specification **C1.10a**

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Energy Efficiency

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 1 (U 1-2), Kinucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2.02/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Building was constructed as per Energy Efficiency Report
In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

0413 519 193

Fax no.

1300 655 230

Email address

admin@sandsky.com.au

Postal address

PO BOX 3353

Helensvale TC QLD

Postcode: 4212.

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee
☒ **Inspection Certificate for stage or aspect**
☐ **QBSA Licensee Aspect Certificate**

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Date

27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Electrical

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Smoke Detectors x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

156 Building 1 (U 1-2), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a + 10

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, eg. all structural aspects of the steel roof beams.

Smoke Detectors – Mains Wired x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2.02/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

A & N Contracts

Company name if applicable

A & N Electrical

Contact person

Andrew Brown

Phone no. business hours

5596 6221

Mobile no.

0433 412 040

Fax no.

5596 6516

Email address

andrew@ancontracts.com.au

Postal address

PO BOX 425

Nerang

Postcode: 4221

Licence class

Electrical Contractors

Licence number

66639

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Andrew Brown

Date



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .						
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____ <u>WATERPROOFING</u></p> <p><input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <table border="1" data-bbox="491 943 1442 1167"> <tr><td>Waterproofing to 2 Shower Trays</td></tr> <tr><td>Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry</td></tr> <tr><td>Balconies</td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>		Waterproofing to 2 Shower Trays	Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry	Balconies		
Waterproofing to 2 Shower Trays							
Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry							
Balconies							
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40, 156 Building 1 (U1-2) Finucane Road</p> <p>Alexandra Hills Postcode</p> <p>Lot & plan details (Attach list if necessary)</p> <p> </p> <p>In which local government area is the land situated?</p> <p>G.C.C.C.</p>						
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Dwelling</p> <p> </p> <p> </p> <p> </p> <p> </p>	<p>Class of building / structure</p> <p>1a</p> <p> </p> <p> </p> <p> </p> <p> </p>					
<p>LOCAL GOVERNMENT USE ONLY</p> <table border="1"> <tr> <td>DATE RECEIVED</td> <td>REFERENCE NUMBER/S</td> </tr> </table>			DATE RECEIVED	REFERENCE NUMBER/S			
DATE RECEIVED	REFERENCE NUMBER/S						

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Waterproofing to 2 Shower Trays

Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry

Balconies

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2

B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

Fax no.

0407119950

Email address

pcwaterproofing@outlook.com

Postal address

128 Cabarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) BUILDING SET OUT</p> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>I hereby certify that we have set out the footings for the buildings under construction at the below mentioned site in accordance with the site and building plans supplied and instructed by Sandsky Developments on 12/02/2014. The set out has been placed and marked exclusively for the alignment of the external face of brickwork of the ground floor of the proposed dwelling. We accept no responsibility for any construction works in relation to mistakes, misprints or discrepancies in the building plans. It is understood that the set out is checked by the builder for any signs of disturbance or discrepancy prior to construction.</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (Include no., street, suburb / locality & postcode)</p> <p>156 Firuane Road ALEXANDRA HILLS QLD Postcode 4161</p> <p>Lot & plan details (Attach list if necessary)</p> <p>Lot 40 on RP79330</p> <p>In which local government area is the land situated?</p> <p>Brisbane City Council</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Triplex</p> <p>Class of building / structure</p> <p>2</p>	

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DATE RECEIVED

REFERENCE NUMBER/S

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Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Building set out in relation to setbacks to boundaries & building footprint.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with Architectural Building Plans;

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

John Marsson & Associates Pty Ltd, Building Plans for Job # 12-05

Revision: A

(Our Job # 7061)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Andrew Vincent Corfield

Company name if applicable

All Points Surveys Pty Ltd

Contact person

Andrew Corfield

Phone no. business hours

Mobile no.

Fax no.

0428 487 928

Email address

andrew@allpointssurveys.com.au

Postal address

PO Box 1046

Beenleigh Qld

Postcode 4207

Licence class

Graduate Surveyor (B A Sc - Surv)

Licence number

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

28/02/2014

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>												
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40 Finucane Road</p> <p>Alexander Hills</p> <p>Lot & plan details (attach list if necessary)</p> <p>Carports Units 1-10</p> <p>In which local government area is the land situated?</p>												
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>TIMBER PREFABRICATED FRAMING PANELS AND MEMBERS – Supply only</p> <p>All products are to be installed, fixed and braced in accordance with the specification published in AS1684-2010 Residential Timber Framed Construction</p> <p>General Property Design Details:</p> <table border="1"> <tr> <td>Wind Class</td> <td>: N2</td> <td>Truss Centres</td> <td>: 600mm</td> </tr> <tr> <td>Roof Material</td> <td>: Sheet Metal</td> <td>Roof Pitch</td> <td>: 7.5 Deg</td> </tr> <tr> <td>Ceiling Material</td> <td>: 18mm Supa Ceil Direct</td> <td>Wall Height</td> <td>: Various</td> </tr> </table>	Wind Class	: N2	Truss Centres	: 600mm	Roof Material	: Sheet Metal	Roof Pitch	: 7.5 Deg	Ceiling Material	: 18mm Supa Ceil Direct	Wall Height	: Various
Wind Class	: N2	Truss Centres	: 600mm										
Roof Material	: Sheet Metal	Roof Pitch	: 7.5 Deg										
Ceiling Material	: 18mm Supa Ceil Direct	Wall Height	: Various										
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>The prefabricated framing panels and members supplied to property have been designed utilizing Design in Hyne and or Multinail Beam design software programs or the like.</p> <p>All designed prefabricated framing panels and members utilize the following codes: AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010.</p> <p>The prefabricated framing panels and member design assumes any supporting structure is braced and stable in its own right before the installation of the framing panels or members.</p> <p>The requirements for building practice, procedures and the selection, placement and fixing of structural members to be in accordance with AS1684.2-2010</p>												
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>PREFABRICATED FRAMING PANELS AND MEMBERS LAYOUT</p> <p>MEMBER DESIGN REPORTS</p>												

LOCAL GOVERNMENT USE ONLY

Date received	Reference Number
---------------	------------------

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (*in full*)

Steve Cable

Company name (*if applicable*)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. *business hours*

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (*if applicable*)**7. Signature of competent person**

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

27/06/14

TrussCorp Pty Ltd

ABN: 99 124 771 848

General MacArthur Place, Redbank

Phone: (07) 3381 9566

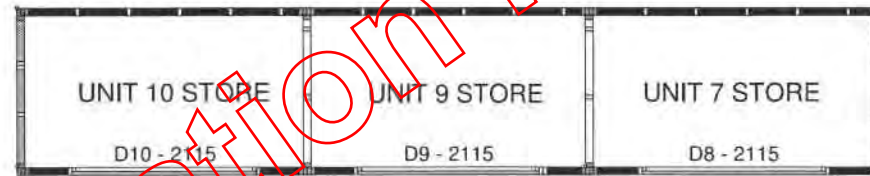
Fax: (07) 3381 9576

70X35 F5 RIBBON PLATES

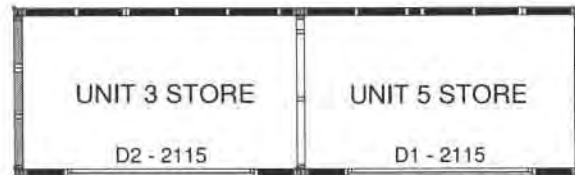
CARPORT 1



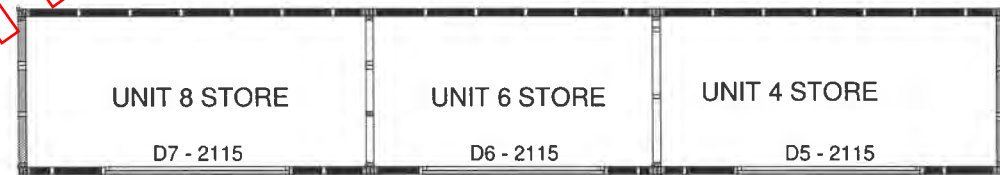
CARPORT 4



CARPORT 2



CARPORT 3



70X35 F5 RIBBON PLATES

SPECIFICATIONS:

Treatment: H0	Ext Wall Width: 70 mm	Int Wall Width: 70 mm
Wind Speed: N2	Ext Wall Height: Various mm	Int Wall Height: 2737/2865 mm
All Buildings - All Levels	Ext Wall S/Spacings: 450 mm	Int Wall S/Spacings: 600 mm
	Total Lin.M Ext Walls: 66.26 m	Total Lin.M Int Walls: 8.06 m

SANDSKY DEVTS

LOT 40 # 156 UNITS 7-10 ALEXANDRA HILLS (CARPORTS)



Detailer: **STEVE CABLE**

Date: **27/06/2014**

Scale: **NTS**

Job No: **16426**

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>UNITS 1 & 2, 156 FINUCANE ROAD, ALEXANDRA HILLS, QLD. Postcode: 4161</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated?</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Supply only Windows & Doors</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Manufactured & Glazed in accordance with the National Construction Code.</p> <p>Building Class: Housing</p> <p>Serviceability: 1000 pa</p> <p>Ultimate: 1500 pa</p> <p>Water Penetration: 150 pa</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>As per construction drawings provided</p>

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
 Department of Housing and Public Works



**Queensland
 Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4034

Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

25/02/14

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
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<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Supply only Windows & Doors</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Manufactured & Glazed in accordance with the National Construction Code.</p> <p>Building Class: Housing</p> <p>Serviceability: 1000 pa</p> <p>Ultimate: 1500 pa</p> <p>Water Penetration: 150 pa</p>
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Reference Number/s

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**Queensland
Government**

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Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4034

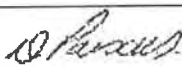
Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

25/02/14

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

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1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

LOT 462 MACNAB STREET,

YARRABILBA, QLD.

Postcode: 4207

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply only Windows & Doors

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Manufactured & Glazed in accordance with the National Construction Code.

Building Class: Housing

Serviceability: 1000 pa

Ultimate: 1500 pa

Water Penetration: 150 pa

4. Reference documentation

Clearly identify any relevant documentation e.g. numbered structural engineering plans.

As per construction drawings provided

LOCAL GOVERNMENT USE ONLY

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Queensland
Government

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Building certifier reference number

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If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4034

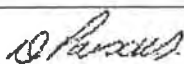
Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

25/02/14

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

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EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

LOT 135 HALLVARD CRESCENT,

AUGUSTINE HEIGHTS, QLD.

Postcode: 4300

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply only Windows & Doors

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Manufactured & Glazed in accordance with the National Construction Code.

Building Class: Housing

Serviceability: 1000 pa

Ultimate: 1500 pa

Water Penetration: 150 pa

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As per construction drawings provided

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

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If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4034

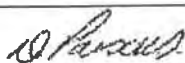
Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

25/02/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd,

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of components certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to 10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved Form 15
Version 3, 11/11

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required **RW (RW+ CTR) 50 (42)**

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required **RW (RW+ CTR) 55 (46)**

Insulation Installed to **AS/NZS4859.1-2002**

Wall and Ceiling Materials used on building comply with the BSA specification **G1.10a**

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE	This is to be used for the purposes of section 10(c) of the <i>Building Act 1975</i> and/or section 47 of the <i>Building Regulation 2006</i> .	
1. Indicate the type of certificate	<div data-bbox="550 392 901 436"> <input type="checkbox"/> Inspection Certificate for </div> <div data-bbox="614 470 1396 571"> <input type="checkbox"/> structure) Stage of building work (for single detached class 1a or class 10 building or (indicate the stage) </div> <div data-bbox="614 604 1204 683"> <input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) Energy Efficiency </div> <div data-bbox="550 750 997 795"> <input type="checkbox"/> QBSA Licensee Aspect Certificate </div> <div data-bbox="502 795 1476 940"> Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers" </div> <div data-bbox="510 952 1460 1086"> <div>80% Energy Efficient Lighting</div> <div>Installed and tested to A.S. 3786</div> </div>	
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	<div data-bbox="502 1120 1460 1243"> Street address (include no., street, suburb / locality & postcode) 156 Building 2 (U3-6), Finucane Road ALEXANDRA HILLS Postcode: 4161 </div> <div data-bbox="502 1243 1460 1366"> Lot & plan details (Attach list if necessary) Lot: 40 SP: </div> <div data-bbox="502 1366 1460 1444"> In which local government area is the land situated? Redland City Council </div>	
3. Building description	Building description <div data-bbox="510 1478 1149 1724"> Dwelling </div>	Class of building / structure <div data-bbox="1181 1478 1460 1724"> 1a </div>
4. Description of components certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	<div data-bbox="510 1747 1460 1926"> <div>80% Energy Efficient Lighting</div> <div>Installed and tested to A.S. 3786</div> </div>	

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED	REFERENCE NUMBER/S	Approved form 16 Version 2.02/08
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5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Building was constructed as per Energy Efficiency Report
In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

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If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

0412 519 163

Fax no.

1300 655 230

Email address

admin@sandsky.com.au

Postal address

PO BOX 3353

Helensvale TC QLD

Postcode: 4212.

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee
☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Date



27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Electrical

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Smoke Detectors x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 2 (U3-6), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a + 10

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Smoke Detectors – Mains Wired x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2 02/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

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If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

A & N Contracts

Company name if applicable

A & N Electrical

Contact person

Andrew Brown

Phone no. business hours

5596 6221

Mobile no.

0433 412 040

Fax no.

5596 6516

Email address

andrew@ancontracts.com.au

Postal address

PO BOX 425

Nerang

Postcode: 4221

Licence class

Electrical Contractors

Licence number

66639

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Date



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .						
1. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input checked="" type="checkbox"/> Inspection Certificate for <input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____ <input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____ <u>WATERPROOFING</u> </div> <div style="width: 50%; text-align: right; font-size: 2em; color: red; transform: rotate(-45deg); opacity: 0.5;"> Right to Information Release </div> </div> <div style="margin-top: 10px;"> <input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers". </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Waterproofing to 4 Shower Trays</td></tr> <tr><td>Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry</td></tr> <tr><td>Balconies</td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>		Waterproofing to 4 Shower Trays	Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry	Balconies		
Waterproofing to 4 Shower Trays							
Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry							
Balconies							

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Waterproofing to 4 Shower Trays

Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry

Balconies

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2

B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

0407119950

Fax no.

Email address

pcwaterproofing@outlook.com

Postal address

128 Cabarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).



Inspection Certificate for



Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____



Aspect of building work

(indicate the aspect) _____

BUILDING SET OUT



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

I hereby certify that we have set out the footings for the buildings under construction at the below mentioned site in accordance with the site and building plans supplied and instructed by **Sandsky Developments** on 12/02/2014. The set out has been placed and marked exclusively for the alignment of the external face of brickwork of the ground floor of the proposed dwelling. We accept no responsibility for any construction works in relation to mistakes, misprints or discrepancies in the building plans. It is understood that the set out is checked by the builder for any signs of disturbance or discrepancy prior to construction.

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Finucane Road

ALEXANDRA HILLS

QLD

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40 on RP79330

In which local government area is the land situated?

Brisbane City Council

3. Building/structure description

Building/structure description

Triplex

Class of building / structure

2

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Building set out in relation to setbacks to boundaries & building footprint.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with Architectural Building Plans;

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

John Marsson & Associates Pty Ltd, Building Plans for Job # 12-05

Revision: A

(Our Job # 7061)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Andrew Vincent Corfield

Company name if applicable

All Points Surveys Pty Ltd

Contact person

Andrew Corfield

Phone no. business hours

Mobile no.

Fax no.

0428 487 928

Email address

andrew@allpointssurveys.com.au

Postal address

PO Box 1046

Beenleigh Qld

Postcode 4207

Licence class

Graduate Surveyor (B A Sc - Surv)

Licence number

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

28/02/2014

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>UNITS 3-6 LOT 156 FINUCANE ROAD</p> <p>ALEXANDRA HILLS</p> <p>Postcode</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated?</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>TIMBER ROOF TRUSS SYSTEM – Supply only</p> <p>All products are to be installed, fixed and braced in accordance with the specification published by Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004</p> <p>General Property Design Details:</p> <p>Wind Class : N2 Truss Centres : 600mm</p> <p>Roof Material : Metal Sheet Roof Pitch : 7.5 Deg</p> <p>Ceiling Material : 10mm Supa Ceil Direct</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>The prefabricated timber roof trusses supplied to property are manufactured and designed under licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design software programs. The roof truss design assumes the supporting structure is stable in its own right before the installation of the roof trusses.</p> <p>All designed trusses and roof members utilize the following codes:</p> <p>AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>ROOF TRUSS LAYOUTS</p> <p>ENGINEERING REPORT</p> <p>TIE DOWN REPORT</p> <p>BUILDING AUTHORITY ROOF TRUSS CERTIFICATION</p> <p>All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated Trusses</p>

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (*in full*)**Leigh Walker**Company name (*if applicable*)**TRUSSCORP PTY LTD**

Contact person

Jason CochranePhone no. *business hours*

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (*if applicable*)**7. Signature of competent person**

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

Date

27 June 2014

TrussCorp Pty Ltd

5,6,27 General Macarthur Place

Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

DATE: 27/06/2014

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

PROJECT IDENTIFICATION

Quote Number: **J16423**

Customer: **SANDSKY DEVELOPMENTS**

Site Address: **UNITS 3-6 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 3-6 (BUILDING-2)**

Structure Type: **House**

This is to certify that the prefabricated timber roof trusses and pre-cut hip end members supplied to the above project were manufactured using MULTINAIL metal connectors and detailed using MULTINAIL computer truss design programs, as per the Building Code of Australia (ASCB Volume 2-2012).

The roof truss design and detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses.

The specifications used in the design of the trusses were as follows :

ROOF SHAPE	: Standard	ROOFING	: Metal Sheet 7 kg/m2
TIMBER	: Dry Softwood	TC Fixing/Restraint	: Metal Roof Battens @900c/900c
SPACING	: 600 mm	CEILING	: Pbd 10mm SupaSpan 7.1kg/m2
FASCIA TYPE	: As per AS1684.1	BC Fixing/Restraint	: Direct Fixed/600c
WIND / EXT / INT	: N2 / 0.9 / 0.2	PITCH	: 7.5 / 7.5 deg
		OVERHANG	: 0 / 0

All designed trusses and pre-cut members utilize the following codes:

AS/NZS 1170.0-2002: Structural Design Actions Part 0: General principles
AS/NZS 1170.1-2002: Structural Design Actions Part 1: Permanent, imposed and other actions
AS/NZS 1170.2-2002: Structural Design Actions Part 2: Wind actions
AS/NZS 1170.3-2003: Structural Design Actions Part 3: Snow and ice actions
AS 1720.1-2010: Timber structures Part 1: Design methods
AS 1649-2001: Timber-Methods of test for mechanical fasteners and connectors
AS 4100-1998: Steel Structures
AS/NZS 4600-2005: Cold-formed steel structures

All trusses must be braced and erected in accordance with AS4440, Installation of nailplated timber trusses, in conjunction with all local building authority requirements, and any other supplied details.

SIGNATURE : _____

NAME : **LEIGH WALKER**

POSITION : **DETAILER**

DATE : **27/06/2014**

For detailed load information, including AC, Solar, Tank and Storage loads, refer to the detailed Engineering and Submission reports and Roof Layout.

TrussCorp Pty Ltd

5,6,27 General Macarthur Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

REACTION REPORT (Limit State Design)Quote Number: **J16423**
Customer: **SANDSKY DEVELOPMENTS**Site Address: **UNITS 3-6 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 3-6 (BUILDING-2)**
Structure Type: **House**

TRUSS DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)							
T1A LeftHalf Stand (4340)							
S1		0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2		4340	1.3	2.5	-2.6	2 Multi Grips	Ok / Ok
T2A LeftHalf Stand (4340)							
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T3A LeftHalf Outer (3390)							
S1		70	0.4	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		3415	0.3	0.6	-0.7	1 Multi Grip	Ok / Ok
T4A LeftHalf Inner (4340)							
S1		70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4365	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a LeftHalf Stand (2215)							
S1		0	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2		2215	0.2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a LeftHalf Outer (2215)							
S1		70	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a Girder SC0 (6240)							
S1		70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2		6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a LeftHalf Stand (4910)							
S1		600	0.5	1.1	-1.1	1 Multi Grip	Ok / Ok
S2		4910	0.5	1.0	-1.3	1 Multi Grip	Ok / Ok
T9a LeftHalf Stand (4310)							
S1		0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a LeftHalf Outer (4310)							
S1		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a LeftHalf Stand (4340)							
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T12a LeftHalf Outer (3390)							

TRUSS DESCRIPTION		SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)								
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	Ok / Ok
T13a	LeftHalf Inner	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Ok / Ok
T14a	LeftHalf Stand	(9180)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Grips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T17a	LeftHalf Outer	(8580)						
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)						
S1			0	0.3	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	1.3	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)						
S1			0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)						
S1			70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok

TrussCorp Pty Ltd

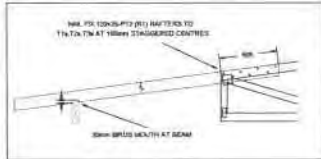
5,6,27 General Macarthur Place Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

BRACING AND INSTALLATION AS PER AS4440, DOCUMENTATION ENCLOSED

SET BACK MEASUREMENTS ARE FROM OUTSIDE FRAME TO FRONT FACE OF TRUSS

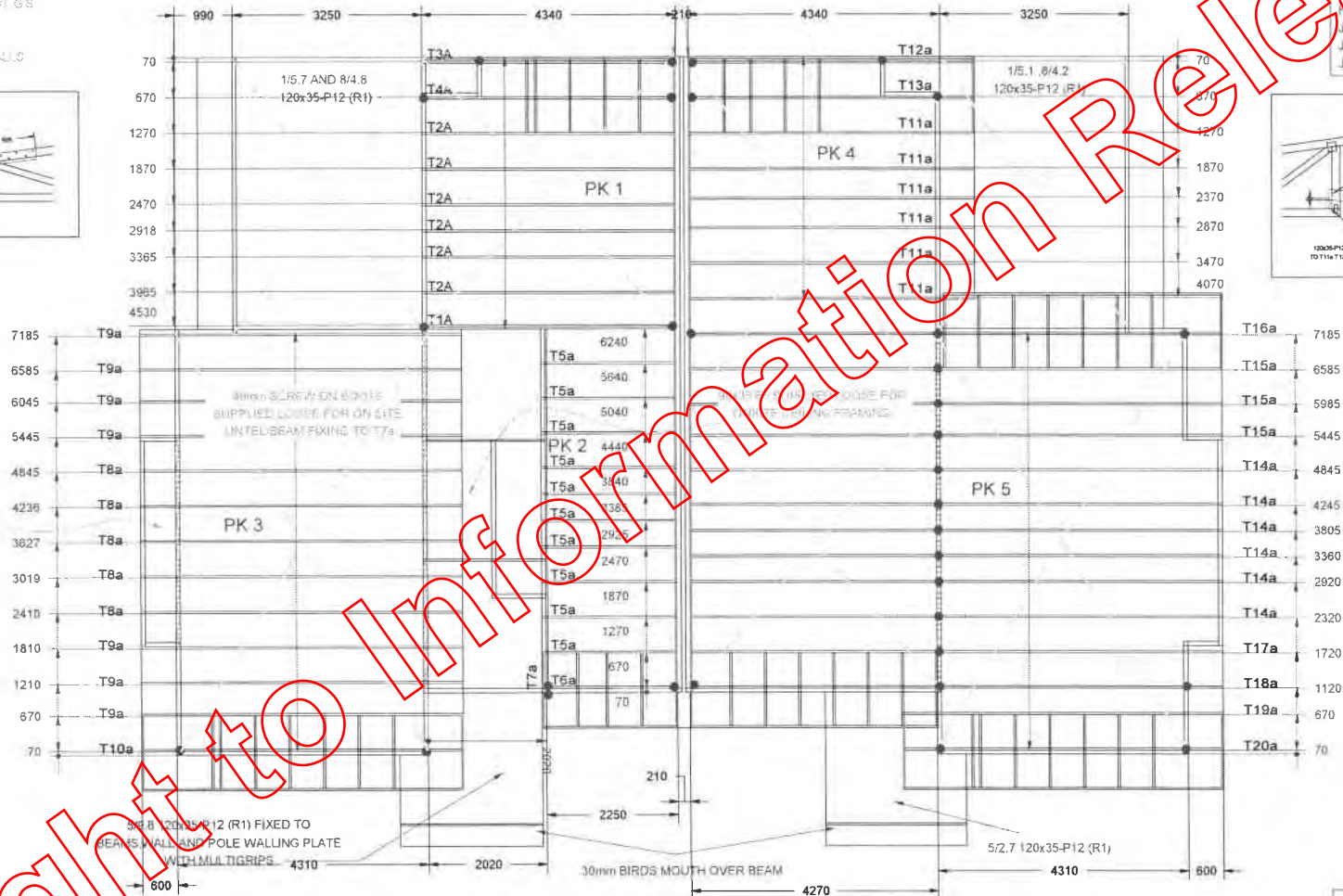
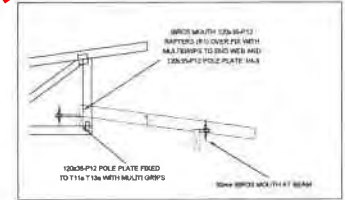
HIP RAFTER OVERHANGS TO BE STRUTTED BACK TO FRAME
OVERHANGS FOR CREEPER AND JACK RAFTERS 100mm
TO BE PROPPED BACK TO FRAME WHERE NOTED

CYCLONE TIES TO ALL HIP/GIPDERS/TS
IS PROPPED OVERHANGS
POLE PLATE FIXING BY OTHERS
OF STRUCTURAL FASCIA
INTERNAL LOAD BEARING WALLS



90x45 POLE PLATE FIXED ON SITE TO FLOOR BEAM/WALL/SOLID END JOIST AT CEILING HEIGHT

- Truss Filing and Truss to Top Plate - 1 Multigrip
TS Truss to Top Plate - 1 Cyclone Tie
TS Truss to Top Plate - 1 Cyclone Tie
Hip to Top Plate - 1 Cyclone Tie
Hip to TGT - 1 Cyclone Tie
Jack to Top Plate - 1 Multigrip
Jack to TGT/TGT HTG - 1 Multigrip
J150 - J2400 to Hip - 3/85 x 3.06 skew nails



ROOF BRACING IS A GUIDE ONLY. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL BRACING MEETS AS4440 FOR INSTALLATION OF NAILPLATED TIMBER ROOF TRUSSES. NO RECTIFICATION BACKCHARGES WILL BE ACCEPTED OR PAID FOR WITHOUT AN ORDER NUMBER ISSUED BY TRUSSCORP

70x35 binders on flat @ 3000mm ctrs max
Rafting Beams @ 2400 mm max

Timber	Dry Softwood	Roofing	Metal Sheet 7 kg/m2	Wind / Ext / Int.	N2 / 0.9 / 0.2
Pitch:	7.5 deg	TC fix/res	Metal Roof Battens @900c/900c	Fascia Type	As per AS1684.1
Overhang	0 mm	Ceiling	Pbd 10mm SupaSpan 7.1kg/m2	Ground Snow Load	Sg = 0.0 kPa
Spacing	600 mm	BC fix/res	Direct Fixed/600c	Structure Type	House

SANDSKY DEVELOPMENTS (UNITS 3-6 (BUILDING-2))
UNITS 3-6 LOT 156 FINUCANE RD ALEXANDRA HILLS



Detailer	LW
Date	11/02/2014
Scale	1:80
Job No	J16423

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>												
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40 Finucane Road</p> <p>Alexander Hills</p> <p>Lot & plan details (attach list if necessary)</p> <p>Building 2 Units 3-6</p> <p>In which local government area is the land situated?</p>												
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>TIMBER PREFABRICATED FRAMING PANELS AND MEMBERS – Supply only</p> <p>All products are to be installed, fixed and braced in accordance with the specification published in AS1684-2010 Residential Timber Framed Construction</p> <p>General Property Design Details:</p> <table border="1"> <tr> <td>Wind Class</td> <td>: N2</td> <td>Truss Centres</td> <td>: 600mm</td> </tr> <tr> <td>Roof Material</td> <td>: Sheet Metal</td> <td>Roof Pitch</td> <td>: 7.5 Deg</td> </tr> <tr> <td>Ceiling Material</td> <td>: 10mm Supa Ceil Direct</td> <td>Wall Height</td> <td>: Various</td> </tr> </table>	Wind Class	: N2	Truss Centres	: 600mm	Roof Material	: Sheet Metal	Roof Pitch	: 7.5 Deg	Ceiling Material	: 10mm Supa Ceil Direct	Wall Height	: Various
Wind Class	: N2	Truss Centres	: 600mm										
Roof Material	: Sheet Metal	Roof Pitch	: 7.5 Deg										
Ceiling Material	: 10mm Supa Ceil Direct	Wall Height	: Various										
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>The prefabricated framing panels and members supplied to property have been designed utilizing Design in Hyne and or Multinail Beam design software programs or the like.</p> <p>All designed prefabricated framing panels and members utilize the following codes: AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010.</p> <p>The prefabricated framing panels and member design assumes any supporting structure is braced and stable in its own right before the installation of the framing panels or members.</p> <p>The requirements for building practice, procedures and the selection, placement and fixing of structural members to be in accordance with AS1684.2-2010</p>												
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>PREFABRICATED FRAMING PANELS AND MEMBERS LAYOUT</p> <p>MEMBER DESIGN REPORTS</p>												

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steve Cable

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. *business hours*

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

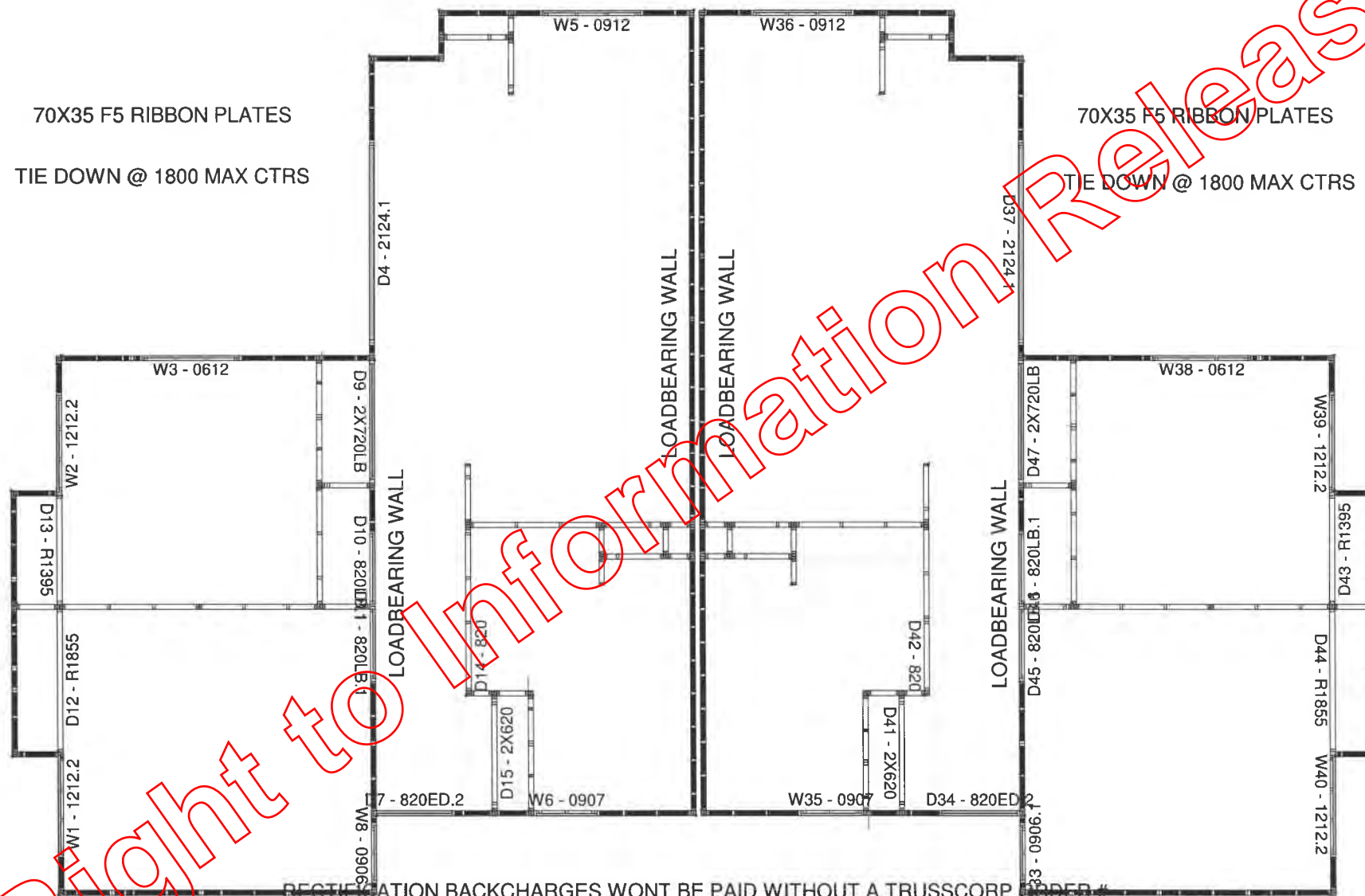


Date

27/06/14

Fax: (07) 3381 9576

TIE DOWN @ 1800 MAX CTRS



~~RECTIFICATION BACKCHARGES WONT BE PAID WITHOUT A TRUSSCORP ORDER #~~

SPECIFICATIONS:	Ext Wall Width:	70 mm	Int Wall Width:	70 mm	SANDSKY DEVTS LOT 40 # 156 UNITS 3-6 FINUCANE RD ALEXANDRA HILLS (BUILDING 2) 	Detailer:	STEVE CABLE
Treatment: H0	Ext Wall Height:	2455 mm	Int Wall Height:	2455/355 mm		Date:	27/06/2014
Wind Speed: N2	Ext Wall S/Spacings:	450 mm	Int Wall S/Spacings:	450/600 mm		Scale:	NTS
All Buildings - Multiple Levels	Total Lin.M Ext Walls:	84.56 m	Total Lin.M Int Walls:	65.10 m		Job No:	16423

Fax: (07) 3381 9576



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 3 - 6 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 2

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3.1 (1/11)

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Slab Penetrations,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical

BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)

518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

14/02/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 3 - 6 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 2

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3 11/11

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Retaining Wall,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number


PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature



Date

12/02/2014

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____WATERPROOFING_____</p> <hr/> <p><input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Waterproofing to Retaining Walls</p> <p>_____</p> <p>_____</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40 Finucane Road</p> <p>Alexandra Hills</p> <p>Postcode _____</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>G.C.C.C.</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Dwelling</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>1a</p> <p>_____</p> <p>_____</p> <p>_____</p>
LOCAL GOVERNMENT USE ONLY	DATE RECEIVED	REFERENCE NUMBER/S

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate. e.g. all structural aspects of the steel roof beams.

Waterproofing to Retaining Walls

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2
B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

Fax no.

0407119950

Email address

pcwaterproofing@outlook.com

Postal address

128 Casarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Sustainable Building Options _____

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Sustainable Building Options and Water Savings Target

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 2 (U3-6), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Dwelling

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Lighting, Plumbing Fixtures and Rainwater Tanks

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3.1 (06)

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

QDC MP4.1 and 4.2

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Architectural Plans

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

Fax no.

1300 655 230

Email address

Postal address

PO Box 3353

Helensvale TC

Postcode 4212

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the *Building Act 1975*.

Signature

Date

2/07/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd,

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3 1/1/11

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required RW (RW+ CTR) 50 (42)

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required RW (RW+ CTR) 55 (46)

Insulation Installed to AS/NZS4859.1-2002

Wall and Ceiling Materials used on building comply with the BSA specification C1.10a

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .					
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work <u>Bored Pier Footings and Monolithic Slab on Ground to</u> (indicate the aspect) <u>Buildings 1 – 3 inclusive.</u></p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Not Applicable</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>					
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>156 Finucane Rd, Alexandra Hills, Queensland.</p> <p>Postcode 4161</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>Redland City Council.</p>					
<p>3. Building/structure description</p>	<table border="1"> <tr> <td data-bbox="507 1518 1155 1697"> <p>Building/structure description</p> <p>Townhouse Development</p> <p>_____</p> <p>_____</p> </td> <td data-bbox="1179 1518 1474 1697"> <p>Class of building / structure</p> <p>Class 1a</p> <p>_____</p> <p>_____</p> </td> </tr> </table>		<p>Building/structure description</p> <p>Townhouse Development</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>Class 1a</p> <p>_____</p> <p>_____</p>		
<p>Building/structure description</p> <p>Townhouse Development</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>Class 1a</p> <p>_____</p> <p>_____</p>					
<p>LOCAL GOVERNMENT USE ONLY</p> <table border="1"> <tr> <td data-bbox="102 1843 389 1886">DATE RECEIVED</td> <td data-bbox="389 1843 764 1886"></td> <td data-bbox="764 1843 1155 1886">REFERENCE NUMBER/S</td> <td data-bbox="1155 1843 1474 1886"></td> </tr> </table>			DATE RECEIVED		REFERENCE NUMBER/S	
DATE RECEIVED		REFERENCE NUMBER/S				



4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Certification of Bored Piers –Excavations inspected on 7 February 2014 (Engineering Inspection Report No. 19045) and 26 February 2014 (Engineering Inspection Report No. 19424) prior to Placement of Concrete.

Certification of Monolithic Slab on Ground to:

Building 1 – Inspected on 12th February 2014 (Engineering Inspection Report No. 19048);

Building 2 – Inspected on 14th February 2014 (Engineering Inspection Report No. 19050); and

Building 3 – Inspected on 10th March 2014 (Engineering Inspection Report No. 23232).

Excavation, Preparation and Steel Reinforcement were inspected prior to any concrete placement.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The Building Code of Australia and all relevant Australian Standards including AS/NZS 1170 Parts 0, 1-2002; AS2870 – 1996; AS3600 – 2009 and AS4055-2010 as required.

We certify that the constructed structural elements listed in Item 4 above generally conformed with the engineering drawings, engineering inspection reports and other correspondence listed in section 6 below as issued during course of the work.

This certification has been issued on the basis that the head contractor has completed all instructed works listed with the Engineering Inspection Report nominated below in section 6.

By issuing this certification it shall not be construed as relieving any other party of their responsibilities to complete the works in accordance with the documents and instructions listed in section 6 below on the Building Code of Australia.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Job Number: 30421-13CS including any Form 15s, reports & drawings prepared by Structerre Consulting Engineers.

Refer to Engineering Inspection Reports 19045, 19048, 19050, 19424 and 23232 as prepared by Structerre Consulting Engineers.

Geotechnical Report by Soil Survey Engineering Pty Ltd. Report Ref No. 1-15345, 2013-06-14, LR Rev 0 dated 14 June 2014.

Refer to Architectural Drawings Ref No. 12-05-01 – 12-05-08 as prepared by John Marrson & Associates Pty Ltd.

Refer to Statutory Declaration dated 8th June 2014 as prepared by Mr. Justin Loewe in relation to the Pier and Footing Constructions.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Greg Anderson

Company name if applicable

Structerre Consulting Engineers

Contact person

Greg Anderson

Phone no. business hours

(07) 3307-8300

Mobile no.

Fax no.

(07) 3307-8301

Email address

brisbane@structerre.com.au

Postal address

PO Box 621

HAMILTON

Postcode 4007

Licence class

Licence number

FIEAust CPEng RPEQ 1359

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Greg Anderson

Date

30 June 2014

Right to Information Release



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the Building Act 1975 and/or section 32, 35B, 43, 44 and 47 of the Building Regulation 2006.

1. Indicate the type of certificate.

The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☒ Inspection Certificate for Stage of building work - Section 24 (4)

☒ Inspection Certificate for Aspect of building work - Shower Screen Products

☒ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Supply & fix shower products

2. Property description

The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address

Sandsky Developments Pty Ltd
FINUCANE RD 156 (UNITS 3-6)
TJ 0434 688 630
ALEXANDRA HILLS QLD 4161

Lot & plan details (attach is necessary)

In which local government area is the land

3. Building /structure description

Building/structure description

House

Class of building/structure

Class 1

4. Description of component/s certified. Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof beams.

Supply & fix showers, mirrors and mirror robe doors.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Glazed as per AS1288

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD
BOONDALL

Postcode 4034

Licence class

Glass Glazing & Aluminium

Licence number

58885

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee
Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC of MP 3.4.

Signature

D. Parsons

Date

30/06/14

LOCAL GOVERNMENT USE ONLY

Date Received

Reference Number/s

Version 4
March 2013

The Building Act 1975 is administered by the
Department of Housing and Public Works



Queensland
Government

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage) Practical Completion

☒

Aspect of building work

(indicate the aspect)

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 FINUCANE ROAD

ALEXANDRA HILLS QLD

Postcode: 4161

Lot & plan details (Attach list if necessary)

LOT: 40

RP: 79330

In which local government area is the land situated?

REDLAND CITY COUNCIL

3. Building description

Lift off hinges installed

Building description

Class of building / structure

1A

4. Description of components certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2.0208

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with National Construction Code

AS1720 TIMBER STRUCTURES CODE

AS1684 TIMBER FRAMING CODE

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

MATTHEW YOURELL

Company name if applicable

NEWPORT CONSULTING ENGINEERS

Contact person

MATTHEW YOURELL

Phone no. business hours

(07) 3252 9822

Mobile no.

0490 782 677

Fax no.

(07) 3252 9844

Email address

myourell@dnce.com.au

Postal address

208 CONSTANCE STREET

FORTITUDE VALLEY

Postcode: 4006

Licence class

RPEQ

Licence number

8295


Date approval to inspect received from building certifier

09.06.2014

9. Signature of building certifier, competent person or QBSA licensee☒ **Inspection Certificate for stage or aspect**☐ **QBSA Licensee Aspect Certificate**

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature



Date

27/06/14





ALL PURPOSE PEST CONTROL PTY LTD
 10/42 Burnside Rd, Yatala 4207
 Po Box 254, Beenleigh 4207
 ABN 14 320 866 516 - ACN 130 494 388
 Ph: 3382 7378 Fax: 3382 0355

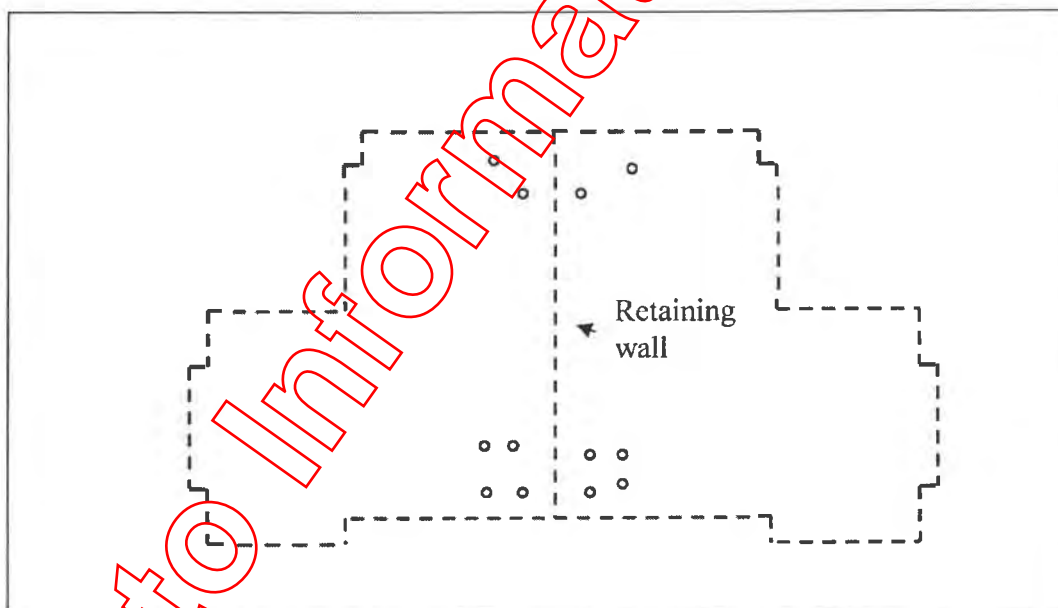
Certificate of Application / Completion of Termite Control Agent in accordance with Australian Standard AS 3660.1

Builders Name: Sandsky Developments **Property Address:** Units 3, 4, 5 & 6 Lot 40 #156 (Building 2) Finucane Rd, Alexandra Hills

Type of property: New Home: ☒ Extension / Renovation: ☐ Other: ☐

PERIMETER		PENETRATIONS		OTHER	
HomeGuard TMB .2mm		HomeGuard Strips		Brick Pier 350 X 350	
Home Guard Blue. 25mm	75	HomeGuard 100mm	12	Brick Pier 350 X 390	
HomeGuard DPC .5mm		HomeGuard 80mm		Retaining Wall	12 sq M
		HomeGuard 40mm			

Plan of Building Showing Treated Areas (Not to Scale)
Legend: — — = Perimeter Treated ○ = Penetrations Treated □ = Treated Brick Piers



I certify that the above application of a termite control agent has been applied in accordance with AS 3660.1.

Warranty / Certificate Number #
 0220142XRJ

Date Completed: 18.02.2014

Installers Name: Warren O'Dare

Signature:



HomeGuard
 Termite Moisture Barrier

HIA Green



Terms and Conditions

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this Certificate whether in whole or in part does so at their own risk.

1. A Termite Protection Program is dependent upon the provision of a complete, treated soil barrier around the structure(s) using approved Termite Control Agents. If this treated soil barrier is in any way disturbed then re-entry by subterranean termites is possible.
2. With Pre-Construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS 3660.1 before the treatment is commenced.
3. The Australian Standard AS 3660 highly recommends inspections at intervals not exceeding 12 months. Where the termite risk is high or the building type is susceptible to termite attack, more frequent inspection (3-6 months) should be undertaken. Termites can build around barriers but they can then be detected more readily during routine inspections.
4. No liability is accepted for any treatment failure unless all the treatment requirements have been completed and a Certificate of Completion issued.
5. This treatment only applies to the protection of the structure(s) as detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against any other pests. In particular it does not provide any protection against 'drywood termites', FAMILY: KALOTERMITIDAE.
6. **No responsibility is accepted, or warranty implied, for any timber damage that may occur as the result of past, current or future termite activity.**
7. This termite protection program can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awnings, verandahs, etc), introducing infested materials, disturbing external gardens, pathways, etc adjacent to the areas protected and through establishing lawns &/or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the termite protection barrier). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the soil barrier is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered up by garden materials eg soil, pine bark or similar. Also air vents or weep holes must never be blocked.
9. Do not use untreated timbers for garden beds or retaining walls as they may attract termites.
10. In the event of any controversy or claim arising out of, or relating to this Certificate, it will be settled by arbitration, in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

VERY IMPORTANT

The completion of this Certificate does not in itself certify that the structure treated overleaf has been protected in compliance with AS 3660.

A Certificate of Completion must be provided confirming that all elements of the Termite Treatment Program in accord with AS 3660 have been completed.

IMPORTANT INFORMATION: The Australian Standard AS 3660 *Protection of buildings from subterranean termites* provides details for minimising the risks to buildings from termite attack, and methods for treatment to control termite infestations. The provision of a complete termite barrier will impede concealed termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspection.

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 3 - 6 156 Findlane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 2

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Perimeter,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

18/02/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____

☒ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Install Metal Roof Sheetting,

Install Fascia & Gutter

Install Flashings

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 40 /156 Finnsane Road, Building 2

Alexandra Hills

Postcode 4161

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

Brisbane

3. Building/structure description

Building/structure description

Class of building / structure

RESIDENTIAL

CLASS 1A

4. Description of components certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Custom Orb Roof Sheet

Metal Fascia and Gutter

Metal Battens

Apron Flashings, Barge and Parpet Capping Colorbond Steel

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved from 1/0
Version 1.11.11

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In Accordance with A.S 1562.1

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steven Wyndham

Company name if applicable

Wyndham Metal Roofing

Contact person

Steven wyndham

Phone no. business hours

07 5563 2621

Mobile no.

0421 673 255

Fax no.

07 5563 2631

Email address

admin@wmroofing.com.au

Postal address

Unit 9/14 Activity Crescent

Molendinar

Postcode 4214

Licence class

Roof and Wall Cladding

Licence number

1100181

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

27/06/2014



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .					
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input type="checkbox"/> Aspect of building work (indicate the aspect) _____</p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the license class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing license is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>INSTALLATION OF INSULATION TO WALLS AND CEILINGS</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>					
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>LOT 40 FINUCAN ROAD – BLD 2 – UNITS 3, 4, 5 & 6</p> <p>ALEXANDRA HILLS</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>_____</p>					
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p><input type="checkbox"/> A single dwelling being a detached house or one or more attached dwellings</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>1A</p> <p>_____</p> <p>_____</p> <p>_____</p>				
<p>LOCAL GOVERNMENT USE ONLY</p> <table border="1"> <tr> <td data-bbox="97 1848 391 1890">DATE RECEIVED</td> <td data-bbox="391 1848 758 1890"></td> <td data-bbox="758 1848 1157 1890">REFERENCE NUMBER/S</td> <td data-bbox="1157 1848 1489 1890"></td> </tr> </table>			DATE RECEIVED		REFERENCE NUMBER/S	
DATE RECEIVED		REFERENCE NUMBER/S				

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

VAPOUR PERM. WRAP TO EXTERNAL WALLS INCLUDING GABLES
R1.5 INSULATION BATTS TO EXTERNAL WALLS
14kg – 50mm INSULATION TO INTERNAL WALLS AS PER PLAN
14kg – 75 mm INSULATION TO DUCTS AS PER PLAN
R2.5 INSULATION TO CEILINGS AS PER PLAN
R2.5 INSULATION TO CEILINGS BETWEEN UNITS AS PER PLAN

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

The above product meets the current BCA, Australian Standards AS/NZS 4859.1

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

ACCESS INSULATION PTY LTD

Company name if applicable

Access Insulation Pty Ltd

Contact person

David Comerford (Director)

Phone no. business hours

07 3809 0000

Mobile no.

0438 222 377

Fax no.

07 3809 0777

Email address

info@accessinsulation.com.au

Postal address

UNIT 1/62 EASTERN ROAD

BROWNS PLAINS

Postcode 4118

Licence class

Insulation, Ventilation & Skylight Installation

Licence number

BSA 743951

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

David Comerford

Date

01/04/2014

Compliance Certificate for building Design or Specification

15

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

FINUCANE RD 156 UNIT 3&6

ALEXANDRA HILLS QLD 4161

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply & Install Shower Screens, Mirrors & Wardrobe Doors

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Manufactured to and glazed with

'A' Grade Safety Glass

In accordance with the National Construction Code.

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

Approved form 15
Version 2 02/08

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As per construction drawings provided

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOW & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4030

Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

[Handwritten Signature]

Date

01/05/2014



Notice Of Engagement as Building Certifier



Sustainable Planning Act 2009

The Assessment Manager
REDLAND CITY COUNCIL
PO Box 21
Cleveland
Brisbane 4163

109A Shore Street North
CLEVELAND QLD 4163
AUSTRALIA
A.C.N
Phone : (07) 3821 8777 Fax : (07) 3821 8725
E-Mail : info@thecertifier.com

Pursuant to Sustainable Planning Act 2009, I hereby notify you that I have been engaged as the building certifier for the building work required to be assessed under the Building Act, on the following project. Please advise if there is anything that would prohibit the issue of decision notice (Building) for the works

Property Description

Lot: 40 Finucane Road Alexandra Hills (RP No: 79330)

OUR REF#: C1211330

Owners Name

Home Town Villa Ltd

Applicant

Home Town Villas Pty Ltd

Development Description

Development Permit, on: Units

Description Of Work: Construction of 10 x units - Class 2

Date Of Engagement 31 OCT 13

Name of Certifier: Luke Jones

Signature

Accreditation No: A1035338

Application Identification Label

Application No	BX305236	Application Date	07/02/2014	Estimated Cost	\$1,475,000.00
Related Apps					
Owners	Home Town Villas Pty Ltd	Service Address	PO Box 276 CLEVELAND QLD 4163		
Builder	Sandsky Developments	Service Address	Po Box 3353 HELENSVALE TC QLD 4212		
	Home Ph		Work Ph	1300 655210	
	Fax		Mobile		
Site Address	156 Finucane Road Alexandra Hills QLD 4161				
Legal Desc	Lot 40 RP 79330 Vol 13574201	Property No	9827		
		Land No/s	115725		
Description	Multiple Dwellings x 10				
	Commercial Use				
	MultipleDwl-DualOcc-Village				

Land Attributes:

Land No	Class	Type	Status	Description
115725	Census	Census	C	Census District
115725	centroid	centroid	c	Easting & Northing Coordinates for Land
115725	District	1	C	Mainland
115725	ElectDiv	ElectDiv	C	Electoral Division 2011
115725	LandUse	57	C	VACANT LAND
115725	LocLawInsp	InspRun	C	Local Law Inspection Run
115725	mapref	mapref	C	Map & Reference
115725	MapRef	UBD MapR	C	UBD Map Reference
115725	PBPlanning	KoalaSPRP	C	SEQ Koala SPRP
115725	RegLandUse	UF	C	Urban Footprint
115725	Tenure	FH	C	Freehold
115725	ZoneMP	MDR	C	MDR - Medium Density Residential
115725	ZOverlays	RoadRail	C	Road and Rail Noise Impact Overlay

Site Applications:

ID	Decision	Description	Date
BA90.2046	DEVEL.P	Conv - ADDITION	08/08/1990
BD154783	#APPROV	Referral Agency Demolition - Dwelling	13/05/2013
BX303938	DEVEL.P	Demolition- Dwelling	26/04/2013
CRAM20001		PEOPLE AT 156 FINUCANE ROAD,ALEX. HILLS HAV	02/09/1991
CRAM20150		2 ROT FROM 156 ARE CONSTANTLY BARKING, (BA	02/11/1992
CRAM20164		COMPLAINED THAT TWO ROTTYS FROM 156 CAN	30/11/1992
CRAM21277		NO RESPONSE TO REGO OR NOTICE. REGO OR FIN	01/08/1996
CRAM21662		LETTER RECEIVED FROM MISS MCDONNELL ABO	09/02/1998
CRAM21703		THIS PROPERTY HAS 5 CATS	14/04/1998
CRDC20440		Someone contacted the Mayor's office today and would not	18/05/1999
CRDC51007	Processing	PROACTIVE COMPLIANCE AUDIT - MDAP	13/09/2013
CRDC51044	COMPLE	Prestart for OPW001542	04/12/2013

Application Identification Label

Application No	BX305236	Application Date	07/02/2014	Estimated Cost	\$1,475,000.00
CRID502768	COMPLE	Vegetation Enquiry			02/03/2010
CRID506246		Pre-Lodgement Meeting			10/05/2012
CRID509802	CLOSED	Discretionary variation (not a generally in accordance requ			17/12/2013
CRLL210782		THE SMELL ON THIS PROPERTY IS VERY BAD - TH			14/04/1998
CRLL210957		MRS HOUGH ADVISES THAT HER NEIGHBOURS BL			07/05/1998
CRQC51632	COMPLE	Salih was enquiring if water consumption has gone down in			18/01/2010
CRWR50072	COMPLE	Jenny Watson of L J Hooker called to request a replacment			15/05/2006
CRWR53200	COMPLE	Waste half emptied.			15/10/2010
CRWR54559	CLOSED	2 bins presented			20/09/2011
CRWR54897	COMPLE	Missed recycle service - unsure if lid was missing			21/10/2011
CRWR54898	COMPLE	Please repair recycle bin lid. The lid has totally come off a			21/10/2011
CRWR57859	CLOSED	Bins to be collected they are on the kerb			24/10/2013
CRWS22695		UNABLE TO TURN OFF STOP VALVE AND PATH BO			30/01/1997
MCU012979	LAPSED	LAPSED - Multiple Dwelling x 10			12/11/2012
MCU013013	DEVELPE	Multiple Dwelling x 10			29/01/2013
OPW001542	COMPCE	Operational works (Civil only)- Multiple dwelling x 10			16/10/2013
OPW001589	COMPLIA	Landscaping Works - Multiple Dwelling x 10 units			24/01/2014
P463	DEVEL.P	Conv- SUBDIVISION			05/11/1993
PC041406		Property Master Print			
PC042350		Property Master Print			
PD230906	DEVEL.P	Multiple Dwelling x 10			16/12/2013
RFC060423	COMPLE	HOME TOWN VAILLAS PTY LTD PURCHASE FROM			14/05/2013
S.3443.1	Processing	Conv - SUBDIVISION INTO TWO LOTS- STANDARD			08/11/1993

Notice Of Engagement as Building Certifier



Sustainable Planning Act 2009

The Assessment Manager
REDLAND CITY COUNCIL
PO Box 21
Cleveland
Brisbane 4163

109A Shore Street North
CLEVELAND QLD 4163
AUSTRALIA
A.C.N

Phone : (07) 3821 8777 Fax : (07) 3821 8725
E-Mail : info@thecertifier.com

Pursuant to Sustainable Planning Act 2009, I hereby notify you that I have been engaged as the building certifier for the building work required to be assessed under the Building Act, on the following project. Please advise if there is anything that would prohibit the issue of decision notice (Building) for the works

Property Description

Lot: 40 Finucane Road Alexandra Hills (RP No: 79330)

OUR REF#: C1211330

Owners Name

Home Town Villa Ltd

Applicant

Home Town Villas Pty Ltd

Development Description

Development Permit, on: Units

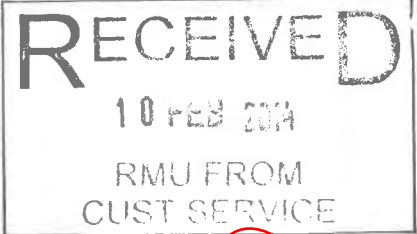
Description Of Work: Construction of 10 x units - Class 2

Date Of Engagement 31 OCT 13

Name of Certifier: Luke Jones

Signature

Accreditation No: A1035338



Redland City Council
Application Balance Statement

Reference No/s

Application Date 07/02/2014

BX305236 Building Application - External Certifier

Applicant Home Town Villas Pty Ltd

Service Address PO Box 276
CLEVELAND QLD 4163

Site Address 156 Finucane Road Alexandra
Hills QLD 4161

Property No 9827

Legal Desc Lot 40 RP 79330 Vol 13574201

Land No/s 115725

Description Multiple Dwellings x 10

Charges:

Type	Description	Application (Charge Ctr)	Balance
BC.RSC	Commercial Lodgement	39088479	\$168.90

Cashier	Receipt Number	Receipt Amount	Date	Total Due
maryw	1015932	\$168.90	07/02/2014	<u>\$168.90</u>

Friday, 7 February, 2014 2:17:58 PM

Page 1

Private Certifier Checklist

Details

Private Certifier Name:

1- Certifier

Site Address:

156 Finucane Rd, Alex Hills

Property Description

☒
☐
☐

Correct

Incorrect – entered as:

Move Land Memo created

Owner's Details

☒
☐

Owner's details match proclaim

Owner's details incorrect

☐
☐
☐

Owner's details left as per Proclaim (attach blue file note)

Contract attached

Owner's details as proclaim – not enough details supplied

Associations/Attributes

☒
☒
☐
☒
☒

Applicant

Builder's details provided

☐

Builder not added - not enough details supplied

Private Certifier

Estimated cost

Receipting

☒
☒

Check payee name is same as credit card/cheque

Check address details match payee

Collate Application

☒
☒

Two receipt forms from BX process (one for Private Certifier and one to be attached to plans)

One ID label

Comments

CSO's Name: Enter name

Mary W

Date: 07/02/2014 9:55 AM

Lodgement of Building Work Documentation

20

1. Building description	Building Use Commercial Building Class Class 2 Shop / tenancy no. Storey / level 0
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (Include no., street, suburb/locality & postcode) 156 Finucane Road Alexandra Hills QLD Postcode 4161 Lot & plan details (Attach list if necessary) Lot No: 40 Plan Number: RP No: 79330 Shop / tenancy no. (if applicable) Storey / level (if applicable) 0 Total area of land (m ² / ha) 2023.4 In which local government area is the land situated? REDLAND CITY COUNCIL
3. Documents lodged Please attach one copy of these documents, submitted under section 5.3.5 of the Integrated Planning Act 1998 and section 26 of the Standard Building Regulation 1993 (Tick applicable box/es) The private certifier must ensure each document is marked to identify it as a document approved by the private certifier and relating to the development approval. Before giving the documents to the assessment manager the private certifier must ensure the approved form for the application is completed.	<input checked="" type="checkbox"/> The application <input checked="" type="checkbox"/> The plans, drawings, specifications and other information lodged by the applicant <input checked="" type="checkbox"/> A list of required fire safety installations and required special fire services applying to the building work <input checked="" type="checkbox"/> Certified information given by competent persons and relied upon to decide the application. <input checked="" type="checkbox"/> If the building work uses a performance based solution - a notice of the reasons upon which the approval is based. <input checked="" type="checkbox"/> The attached list of development information relied on to decide the application. <input checked="" type="checkbox"/> The decision notice or the negotiated decision notice.
4. Confirmation receipt If the assessment manager is a local government, the local government must immediately give the private certifier a document acknowledging the receipt of the archiving fee. The private certifier must not give the applicant any approved documents until the private certifier has received the acknowledgement from the assessment manager.	Private certifier's name Luke Jones / The Certifier Building certifier reference number C1211330 Postal address CLEVELAND QLD Postcode 4163 Please Fax acknowledgement on Fax No (07) 3821 8725
5. Local Government acknowledgement This section is optional and to be used by the local government at their discretion.	<div style="text-align: right;">Local Government use only</div> The Local Government acknowledges payment of the archiving fee Local government reference BX 325236 For future enquiries concerning these documents quote this reference Archiving fee \$ 168.90 Fee receipt number (if applicable) 1015932 Date acknowledgement issued 7/2/14

6. Development information
relied on

The development information
identified in this section was relied
upon in deciding the attached
development application.

Item No	Development Information Relied On	Tick if information relied upon..
A – Infrastructure/services information		
A1	Plan of any sewer main or sanitary drain within or adjacent to the property including approved connection point and any limitations on capacity	
A2	Plan of any water main within or adjacent to the property, including approved connection point and any limitations on capacity	
A3	Plan of any storm water main or drain within or adjacent to the property including approved connection point and any limitations on capacity	
A4	Plans of any overland flow path within the property	
A5	Details of any required land application area for on-site disposal of sewerage, including any reserve area	
A6	Details of approved swimming pool discharge point	
B – Information specific to property		
B1	Local government easements affecting the land	
B2	Flood level information, including minimum floor levels applicable to the property	
B3	Land-slip area applicable to the property (including mine subsidence)	
B4	Location and nature of any filling that has been placed on the property	
B5	Erosion control requirements applicable to the property	
B6	Acid-sulphate soils contained in the property	
B7	Airport height limitations applicable to the property	
B8	Contaminated soil contained on the property	
B9	Declared bushfire prone areas that affect the property	
B10	Local laws that affect the property	
C - Engineering information		
C1	Design standards/location requirements for vehicle crossings applicable to the land	
C2	Limitations applicable to on-site driveway gradients or locations, for the property	
C3	Drainage problem areas that affect the property	
C4	Levels of proposed road or footway works that affect the property	
D – Existing Building Information		
D1	Existing buildings on the property	
D2	Copies of current Certificates of Classification for the property	
D3	Hydraulic services plans (existing commercial buildings)	

Right to Information

IDAS form 1—Application details

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for **ALL** development applications.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form.

For all development applications, you must:

- complete this form (*IDAS form 1—Application details*)
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form and any other IDAS form relevant to your application must be used for development applications relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994* and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. Whenever a planning scheme is mentioned, take it to mean land use plan for the strategic port land, Brisbane core port land or airport land.

PLEASE NOTE: This form is not required to accompany requests for compliance assessment.

This form can also be completed online using MyDAS at www.dsdip.qld.gov.au/MyDAS

Mandatory requirements

Applicant details (Note: the applicant is the person responsible for making the application and need not be the owner of the land. The applicant is responsible for ensuring the information provided on all IDAS application forms is correct. Any development permit or preliminary approval that may be issued as a consequence of this application will be issued to the applicant.)

Name/s (individual or company name in full)

HomeTown Villas Limited

For companies, contact name

CEO - Greg Barry

Postal address

Po Box 276

Suburb Cleveland

State QLD

Postcode 4163

Country Australia

Contact phone number

07 3821 2699

Mobile number (non-mandatory requirement)

0421 660 073

Fax number (non-mandatory requirement)

07 3821 6799

Email address (non-mandatory requirement)

marcus

@htvillas.com.au

Applicant's reference number (non-mandatory requirement)

1. What is the nature of the development proposed and what type of approval is being sought?

Table A—Aspect 1 of the application (If there are additional aspects to the application please list in Table B—Aspect 2.)

a) What is the nature of the development? (Please only tick one box.)

☐ Material change of use

☐ Reconfiguring a lot

☒ Building work

☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval
under s241 of SPA

☐ Preliminary approval
under s241 and s242
of SPA

☐ Development permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

Ten unit apartment building - Multi-unit dwelling

d) What is the level of assessment? (Please only tick one box.)

☐ Impact assessment

☒ Code assessment

Table B—Aspect 2 of the application (If there are additional aspects to the application please list in Table C—Additional aspects of the application.)

a) What is the nature of development? (Please only tick one box.)

☐ Material change of use

☐ Reconfiguring a lot

☐ Building work

☐ Operational work

b) What is the approval type? (Please only tick one box.)

☐ Preliminary approval
under s241 of SPA

☒ Preliminary approval
under s241 and s242
of SPA

☐ Development
permit

c) Provide a brief description of the proposal, including use definition and number of buildings or structures where applicable (e.g. six unit apartment building defined as a *multi-unit dwelling*, 30 lot residential subdivision etc.)

d) What is the level of assessment?

☐ Impact assessment

☐ Code assessment

Table C—Additional aspects of the application (If there are additional aspects to the application please list in a separate table on an extra page and attach to this form.)

☐ Refer attached schedule

☐ Not required

2. Location of the premises (Complete Table D and/or Table E as applicable. Identify each lot in a separate row.)

Table D—Street address and lot on plan for the premises or street address and lot on plan for the land adjoining or adjacent to the premises (Note: this table is to be used for applications involving taking or interfering with water). (Attach a separate schedule if there is insufficient space in this table.)

- ☒ Street address **and** lot on plan (All lots must be listed.)
- ☐ Street address **and** lot on plan for the land adjoining or adjacent to the premises (Appropriate for development in water but adjoining or adjacent to land, e.g. jetty, pontoon. All lots must be listed.)

Street address					Lot on plan description		Local government area (e.g. Logan, Cairns)
Lot	Unit no.	Street no.	Street name and official suburb/ locality name	Post-code	Lot no.	Plan type and plan no.	
i)		156	Finucane Road, Alexandra Hills QLD	4161	40	RP79330	Capalaba
ii)							
iii)							

Planning scheme details (If the premises involves multiple zones, clearly identify the relevant zone/s for each lot in a separate row in the below table. Non-mandatory)

Lot	Applicable zone / precinct	Applicable local plan / precinct	Applicable overlay/s
i)			
ii)			
iii)			

Table E—Premises coordinates (Appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay.) (Attach a separate schedule if there is insufficient space in this table.)

Coordinates (Note: place each set of coordinates in a separate row)				Zone reference	Datum	Local government area (if applicable)
Easting	Northing	Latitude	Longitude			
					<input type="checkbox"/> GDA94 <input type="checkbox"/> WGS84 <input type="checkbox"/> other	

3. Total area of the premises on which the development is proposed (indicate square metres)

2023m2

4. Current use/s of the premises (e.g. vacant land, house, apartment building, cane farm etc.)

Existing dwelling - Vacant Land refer to demolition order application Reference no: BD 154783

5. Are there any current approvals (e.g. a preliminary approval) associated with this application? (Non mandatory requirement)

☐ No ☒ Yes—provide details below

List of approval reference/s	Date approved (dd/mm/yy)	Date approval lapses (dd/mm/yy)
PP 23096, MCW01313	March 13	

6. Is owner's consent required for this application? (Refer to notes at the end of this form for more information.)

☒ No
☐ Yes—complete either Table F, Table G or Table H as applicable

Table F

Name of owner/s of the land	
I/We, the above-mentioned owner/s of the land, consent to the making of this application.	
Signature of owner/s of the land	
Date	

Table G

Name of owner/s of the land	
<input type="checkbox"/> The owner's written consent is attached or will be provided separately to the assessment manager.	

Table H

Name of owner/s of the land	
<input type="checkbox"/> By making this application, I, the applicant, declare that the owner has given written consent to the making of the application.	

7. Identify if any of the following apply to the premises (Tick applicable box/es.)

- ☐ Adjacent to a water body, watercourse or aquifer (e.g. creek, river, lake, canal)—complete Table I
- ☐ On strategic port land under the *Transport Infrastructure Act 1994*—complete Table J
- ☐ In a tidal water area—complete Table K
- ☐ On Brisbane core port land under the *Transport Infrastructure Act 1994* (No table requires completion.)
- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008* (no table requires completion)

Table I

Name of water body, watercourse or aquifer	
--	--

Table J

Lot on plan description for strategic port land	Port authority for the lot

Table K

Name of local government for the tidal area (if applicable)	Port authority for the tidal area (if applicable)

8. Are there any existing easements on the premises? (e.g. for vehicular access, electricity, overland flow, water etc)

☐ No ☒ Yes—ensure the type, location and dimension of each easement is included in the plans submitted

9. Does the proposal include new building work or operational work on the premises? (Including any services)

☐ No ☒ Yes—ensure the nature, location and dimension of proposed works are included in plans submitted

10. Is the payment of a portable long service leave levy applicable to this application? (Refer to notes at the end of this form for more information.)

☐ No—go to question 12 ☒ Yes

11. Has the portable long service leave levy been paid? (Refer to notes at the end of this form for more information.)

☐ No
☒ Yes—complete Table L and submit with this application the yellow local government/private certifier's copy of the receipted QLeave form

Table L

Amount paid	Date paid (dd/mm/yy)	QLeave project number (6 digit number starting with A, B, E, L or P)
\$7,744.00	7/11/14	E153546

12. Has the local government agreed to apply a superseded planning scheme to this application under section 96 of the Sustainable Planning Act 2009?

☒ No
☐ Yes—please provide details below

Name of local government	Date of written notice given by local government (dd/mm/yy)	Reference number of written notice given by local government (if applicable)

- 13. List below all of the forms and supporting information that accompany this application** (Include all IDAS forms, checklists, mandatory supporting information etc. that will be submitted as part of this application. Note: this question does not apply for applications made online using MyDAS)

Description of attachment or title of attachment	Method of lodgement to assessment manager

14. Applicant's declaration

☒ By making this application, I declare that all information in this application is true and correct (Note: it is unlawful to provide false or misleading information)

Notes for completing this form

- Section 261 of the *Sustainable Planning Act 2009* prescribes when an application is a properly-made application. Note, the assessment manager has discretion to accept an application as properly made despite any non-compliance with the requirement to provide mandatory supporting information under section 260(1)(c) of the *Sustainable Planning Act 2009*

Applicant details

- Where the applicant is not a natural person, ensure the applicant entity is a real legal entity.

Question 1

- Schedule 3 of the *Sustainable Planning Regulation 2009* identifies assessable development and the type of assessment. Where schedule 3 identifies assessable development as "various aspects of development" the applicant must identify each aspect of the development on Tables A, B and C respectively and as required.

Question 6

- Section 263 of the *Sustainable Planning Act 2009* sets out when the consent of the owner of the land is required for an application. Section 260(1)(e) of the *Sustainable Planning Act 2009* provides that if the owner's consent is required under section 263, then an application must contain, or be accompanied by, the written consent of the owner, or include a declaration by the applicant that the owner has given written consent to the making of the application. If a development application relates to a state resource, the application is not required to be supported by evidence of an allocation or entitlement to a state resource. However, where the state is the owner of the subject land, the written consent of the state, as landowner, may be required. Allocation or entitlement to the state resource is a separate process and will need to be obtained before development commences.

Question 11

- The *Building and Construction Industry (Portable Long Service Leave) Act 1991* prescribes when the portable long service leave levy is payable.
- The portable long service leave levy amount and other prescribed percentages and rates for calculating the levy are prescribed in the *Building and Construction Industry (Portable Long Service Leave) Regulation 2002*.

Question 12

- The portable long service leave levy need not be paid when the application is made, but the *Building and Construction Industry (Portable Long Service Leave) Act 1991* requires the levy to be paid before a development permit is issued.
- Building and construction industry notification and payment forms are available from any Queensland post office or agency, on request from QLeave, or can be completed on the QLeave website at www.qleave.qld.gov.au. For further information contact QLeave on 1800 803 481 or visit www.qleave.qld.gov.au.

Privacy—The information collected in this form will be used by the Department of State Development, Infrastructure and Planning (DSDIP), assessment manager, referral agency and/or building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*) or as required by Parliament. This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

Reference numbers

NOTIFICATION OF ENGAGEMENT OF A PRIVATE CERTIFIER

To

Council. I have been engaged as the private certifier for the building work referred to in this application

Date of engagement	Name	BSA Certification license number	Building classification/s
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

QLEAVE NOTIFICATION AND PAYMENT (For completion by assessment manager or private certifier if applicable.)

Description of the work	QLeave project number	Amount paid (\$)	Date paid	Date receipted form sighted by assessment manager	Name of officer who sighted the form
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Department of State Development, Infrastructure and Planning
PO Box 15009 City East Qld 4002
tel 13 QGOV (13 74 68)
info@dsdip.qld.gov.au

www.dsdip.qld.gov.au

IDAS form 1—Application details
Version 3.0—1 July 2013

IDAS form 2—Building work requiring assessment against the *Building Act 1975*

(Sustainable Planning Act 2009 version 3.0 effective 1 July 2013)

This form must be used for development applications for building work requiring assessment against the *Building Act 1975*.

You **MUST** complete **ALL** questions that are stated to be a mandatory requirement unless otherwise identified on this form

For all development applications, you must:

- complete *IDAS form 1—Application details*
- complete any other forms relevant to your application
- provide any mandatory supporting information identified on the forms as being required to accompany your application.

Attach extra pages if there is insufficient space on this form.

All terms used on this form have the meaning given in the *Sustainable Planning Act 2009* (SPA) or the Sustainable Planning Regulation 2009.

This form can also be completed online using MyDAS at www.dsdp.qld.gov.au/MyDAS

Mandatory requirements

1. **Owner's details** (The applicant is responsible for ensuring the owner's details are correct. Where there is more than one owner, please provide additional details on an attachment to this form.)

Name/s (individual or company name in full)	HomeTown Villas Limited		
For companies, contact name	CEO - Greg Barry		
Postal address	Po Box 276		
	Suburb	Cleveland	
	State	QLD	Postcode 4163
	Country	Australia	
Contact phone number	07 3821 2699		
Fax number (non-mandatory requirement)	07 3821 6799		
Email address (non-mandatory requirement)	marcus		
	@htvillas.com.au		

2. **Builder's details** (If known at the time of the lodgement. Where there is more than one builder, please provide additional details on an attachment to this form.)

Name/s (individual or company name in full)	Sandsky Developments Pty Ltd
---	------------------------------

For companies, contact name

Jarod Horgan

BSA licence number or owner-builder number

1014147

Postal address

Unit 8 / 28-30 New Heath Drive

Suburb Helensvale

State QLD

Postcode 4212

Country Australia

Contact phone number

1300 655 210

Fax number (non-mandatory requirement)

1300 655 230

Email address (non-mandatory requirement)

jarod

@sandsky.com.au

3. Nature of the proposed building work (Tick all applicable boxes.)

- ☒ new building or structure—complete Table A ☐ demolition—complete Table B
- ☐ repairs, alterations or additions—complete Table A ☐ change of building classification—complete Table C
- ☐ removal—complete Table B

Table A

Description of new buildings, structures, repairs, alterations or additions	Building classification/s	Maximum no. of storeys	Existing floor area being retained	Proposed new floor area
10x Units	2	2		220.79m ² (each unit)

Table B

Description of buildings or structures to be demolished or removed

Table C

Current building classification/s	Proposed building classification/s

4. Are there any current approvals associated with the proposed building work?

☐ No ☒ Yes—complete Table D

Table D

List of approvals (e.g. development permit, preliminary approval etc.)	Date approved	Date approval lapses
Demolition order - Reference BD 154 783 Operational Works - Reference OPW001542 Decision stage	6 June 2013	

5. What is the dollar value of the proposed building work? (Inc GST, materials and labour.) **\$ 1,475,000**

6. Proposed construction materials (tick applicable boxes)

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass	<input type="checkbox"/> Stone/concrete	<input checked="" type="checkbox"/> Other
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Fibre cement	
Frame	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Other	
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other		
Roof covering	<input type="checkbox"/> Slate/ concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement	<input checked="" type="checkbox"/> Aluminium	<input type="checkbox"/> Steel
	<input type="checkbox"/> Other				

7. Details of proposed new residential building work

Description of proposed building work (Tick all applicable boxes below.)	No. of existing dwelling units	No. of dwelling units to be demolished	No. of new additional dwelling units
<input type="checkbox"/> Single detached house (new and alterations)			
<input type="checkbox"/> Relocated single detached house			
<input type="checkbox"/> Kit house			
<input type="checkbox"/> Existing transportable/relocatable house	n/a	n/a	n/a
<input type="checkbox"/> New transportable/relocatable house	n/a	n/a	n/a
<input type="checkbox"/> Semi-attached house (e.g. duplex, dual occupancy)			
<input type="checkbox"/> Apartment, unit or flat attached to an existing house			
<input checked="" type="checkbox"/> Apartment building	1	1	10
<input type="checkbox"/> Attached housing (e.g. townhouse, terrace house)			

8. Does the applicant have reasons why certain development information (e.g. private information about the applicant, plans, drawings and specifications for plans) should not be made available for inspection and purchase?

☒ No ☐ Yes—complete Table E

Table E

Development information	Reasons information should not be available

Non-mandatory requirements

9. Does the owner agree to release their name and the premises' address for marketing purposes? (Non-mandatory. If this question is not answered, the default response is no.)

☒ No ☐ Yes

Mandatory supporting information

10. Confirm that the following mandatory supporting information accompanies this application

Mandatory supporting information	Confirmation of lodgement	Method of lodgement
Plans, drawings and specifications to enable assessment against section 30 (Building assessment provisions) of the <i>Building Act 1975</i> to comply with the information requirements of chapter 3, parts 1 and 2 of the <i>Building Act 1975</i>	<input type="checkbox"/> Confirmed	

Privacy—The information collected in this form will be used by the assessment manager and building certifier in accordance with the processing and assessment of your application. Your personal details should not be disclosed for a purpose outside of the IDAS process or the provisions about public access to planning and development information in the *Sustainable Planning Act 2009*, except where required by legislation (including the *Right to Information Act 2009*). This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

OFFICE USE ONLY

Date received

Reference numbers

FOR COMPLETION BY THE BUILDING CERTIFIER

Building classification/s of approved building work	BSA Insurance receipt number	BSA Certification Licence number

The *Sustainable Planning Act 2009* is administered by the Department of State Development, Infrastructure and Planning. This form and all other required application materials should be sent to your assessment manager and any referral agency.

Department of State Development, Infrastructure and Planning
PO Box 15009 City East Qld 4002
tel 13 QGOV (13 74 68)
info@dssdp.qld.gov.au

www.dssdp.qld.gov.au

IDAS form 2 —Building work requiring assessment
against the Building Act 1975
(version 3.0—1 July 2013)

Development Application Decision Notice

Sustainable Planning Act 2009

Home Town Villas Pty Ltd
PO Box 267
QLD 4163



The Development Application For:
Lot:40 Finucane Road
Alexandra Hills
(RP No: 79330)

109A Shore Street North
CLEVELAND QLD 4163
AUSTRALIA
A.C.N

Phone : (07) 3821 8777 Fax : (07) 3821 8725
E-Mail : info@thecertifier.com

Was assessed and **Approved**.

The decision was made by **Luke Jones on the 23 JAN 14**.

Local Government Area: REDLAND CITY COUNCIL

Referral Agencies

Concurrence

Redland City Council Referral agency application number
MCU013013

Advice

Nil

Conditions (If Applicable) See Attached Page

Subject to water and sewerage approval from REDLAND CITY COUNCIL

Approval Type

Development Permit, to Construction of 10 x units - Class 2

Rights Of Appeal:

"Sustainable Planning Act 2009", the applicant and the referral agency have a right of appeal against this decision to the Planning And Environment Court, or a Building And Development Tribunal.

Building Certifier

Name Luke Jones

Accreditation A1035338

Date: 23 JAN 14

Signature:

Development Application Decision Notice

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MANDATORY NOTICE FOR INSPECTIONS

Building Regulation 2006 AS AMENDED

This approval is subject to:

- (a) All works are to comply with the requirements of the Building Act 1975 as amended at the date of this building development approval
- (b) Plans marked with "The Certifier" logo form part of this approval.
- (c) Any alterations endorsed in red on these plans also form part of the conditions of the development approval.
- (d) Conditions on this development approval supersede notations or specification on the approved plans.
- (e) Forty eight hours (two working days) notice shall be provided when booking a mandatory inspection as indicated below.

Note: This approval will become void 24 months after the date below if the building work has not been completed and final certificate issued by this date(If removal house, this approval will become void if work is not started within 2 months or not completed within 6 months). BUILDING ACT 1975 AS AMENDED.

Failure of any of the mandatory inspections will result in additional inspections to be carried out at the Owners/Builders expense. Any enforcement action required through non-compliance issues will be undertaken at the Owners/Builders expense.

Note: A certificate from a competent person may be accepted at the discretion of the building certifier.

STANDARD BUILDING REQUIREMENTS

- 1 "Noise Level Impact Assessment" report requirements to be complied with.
- 2 A Registered Professional Engineer in Queensland shall inspect footings and slabs as detailed in the approval documents, and issue a signed Form 16 (Aspect inspection of work) to the builder. The builder must submit this document together with any other aspect certificates of the stage i.e. set out, termite application to the certifier. Work must not proceed past footings stage until the certifier has issued stage completion..
- 3 All work shall be carried out in accordance with the approved plans, specifications, current version of the Building Act 1975, current version the Building Regulation 2006, Building Code of Australia 2013, relevant Australian standards, current version of the Workplace Health and Safety Act 2011 and any directions given by The Certifier Pty Ltd.
- 4 Any cutting or filling of the site or construction of retaining walls or other structure on the site, shall not jeopardise any existing overland flow drainage system or cause ponding or nuisance from stormwater to neighbouring properties. Cut and fill to comply BCA's National Construction Code series volume 2, 2013. Clauses 3.1.1.3 and 3.1.1.4 respectively.
- 5 Applicant to apply to Local Authority to carry out works on Crossover or Kerb Channel prior to commencement of works
- 6 Applicant to apply to local Authority to remove any protected vegetation affected by proposed works
- 7 Bracings and/or bracing Panels, tie downs and fixing as per the approved plans, AS 1684.2 - 2010 and the applicable design but an RPEQ engineer.
- 8 Building to comply with Queensland Development Code requirements for water and energy efficiency measures as applicable, including:
 - (i) AAA rated shower roses in new bathrooms;
 - (ii) Pressure limiting devices reducing pressure to 500kpa max;
 - (iii) Dual flush toilets with max 6l full flush and 3l half flush;
 - (iv) Energy efficient lighting installed to at least 80% of floor area; and
 - (v) Greenhouse-efficient hotwater systems i.e. gas, heat pump or solar.A certificate of compliance for each item is required from the installer i.e plumber/electrician
- 9 Comply fully with Bers Assessment
- 10 Comply fully with Fire Separation BCA part 3.7.1 as amended

Development Application Decision Notice

Sustainable Planning Act 2009

Home Town Villas Pty Ltd
PO Box 267
QLD 4163



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(RP No: 79330)

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AUSTRALIA
A.C.N

Phone : (07) 3821 8777 Fax : (07) 3821 8725
E-Mail : info@thecertifier.com

STANDARD BUILDING REQUIREMENTS (Cont'd)

- 11 Construction of separating walls to comply with BCA 3.7.1 as amended
- 12 Construction to comply with BCA's National Construction Code series volume 2, 2013 Part 3.7.4 – BUSHFIRE AREAS . Bushfire risk level for the site is assessed as BAL _____. which requires construction in accordance with Australian Standard 3959 - 2009 as amended.
- 13 Construction to conform with the relevant AS1684.2 - 2010 and AS 4055 - 2012 for the wind area designated
- 14 Development of class 2 buildings to comply with legislative requirements for water and energy efficiency measures where applicable, including:
 - (i) AAA rated shower roses in new bathrooms;
 - (ii) Dual flush toilets with max 6l full flush and 3l half flush; and
 - (iii) Energy-efficient lighting installed to at least 80% of floor area.Certificate of compliance to be provided by installer, i.e plumber/electrician
- 15 Doors leading to required exits or forming part of a required exit must be readily openable without a key by a single hand action on a single device in accordance with D2.21
- 16 Doorways in fire walls to comply with C3.5 and/or C3.6
- 17 Driveway Maximum Gradient to be 1:4
- 18 Enclosure of space under stairs and ramps to comply with D2.8
- 19 Entrance doorways to all sole occupancy units at each floor level shall be protected by self-closing -/60/30 fire doors complying with AS1905-Part1.
- 20 Entrance doorways to all sole occupancy units at each floor level shall be protected by self-closing, tight fitting solid core doors not less than 35mm in thickness.
- 21 Gutter and Downpipes shall be fitted to comply with BCA's National Construction Code series volume 2, 2013 Part 3.5.2 and AS3500 - 2003 as amended
- 22 INSPECTIONS (Commercial work) In accordance with the current version of the Building Regulation 2006 section 24 and section 27, The Certifier Pty Ltd shall be given forty-eight (48) hours notice for inspection of the following:
 - (a) Foundations before footings are laid
 - (b) Slab or other reinforcement prior to encasement in concrete
 - (c) Damp-proofing and flashing prior to covering.
 - (d) Structural steelwork prior to covering
 - (e) Timber framing prior to lining
 - (f) Stormwater and drainage prior to backfilling
 - (g) Fire resistant construction during assembly
 - (h) On completion of building.
- 23 Masonry construction to comply with AS 3700 - 2011 and AS 4773 - 2010
- 24 Natural lighting to all habitable rooms to comply with BCA's National Construction Code series volume 2, 2013 Part 3.8.4 as amended
- 25 Proposed development shall not concentrate or divert any overland flow of stormwater so that it causes nuisance to adjoining properties. Any additional overland flow shall be disposed of via drainage gullies into an approved stormwater disposal system.
- 26 Provisions of floor waste in a class 2 or 3 building or class 4 part to comply with F1.11
- 27 Retaining walls:
 - o exceeding 1 metre high, or
 - o within 1.5m of a building or another retaining wallrequire building approval and certification by a registered (RPEQ) engineer.
- 28 Separation by Fire Walls to comply with BCA C2.7.

Development Application Decision Notice

Sustainable Planning Act 2009

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109 A Shore Street North
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Phone : (07) 3821 8777 Fax : (07) 3821 8725
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STANDARD BUILDING REQUIREMENTS (Cont'd)

- 29 Site drainage to comply with BCA's National Construction Code series volume 2, 2013 Part 3.1.2. and AS3500 3.2 as amended
- 30 Smoke alarms to be provided in accordance with BCA's National Construction Code series volume 2, 2013 Part 3.7.2 and A.S. 3786 as amended
NOTE: installation must be to AS 3786, connected to consumer mains power and located between each part of the building and bedrooms in hall ways, and at each storey.
- 31 Stormwater Drainage to comply with BCA's National Construction Code series volume 2, 2013 Part 3.1.2. and/or in accordance with the local council's specification
- 32 Structural Steel to comply with BCA's National Construction Code series volume 2, 2013 Part 3.4.4. as amended
- 33 Structural steel design must be certified by an Registered Professional Engineer of Queensland (RPEQ) in accordance with section 48 of the current Building Regulation 2006
- 34 The Building or part of a building that this Decision Notice relates to shall not be occupied until a certificate of classification is issued.
- 35 The applicant and/or builder must notify The Certifier Pty Ltd immediately of any deviation and/or discrepancy with or in the approved plans.
- 36 The building or part of a building affected by this permit shall not be occupied unless a Certificate of Classification has been issued by The Certifier Pty Ltd. A certificate of classification can only be issued upon written request.
- 37 The following certificates are required to be provided:
At footings stage: surveyors set-out, engineers footing inspections, termite protection,
At slab stage: engineers slab/reinforcement inspections, termite protection,
At frame stage: pre-assembled wall frames, pre-assembled floor trusses, pre-assembled roof trusses,
At final Stage: termite treatment, wet area waterproofing, glazing, smoke alarms, energy efficiency - (including insulation, shower roses, energy efficient lighting -80% minimum-, water pressure limiting devices, dual flush toilets) .
Standard government forms 15 and 16 are to be used for all required certificates.
- 38 The following works shall be inspected and certified by a Registered Professional Engineer: Fire hydrants, Fire hose reels, Fire extinguishers, Exit signs, Emergency lighting, Engineers inspections of construction, Mechanical ventilation systems, Penetrations in fire rated construction, Glazing, Wall wetting sprinkler, EWIS, etc.
- 39 This permit is issued on the basis that the works comply with the performance provisions of the Building Code of Australia. Deemed to satisfy criteria was used to measure the performance and the works were found to be "equivalent to the deemed to satisfy provisions"
- 40 This permit is issued on the basis that the works comply with the performance provisions of the Building Code of Australia. Deemed to satisfy criteria was used to measure the performance and the works were found to be "equivalent to the deemed to satisfy provisions"
- 41 To Comply with Part D3 of the BCA as amended "Access For People with a Disability".
- 42 Ventilation to comply with BCA's National Construction Code series volume 2, 2013 Part 3.8.5 as amended for natural ventilation and AS 1668.2 for mechanical ventilation. Note ducts to discharge external or the roof to be provided vents in soffits
- 43 Work on the footings shall not be commenced until full engineers details relating to the building have been submitted to and approved by The Certifier Pty Ltd.

End Conditions



CONSULTANT
STRUTTER CONSULTING ENGINEERS
67 LINKS AVE NORTH
EAGLE FARM 4009

CLIENT
C CHANGE INVESTMENTS
PO BOX 276
CLEVELAND 4163

ENGINEERING DRAWINGS
ENGINEERING DRAWINGS - CIVIL
Sheet Number Sheet Title

ASSOCIATED DRAWINGS

SURVEY
DRAWING
NO. AMDT. DRAWING INDEX

ASSOCIATED SURVEYOR

SURVEY
KEN McDONALD SURVEYS
14 VIRGINIA STREET
VIRGINIA, QLD 4034
PH 3865 3658
Fax 3865 7035

STANDARD DRAWINGS



LOCALITY PLAN

UBD MAP REF 184 K14

REAL PROPERTY DESCRIPTION
LOT 40 ON RP79330
PARISH OF CAPALABA
COUNTY OF STANLEY

SITE ADDRESS
156 FINUCANE RD
ALEXANDRA HILLS, QLD 4161
PROPOSED MULTI UNIT
DEVELOPMENT



SUBMISSION FOR APPROVAL
NOT FOR CONSTRUCTION

COUNCIL FILE REFERENCE No. MC0013013

DRAWING No. 27641-12CH-G01

Job No. 27641-12CH

FINUCANE ROAD

EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION

REDUNDANT DRIVEWAY TO BE REMOVED. NEW KERB AND CHANNEL TO BE REINSTATED TO MATCH EXISTING. REFER TO RSC STANDARD DRAWING R-RSC-6 FOR DETAILS.

PROPOSED NEW REALIGNED BOUNDARY

900 x 900 CLASS B COVER AND FRAME FOR ACCESS AND MAINTENANCE OF STORMFILTER 360 CARTRIDGES

450 x 450 GIP
SL 42.291
RL 41.682
SILT TRAP COLLE
DISCHARGE TO SEWER LINE
STRUCTURE DRAWING 27641-12CH-H02

150Ø uPVC
300 x 300 GIP

UNIT 4
FFL 42.645

UNIT 3
FFL 43.645

UNIT 8
FFL 41.255

UNIT 7
FFL 42.055

100Ø SLOTTED AGG PIPE BEHIND SPLIT LEVEL RETAINING WALL TO DISCHARGE INTO PIT.

IL 40.786

300 x 300 GIP
SL 41.500
IL 40.900

STORMWATER LAYOUT PLAN
SCALE 1:100

LEGEND PROPOSED

- FFL 42.045 DESIGN FINISH FLOOR LEVEL
- 44.000 MAJOR CONTOUR
- 44.200 MINOR CONTOUR
- 150Ø uPVC STORMWATER PIPE
- 100Ø ROOFWATER PIPE
- STORMWATER GRATED INLET
- EXTERNAL RETAINING WALL REFER 27641-12CH-E03 FOR DETAILS
- SUBSOIL DRAINAGE TO DISCHARGE TO ADJACENT PITS
- PROPOSED NEW BOUNDARY
- MANHOLE
- CLASS B COVER

LEGEND EXISTING

- TELSTRA CABLES
- SEWERAGE MAINS
- WATER MAINS
- STORMWATER MAINS
- LEVELS
- TREES TO BE REMOVED
- TREES TO REMAIN

EXISTING TREES AS MARKED TO BE RETAINED & PROTECTED DURING WORKS

CARE MUST BE TAKEN NOT TO DISTURB TREE ROOTS WITHIN CRITICAL ROOT ZONE OF EXISTING TREES. QUALIFIED ARBORIST TO SUPERVISE EXCAVATION.

NOTE

ENGINEER MUST BE NOTIFIED OF CHANGES TO DESIGN PLANS. IF NOT, AS CONSTRUCTED DRAWINGS WILL NOT BE ISSUED.

NOTE

ANY REDUNDANT DRIVEWAY CROSSOVERS AND DRAINAGE OUTLETS FROM THE KERB AND CHANNEL INCLUDING ANY ASSOCIATED PIPE WORK ACROSS THE FOOTWAY TO BE REMOVED AND REINSTATE THE KERB AND CHANNEL AND FOOTWAY TO LOCAL AUTHORITIES CURRENT SPECIFICATIONS AND STANDARDS.

WARNING

THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING SERVICES ON AND EXTERIOR TO THE SITE INCLUDING WATERMAINS, SEWERMAINS, TELECOMMUNICATIONS CABLES, ELECTRICAL CABLES, AND STORMWATER MAINS. ANY DAMAGE TO EXISTING SERVICES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.



SUBMISSION FOR APPROVAL
NOT FOR CONSTRUCTION

COUNCIL FILE REFERENCE No MC0013013



BRISBANE OFFICE:
67 Links Avenue North
EAGLE FARM 4009
PO Box 621
HAMILTON 4007
www.strucerre.com.au
bsb@strucerre.com.au

SIGNED

Ching Meng Tan
BEng (Civil), PEng (PM), MEM (SP Eng MIE Aust)
RPEQ Reg. No 15311

Drawing Details



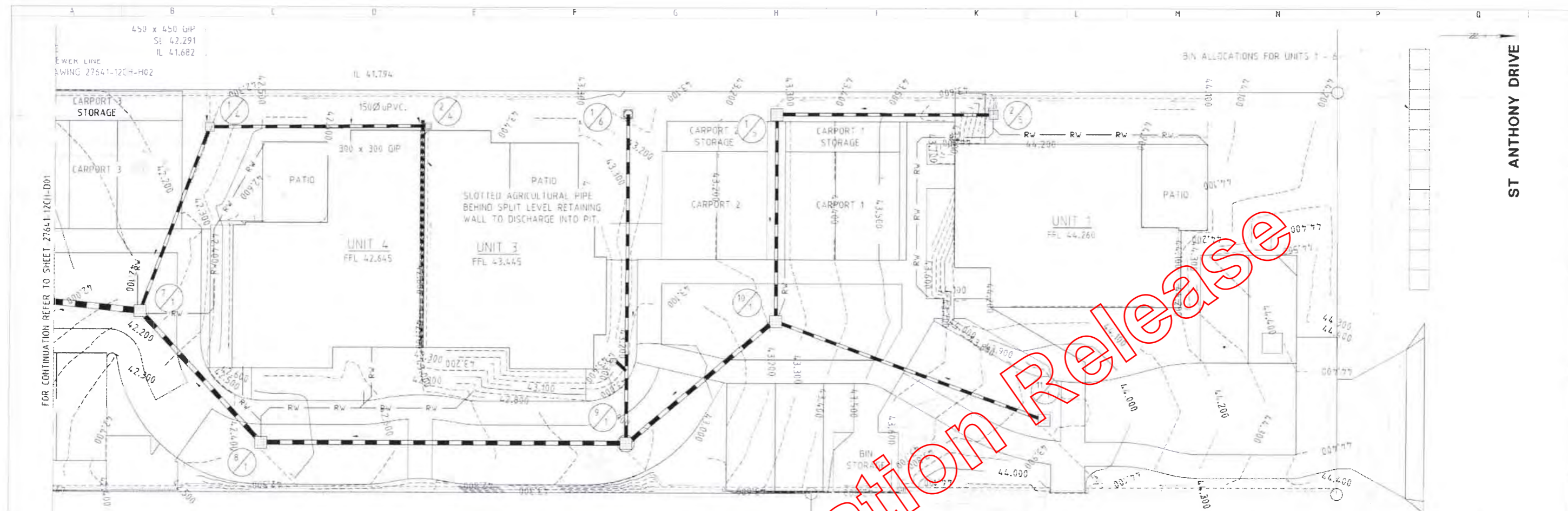
G CHANGE INVESTMENTS

PO BOX 276
CLEVELAND 4163

PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

STORMWATER LAYOUT PLAN

JOB NO.: 27641-12CH DWG NO.: D01



STORMWATER LAYOUT PLAN
SCALE 1:100

LEGEND PROPOSED

- FFL 42.045 DESIGN FINISH FLOOR LEVEL
- 44.000 — MAJOR CONTOUR
- - - 44.200 - - - MINOR CONTOUR
- STORMWATER PIPE
- 100mm ROOFWATER PIPE
- STORMWATER GRATED INLET
- EXTERNAL RETAINING WALL REFER 27641-12CH-E03 FOR DETAILS
- SLOTTED AGRICULTURAL PIPE
- PROPOSED NEW BOUNDARY
- MANHOLE
- CLASS B COVER

LEGEND EXISTING

- TELSTRA CABLES
- SEWERAGE MAINS
- WATER MAINS
- STORMWATER MAINS
- LEVELS
- TREES TO BE REMOVED
- TREES TO REMAIN

QUEENSCOURT ROAD

EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

EXISTING TREES AS MARKED TO BE RETAINED & PROTECTED DURING WORKS
CARE MUST BE TAKEN NOT TO DISTURB TREE ROOTS WITHIN CRITICAL ROOT ZONE OF EXISTING TREES
QUALIFIED ARBORIST TO SUPERVISE EXCAVATION

NOTE
ENGINEER MUST BE NOTIFIED OF CHANGES TO DESIGN PLANS. IF NOT, AS CONSTRUCTED DRAWINGS WILL NOT BE ISSUED.

WARNING

THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING SERVICES ON AND EXTERIOR TO THE SITE INCLUDING WATERMANS, SEWERMANS, TELECOMMUNICATIONS CABLES, ELECTRICAL CABLES AND STORMWATER MAINS. ANY DAMAGE TO EXISTING SERVICES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.

NOTE

ANY REDUNDANT, DRIVEWAY CROSSOVERS AND DRAINAGE OUTLETS FROM THE KERB AND CHANNEL INCLUDING ANY ASSOCIATED PIPE WORK ACROSS THE FOOTWAY TO BE REMOVED AND REINSTATE THE KERB AND CHANNEL AND FOOTWAY TO LOCAL AUTHORITIES CURRENT SPECIFICATIONS AND STANDARDS.

STORMWATER LAYOUT PLAN
SCALE 1:100



BRISBANE OFFICE:
67 Links Avenue North
EAGLE FARM 4009
PO Box 621
HAMILTON 4007

SIGNED

Ching Meng Tan
BEng (Civil) PEng (M) MEM CPENG MIEAust
RPEQ Reg. No. 11311

Drawing Details



C CHANGE INVESTMENTS

PO BOX 276
CLEVELAND 4163

PROPOSED MULTI UNIT DEVELOPMENT
LOT 40 NO 156 BRUCE RD
ALEXANDRA HILLS



SUBMISSION FOR APPROVAL
NOT FOR CONSTRUCTION

COUNCIL FILE REFERENCE No. MC013013

STORMWATER LAYOUT PLAN

JOB NO: 27641-12CH DWG NO: D02

ST ANTHONY DRIVE

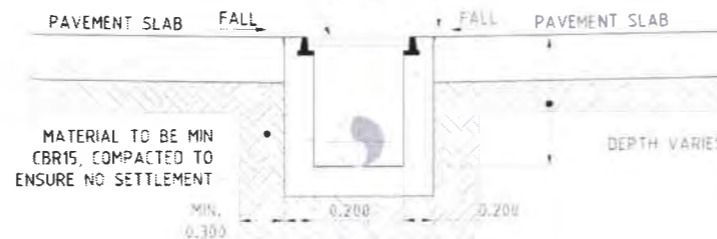
STORMWATER DRAINAGE NOTES

1. STORMWATER DRAINAGE CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS SET OUT IN LOCAL AUTHORITIES CURRENT SPECIFICATIONS AND STANDARDS AND IPWEAQ STANDARD DRAWINGS.
2. THE CONTRACTOR SHALL CONFIRM ALL EXISTING AND PROPOSED LEVELS AND THE LOCATION AND LEVELS OF ALL EXISTING AND PROPOSED COUNCIL UTILITY AND PRIVATE SERVICES PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIRING DAMAGE TO ANY EXISTING COUNCIL, UTILITY OR PRIVATE SERVICES.
4. STORMWATER DRAINAGE PIPES SHALL BE UPVC PIPE (MINIMUM SEWER CLASS SN8) TO AS 1260 OR LOCAL COUNCIL APPROVED EQUIVALENT.
5. MINIMUM COVER TO ROOFWATER PIPES SHALL BE 450mm EXCEPT WHERE REDUCED COVER IS REQUIRED TO DISCHARGE TO THE KERB AND CHANNEL.
6. MINIMUM PIPE GRADES FOR STORMWATER PIPES SHALL COMPLY WITH AS 3500 PART 3:-
 - 1.0% GRADE FOR PIPES < 150 DIA
 - 0.5% GRADE FOR PIPES > 150 BUT < 375 DIA
7. GENERATOR BACKUP POSITION FOR PUMPS TO BE LOCATED BY CONTRACTOR OR DEVELOPER.

STORMWATER DRAINAGE CONSTRUCTION NOTES

1. LEVELS TO AHD.
2. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON-SITE BEFORE WORK COMMENCES.
4. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING.
5. DURING CONSTRUCTION BARRIERS, LIGHTS & SIGNS SHALL BE MAINTAINED TO ENSURE SAFE PASSAGE OF TRAFFIC AND PEDESTRIANS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
6. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL AUTHORITY CURRENT SPECIFICATIONS AND STANDARDS.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH S.A.A. CODES & BY-LAWS AND ORDINANCES OF THE RELEVANT LOCAL AUTHORITY AND WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL RELEVANT AUTHORITIES AND PAYING ALL FEES NECESSARY BEFORE COMMENCING WORK, FOR LOCATING ALL EXISTING SERVICES AND FOR REPAIR OF ANY SERVICES DAMAGED AS A RESULT OF THE WORKS.
9. FOOTPATHS AND PRIVATE PROPERTY SHALL BE REINSTATED TO THEIR ORIGINAL CONDITION.
10. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE REQUIREMENTS OF THE WORKPLACE HEALTH AND SAFETY ACT 1995. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THIS ACT AND IN PARTICULAR THE CONTRACTOR IS TO ENSURE THE REQUIREMENTS OF THIS SPECIFICATION WITH REGARD TO 'NOTIFICATION IN RELATION TO A NOTIFIABLE PROJECT', ARE FULFILLED.
11. BENCHING OF PIT STRUCTURES SHALL HAVE A SMOOTH FINISHED SURFACE, AND PIPES SHALL NOT PROJECT INSIDE THE SHAFT OF THE PIT.
12. BACKUP GENERATOR LOCATION TO BE PROVIDED BY CONTRACTOR AND DEVELOPER.

GRATE & FRAME. REFER TO STORMWATER LONGSECTIONS FOR SIZE AND CLASS



GRADED PIT DETAIL - PAVEMENT
SCALE 1:25

6mm 'ABELFLEX' WITH RIPOFF STRIP AND SEALANT REFER DETAIL B ON DWG SHEET 31318-13CH C-14 (NO INITIAL SAWCUT IS REQUIRED)

GRATE & FRAME. REFER TO STORMWATER LONGSECTIONS FOR SIZE AND CLASS



GRADED PIT DETAIL - LANDSCAPING
SCALE 1:25

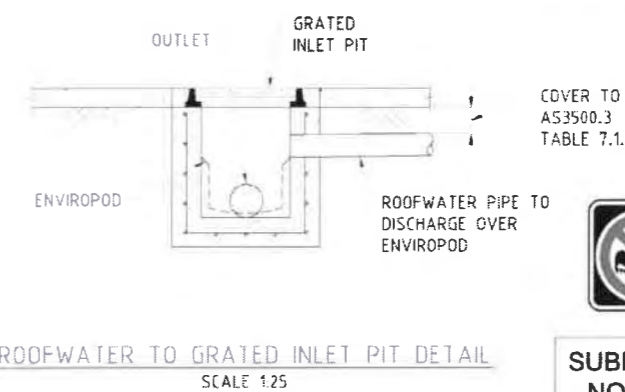
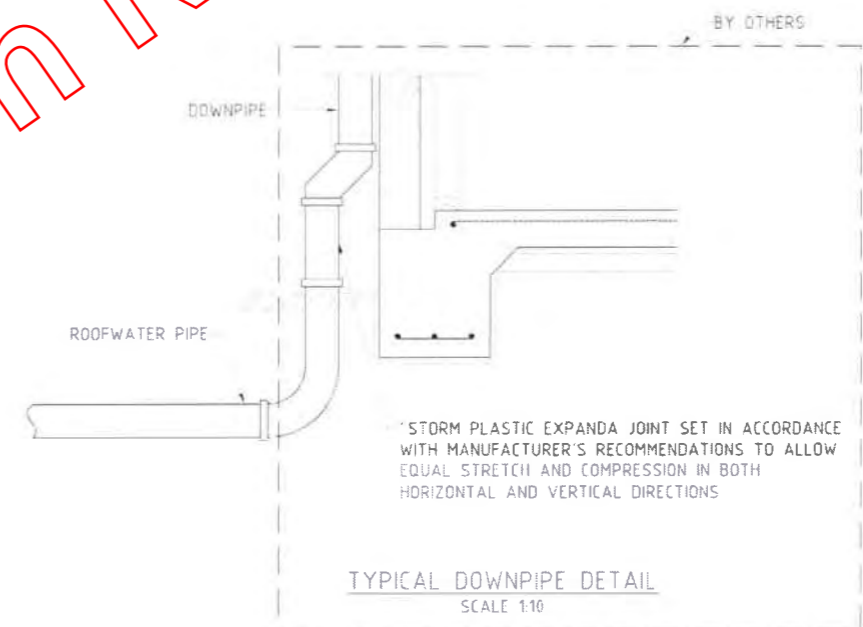
MAX. DEPTH FOR STORMWATER PITS

MAX. DEPTH PIT/MANHOLE SIZE

IF PIT DEPTHS DIFFER ON SITE TO LEVELS AND DEPTHS SHOWN ON DESIGN, ENGINEER TO BE NOTIFIED. PITS ARE NOT TO EXCEED MAXIMUM DEPTHS AS SPECIFIED. REFER AS3500.3.2003.

PIT SCHEDULE

LINE 1			
PIT NUMBER	PIT SIZE	EASTING	NORTHING
EX./C1	EXISTING STRUCTURE	1051.0743	5335.8156
1/1	900Ø MANHOLE	1027.9900	5336.0000
2/1	900x900 GRATED INLET	1027.9897	5349.4080
3/1	900x900 GRATED INLET	1010.2639	5349.4192
4/1	900Ø MANHOLE	1011.5670	5356.6061
5/1	450x450 GRATED INLET	1011.5670	5367.2900
6/1	600x600 GRATED INLET	1019.3067	5372.8088
7/1	600x600 GRATED INLET	1020.2843	5382.2599
8/1	600x600 GRATED INLET	1026.8656	5388.3207
9/1	600x600 GRATED INLET	1028.8003	5406.4566
10/1	600x600 GRATED INLET	1020.7372	5413.8394
11/1	600x600 GRATED INLET	1025.6554	5427.2433
LINE 2			
2/1	REFER ABOVE	REFER ABOVE	REFER ABOVE
1/2	600x600 GRATED INLET	1027.7154	5361.4908
LINE 3			
6/1	REFER ABOVE	REFER ABOVE	REFER ABOVE
1/3	450x450 GRATED INLET	1028.3505	5371.9679
LINE 4			
7/1	REFER ABOVE	REFER ABOVE	REFER ABOVE
1/4	450x450 GRATED INLET	1011.0963	5385.6770
2/4	450x450 GRATED INLET	111.0182	5396.5070
LINE 5			
10/1	REFER ABOVE	REFER ABOVE	REFER ABOVE
1/5	450x450 GRATED INLET	1010.3940	5413.8394
2/5	600x600 GRATED INLET	1010.3771	5424.6467
LINE 6			
9/1	REFER ABOVE	REFER ABOVE	REFER ABOVE
1/6	450x450 GRATED INLET	1010.3984	5406.4585



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COUNCIL FILE REFERENCE No MC013013



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C CHANGE INVESTMENTS

PO BOX 276
CLEVELAND 4163

PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

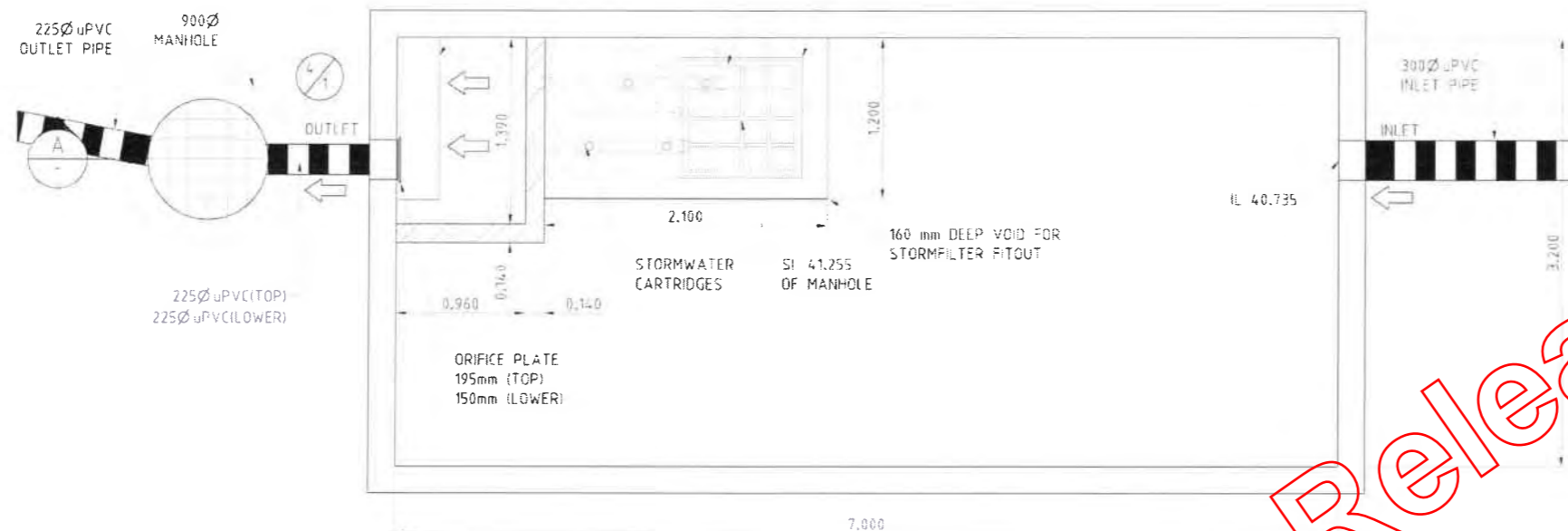
STORMWATER PIT SCHEDULE.
NOTES & DETAILS

JOB NO.: 27641-12CH DWG NO.: D03

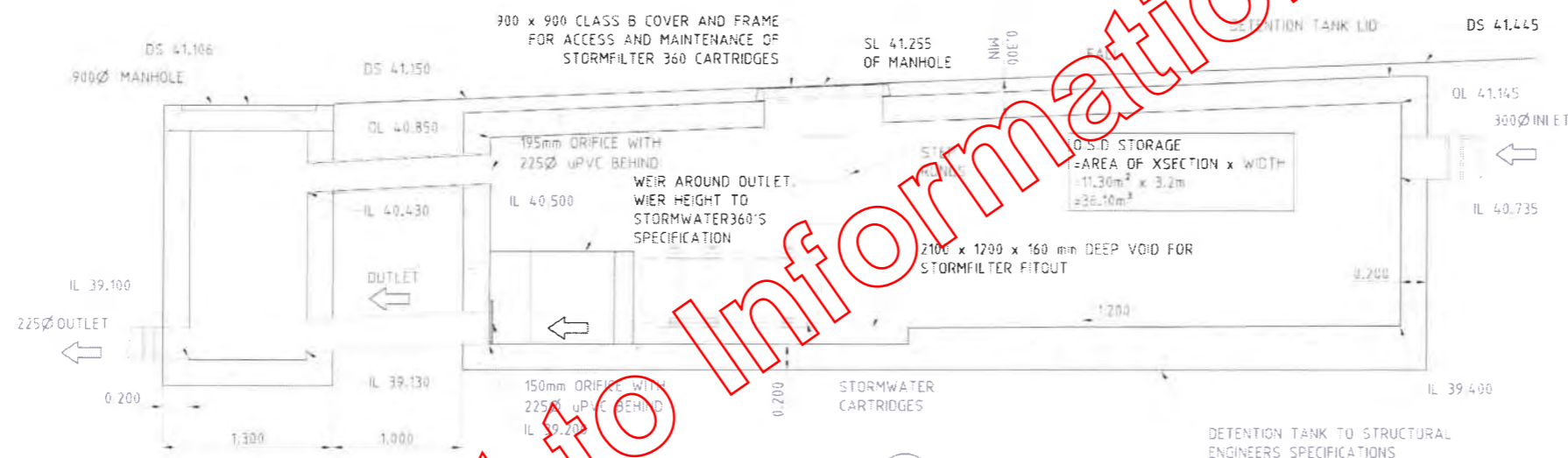
DETENTION TANK MAINTENANCE PLAN

THE TANK IS TO BE INSPECTED EVERY THREE MONTHS AND AFTER EVERY MAJOR RAIN EVENT

1. INSPECT & REMOVE DEBRIS
2. REMOVE ANY SEDIMENT BUILD UP
3. VISUAL INSPECTION OF TANK & GRATES
4. ENSURE INLET PIPES ARE CLEAR OF BLOCKAGES



DETENTION TANK LAYOUT PLAN
SCALE 1:25

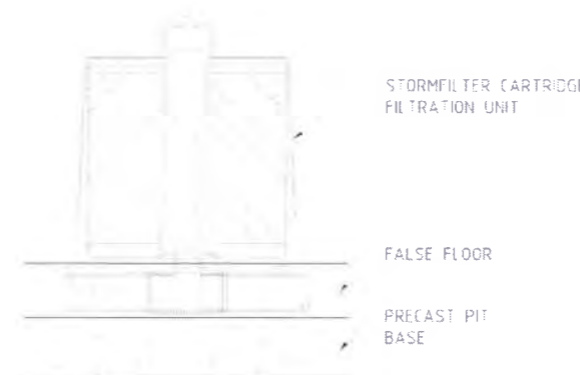


SECTION A
SCALE 1:25



STD ORIFICE PLATE
FOR 150Ø OPENING

STD ORIFICE PLATE
FOR 195Ø OPENING



STORMFILTER CARTRIDGE DETAIL
SCALE 1:25

ENVIROPOD AND STORMFILTER MAINTENANCE PROGRAM

REFER TO STORMWATER360 AUSTRALIA STORMFILTER/ENVIROPOD SFEF TREATMENT TRAIN OPERATIONS AND MAINTENANCE MANUAL FOR DETAILED INFORMATION REGARDING MAINTENANCE AND MONITORING AND OCCUPATIONAL HEALTH AND SAFETY GUIDELINES.

1. ENVIROPOD MAINTENANCE AND MONITORING

- a) MONITOR FOLLOWING MODERATE TO EXTREME RAINFALL EVENTS, IN PARTICULAR WHEN PRECEDING MONTHS HAVE HAD LITTLE TO NO RAINFALL.
- b) EMPTY FILTER BAGS WHEN THE LEVEL OF MATERIAL IS NO MORE THAN APPROXIMATELY HALF TO TWO THIRDS OF THE TOTAL BAG DEPTH OR WHEN THERE IS EVIDENCE OF MATERIAL OVERFLOW.
- c) CLEANING METHODS INCLUDE INDUCTOR TRUCK OR HAND MAINTENANCE.

2. STORMFILTER MAINTENANCE AND MONITORING

ALL MAINTENANCE MUST BE CARRIED OUT BY A SKILLED WORKER FAMILIAR WITH STORMFILTER UNITS.

I. MINOR MAINTENANCE - INSPECTION.

FREQUENCY - TWICE PER YEAR.

- a) WITHOUT ENTERING THE VAULT, INSPECT THE EXTERNAL AND INTERNAL CONDITION.
- b) NOTE ANY SEDIMENT BUILD-UP ON THE FLOOR OF THE VAULT AND ON TOP OF THE INTERNAL COMPONENTS.
- c) NOTE ANY FLOW RATES IF FLOW IS OCCURRING.
- d) REMOVE LOOSE DEBRIS AND TRASH USING A POLE WITH A GRAPPLE OR NET ON THE END.

II. MAJOR MAINTENANCE - INSPECTION.

FREQUENCY - ONCE A YEAR.

- a) ASSESS THE CONDITION OF THE CARTRIDGES RELATIVE TO THE LEVEL OF SEDIMENT LOADING.
- b) CONDUCT THIS TEST DURING A RAIN EVENT TO OBSERVE THE RELATIVE FLOW THROUGH THE CARTRIDGES.
- c) REVIEW AGAINST PREVIOUS MAINTENANCE RESULTS AND ASSESS.
- d) IF THE SUBMERGED CARTRIDGES ARE SEVERELY PLUGGED LARGE AMOUNTS OF SEDIMENT WILL BE PRESENT AND VERY LITTLE FLOW WILL BE DISCHARGING FROM THE DRAINAGE PIPES. THE CARTRIDGES MAY THEN NEED TO BE REPLACED.

III. MAJOR MAINTENANCE - SEDIMENT REMOVAL & CARTRIDGE REPLACEMENT

- a) REFER TO DETAILED CARTRIDGE REPLACEMENT MAINTENANCE, TO BE CARRIED OUT BY A SKILLED WORKER FAMILIAR WITH STORMFILTER UNITS.



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Drawing Details

AS SHOWN

C CHANGE INVESTMENTS

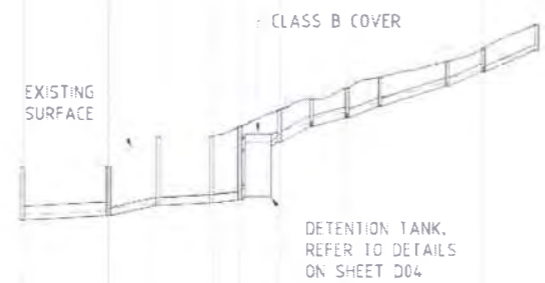
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PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

STORMWATER DETENTION TANK
AND DETAILS

JOB NO: 2754112CH DWG NO: D04 JB

STRUCTURE NAME	EX /C1	1/1	2/1	3/1	4/1	5/1	6/1	7/1	8/1	9/1	10/1	11/1
STRUCTURE DESCRIPTION	900Ø MANHOLE	900x900 GRATED INLET	900x900 GRATED INLET	900Ø MANHOLE	450x450 GRATED INLET	600x600 GRATED INLET	600x600 GRATED INLET	600x600 GRATED INLET	600x600 GRATED INLET	600x600 GRATED INLET	600x600 GRATED INLET	600x600 GRATED INLET



PIPE SIZE (mm)	375	225	225	225	DET	300	300	225	225	225	150	150	150	150
PIPE CLASS	RCP (2)	uPVC	uPVC	uPVC	TANK	uPVC	uPVC	uPVC	uPVC	uPVC	uPVC	uPVC	uPVC	uPVC
PIPE GRADE (%)	0.50	2.02	0.50	1.0	5.0	5.0	3.0	3.0	3.0	4.0	4.0	4.0	1.0	1.0
FLOW VOLUME (L/s)	53.0	55.0	49.0	44.0	83.0	81.0	70.0	51.0	45.0	20.0	9.0	8.0	8.0	8.0
DATUM (m)	23.000													
NATURAL SURFACE LEVEL	40.000	40.022	40.836	40.784	41.119	41.576	41.900	42.279	42.539	43.311	43.304	43.319	43.314	42.996
DESIGN SURFACE LEVEL	40.000	40.022	40.834	40.844	41.106	41.433	41.936	42.143	42.434	42.865	43.221	43.273	42.865	43.061
HYDRAULIC GRADE LINE	38.790	38.823	38.879	39.073	39.156	39.376	39.395	41.281	41.326	41.495	41.600	41.742	41.848	41.922
INVERT LEVEL	38.570	38.585	38.585	38.585	38.585	38.585	38.585	41.101	41.101	41.338	41.338	41.656	41.656	41.564
DEPTH TO INVERT	1.430	1.437	1.437	1.437	1.437	1.437	1.437	0.735	0.735	0.805	0.805	0.778	0.778	0.664
CHAINAGE	0.000	23.085	13.408	14.318	7.500	10.684	8.603	9.567	8.945	18.138	9.590	14.318	138.154	0.701

LINE 1

STORMWATER LONG SECTIONS
HORIZONTAL SCALE 1:1000
VERTICAL SCALE 1:00

LINE 3

LINE 4

LINE 5

LINE 6



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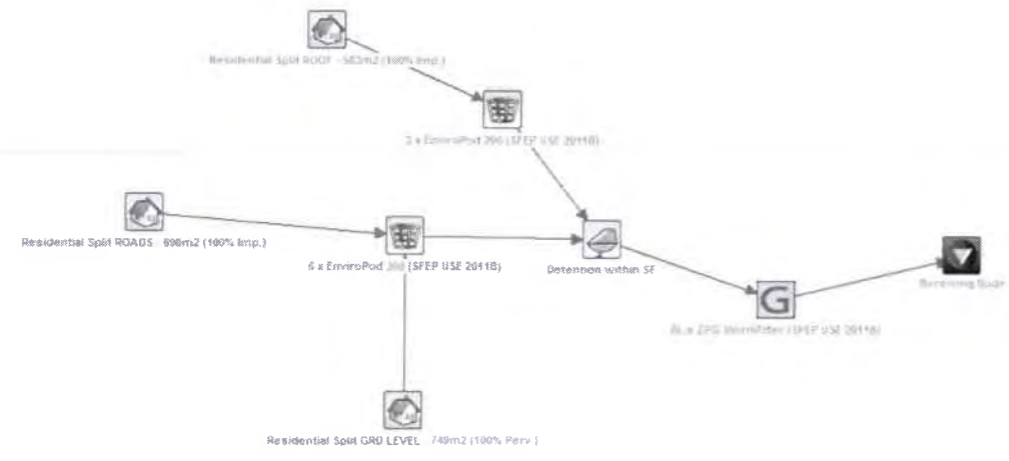
PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

STORMWATER LONG SECTIONS

JOB NO.: 27641-12CH DWG NO: D05 B

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CATCHMENT	AREA (m ²)	IMPERVIOUS AREA (%)
7/2	180	55
6/2	211	70
5/2	140	90
4/2	110	60
3/2	200	90
2/2	65	70
1/2	40	0
TANK	157	85
3/1	151	0
2/1	131	0
2/5	154	60
1/5	28	0
1/5	150	60
1/4	156	60
1/4	149	60

RECEIVING NODE - TREATMENT TRAIN EFFECTIVENESS

	SOURCES	RESIDUAL LOAD	% REDUCTION
FLOW	1.410	1.410	0.00
TOTAL SUSPENDED SOLIDS (kg/yr)	318	28.5	91.5
TOTAL PHOSPHORUS (kg/yr)	0.598	0.205	65.7
TOTAL NITROGEN (kg/yr)	2.96	1.64	44.4
GROSS POLLUTANTS (kg/yr)	30.2	0.00	100

RAINFALL DATA

STATION 40265 REDLANDS
PERIOD 1/1/1997 TO 31/12/2006
MODELLING STEP 6 MINUTES



DRAINS RESULTS - PREMIUM VERSION 2013.12 - 14 AUGUST 2013

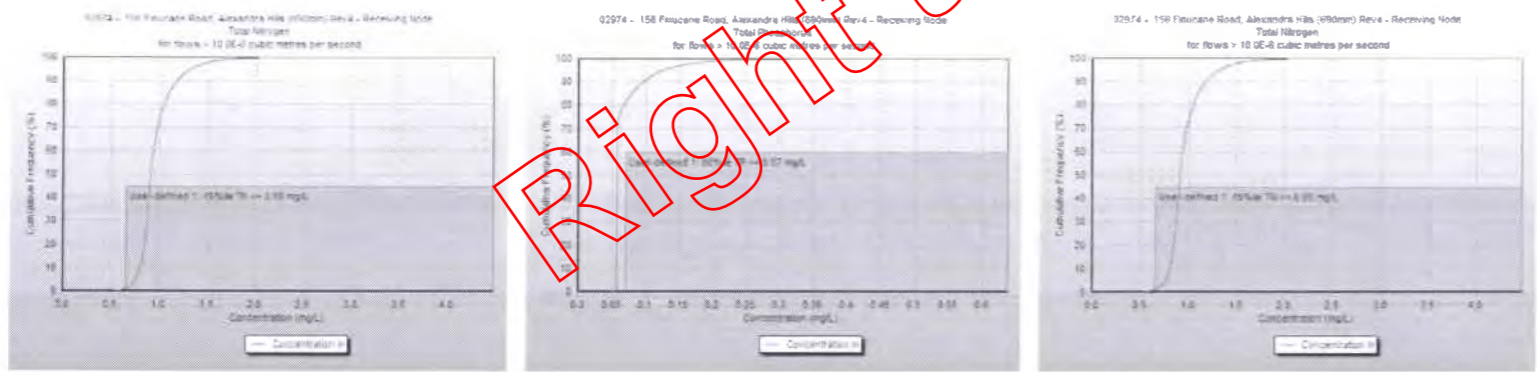
RAINFALL RETURN PERIOD	PRE-DEVELOPMENT FLOW (m ³ /s)	POST DEVELOPMENT UNMITIGATED FLOW (m ³ /s)	MITIGATED FLOW (m ³ /s)
Q2	0.056	0.078	0.045
Q10	0.092	0.108	0.056
Q20	0.096	0.123	0.075
Q50	0.104	0.129	0.088
Q100	0.116	0.142	0.095

RAINFALL DATA SOURCED FROM BUREAU OF METEOROLOGY

5 MINUTE RAINFALL INTENSITY (mm/h) 154.8 273.0 G = 0.08
1 HOUR RAINFALL INTENSITY (mm/h) 48.2 88.3 F2 = 4.41
72 HOUR RAINFALL INTENSITY (mm/h) 3.0 6.9 F50 = 17.29

PRE DEVELOPMENT UNMITIGATED DRAINS PARAMETERS
TOTAL AREA = 0.2023Ha
IMPERVIOUS AREA (%) = 60.0
PERVIOUS AREA (%) = 40.0
IMPERVIOUS TIME OF CONC. = 5min
PERVIOUS TIME OF CONC. = 10min

PRE DEVELOPMENT DRAINS PARAMETERS:
TOTAL AREA = 0.2023Ha
IMPERVIOUS AREA (%) = 18.0
PERVIOUS AREA (%) = 82.0
IMPERVIOUS TIME OF CONC. = 5min
PERVIOUS TIME OF CONC. = 13min (FRIENDS EQ)



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PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

STORMWATER QUALITY &
QUANTITY RESULTS

JOB NO.: 27641-12CH DWG NO.: D06 A

27641-12CH - ILSAX CALCULATION SUMMARY SHEET - 156 FINUCANE RD, ALEXANDRA HILLS

DRAINS results prepared 10 September 2013 from Version 2013.12

Total Catchment: (0.12 impervious + 0.09 pervious = 0.20 total ha)

Soil Type 3 AMC 3.35

MINOR STORMS:				
No.	Storm	Rainfall Volume (m ³)	Runoff Volume (m ³)	Impervious Runoff Vol. (m ³)
1	AR&R 10 year 5 minutes storm, average 210 mm/h, Zone 3	35.32	28.14 (79.7%)	19.15 (94.3%)
2	AR&R 10 year 10 minutes storm, average 162 mm/h, Zone 3	54.53	46.59 (85.4%)	30.20 (96.3%)
3	AR&R 10 year 15 minutes storm, average 136 mm/h, Zone 3	68.87	60.26 (87.5%)	38.45 (97.1%)
4	AR&R 10 year 20 minutes storm, average 119 mm/h, Zone 3	80.53	71.32 (88.6%)	45.16 (97.5%)
5	AR&R 10 year 25 minutes storm, average 107 mm/h, Zone 3	90.4	80.57 (89.1%)	50.84 (97.8%)
6	AR&R 10 year 30 minutes storm, average 97.9 mm/h, Zone 3	98.97	88.56 (89.5%)	55.77 (98.0%)
7	AR&R 10 year 45 minutes storm, average 75.8 mm/h, Zone 3	119.51	107.56 (90.0%)	67.58 (98.3%)
8	AR&R 10 year 1 hour storm, average 66.8 mm/h, Zone 3	125.13	121.90 (90.2%)	76.56 (98.5%)
9	AR&R 10 year 2 hours storm, average 45.5 mm/h, Zone 3	175.84	158.03 (89.9%)	99.98 (98.8%)

MAJOR STORMS:				
No.	Storm	Rainfall Volume (m ³)	Runoff Volume (m ³)	Impervious Runoff Vol. (m ³)
1	AR&R 100 year 5 minutes storm, average 300 mm/h, Zone 3	50.54	43.35 (85.8%)	27.91 (96.0%)
2	AR&R 100 year 10 minutes storm, average 233 mm/h, Zone 3	78.43	70.47 (89.9%)	43.95 (97.4%)
3	AR&R 100 year 15 minutes storm, average 196 mm/h, Zone 3	99.2	90.55 (91.3%)	55.90 (98.0%)
4	AR&R 100 year 20 minutes storm, average 172 mm/h, Zone 3	116.2	106.92 (92.0%)	65.67 (98.3%)
5	AR&R 100 year 25 minutes storm, average 155 mm/h, Zone 3	130.68	120.78 (92.4%)	74.01 (98.5%)
6	AR&R 100 year 30 minutes storm, average 142 mm/h, Zone 3	143.34	132.87 (92.7%)	81.28 (98.6%)
7	AR&R 100 year 45 minutes storm, average 115 mm/h, Zone 3	173.9	161.92 (93.1%)	98.86 (98.8%)
8	AR&R 100 year 1 hour storm, average 97.6 mm/h, Zone 3	197.37	184.06 (93.3%)	112.37 (99.0%)
9	AR&R 100 year 2 hours storm, average 64.1 mm/h, Zone 3	259.17	241.29 (93.1%)	147.91 (99.2%)

LOCATION AND LAND-USE

TIME AND RUNOFF

INLET DESIGN

PIPE SYSTEM DESIGN

PIT HEADLOSSES

Design ARI	Pit Name	Sub-Catchment Area	Land-Use	Percentage	Constant Flow Time (minutes)	Kinematic Wave Parameters			Total Time tc (minutes)	Peak Sub-Catchment Flowrate (m³/s)	Origin of Approach Flows	Critical Flow Path			Inlet Family	Inlet Size	Total Approach Flow (m³/s)	Bypass Flow (m³/s)	Overflow Flow Width (m)	Depth x Velocity (m²/s)	Peak Flow in Pipe (m³/s)	Reach Length (m)	Pipe Slope (m)	Pipe Diameter (mm)	Pipe Invert Level (m)	Dis. Pipe Invert Level (m)	Pipe Flow Velocity (m/s)	Pressure Change Coeff. Ku	QUDM Chart No.	QUDM Chart Ratio	Water Surface Elevation (m)	Surface Level (m)	Free-board (m)
7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32								
10	Pit7/2	0.018	Paved Supp	55	5				5	worst storm 0.01				600 x 600 Grated Inlet Pit		0.01	0	0	0	0.009	14.318	4	150	43.158	42.585	2.08	5.93	A1-4	H/Do=0.0, Vo2/(2gDo)=0.08	43.29	43.861	0.57	
100	Pit7/2	0.018	Grassed Paved	45	10	as above			10	0.013		0.013	0.001	0.76	0	0.013	0.001	0.76	0	0.013					2.24	5.58	A1-4	H/Do=0.0, Vo2/(2gDo)=0.13	43.32	43.861	0.54		
10	Pit6/2	0.0211	Paved Supp	70	5				5	0.012	Pit7/2 Pit1/5	0	0	0	600 x 600 Grated Inlet Pit		0.012	0.001	0.63	0	0.03	9.59	4	225	42.585	42.201	2.76	2.31	H-O'L	Qg/Qo=0.39, S/Do=1.2	42.75	43.221	0.47
100	Pit6/2	0.0211	Grassed Paved	30	10	as above			10	0.015	Pit7/2 Pit1/5	0.001	0.76	0		0.016	0.001	0.76	0	0.039					2.98	2.3	H-O'L	Qg/Qo=0.39, S/Do=1.3	42.78	43.221	0.44		
10	Pit5/2	0.014	Paved Supp	90	5				5	0.008	Pit6/2	0.001	0.63	0	600 x 600 Grated Inlet Pit		0.009	0	0	0	0.045	18.138	3	225	42.201	41.656	2.79	1.91	H-O'L	Qg/Qo=0.19, S/Do=1.4	42.41	43.061	0.65
100	Pit5/2	0.014	Grassed Paved	10	10	as above			10	0.011	Pit6/2	0.001	0.76	0		0.012	0.001	0.49	0	0.059					3	1.9	H-O'L	Qg/Qo=0.19, S/Do=1.7	42.47	43.061	0.59		
10	Pit4/2	0.011	Paved Supp	60	5				5	0.008	Pit5/2	0	0	0	600 x 600 Grated Inlet Pit		0.008	0	0	0	0.051	8.945	3	225	41.656	41.388	3.45	1.08	A1-9	Du/Do=1.00, Qg/Qo=0.12, S/Do=1.3	41.85	42.434	0.59
100	Pit4/2	0.011	Grassed Paved	40	10	as above			10	0.008	Pit5/2	0.001	0.49	0		0.009	0	0	0	0.067					3.28	1.08	A1-9	Du/Do=1.00, Qg/Qo=0.12, S/Do=1.5	41.89	42.434	0.54		
10	Pit3/2	0.02	Paved Supp	90	5				5	0.011	Pit4/2 Pit1/4	0	0	0	600 x 600 Grated Inlet Pit		0.011	0.001	1.07	0	0.07	9.506	3	300	41.388	41.101	3.08	1.22	H-O'L	Qg/Qo=0.17, S/Do=1.2	41.6	42.143	0.54
100	Pit3/2	0.02	Grassed Paved	10	10	as above			10	0.015	Pit4/2 Pit1/4	0	0	0		0.016	0.001	1.36	0	0.092					3.32	1.23	H-O'L	Qg/Qo=0.17, S/Do=1.3	41.64	42.143	0.5		
10	Pit2/2	0.0065	Paved Supp	70	5				5	0.004	Pit3/2 Pit1/3	0.001	1.07	0	600 x 600 Grated Inlet Pit		0.005	0	0	0	0.081	8.603	5	300	41.101	40.671	3.89	1.21	H-O'L	Qg/Qo=0.05, S/Do=1.3	41.33	41.836	0.51
100	Pit2/2	0.0065	Grassed Paved	30	10	as above			10	0.005	Pit3/2 Pit1/3	0.001	1.36	0		0.006	0	0	0	0.107					4.2	1.21	H-O'L	Qg/Qo=0.05, S/Do=1.4	41.37	41.836	0.46		
10	Pit1/2	0.004	Paved Supp	0	5				5	0.002	Pit2/2	0	0	0	600 x 600 Grated Inlet Pit		0.002				0.083	2.284	4.99	300	40.671	40.557	3.91	0.74	A1-9	Du/Do=1.00, Qg/Qo=0.02, S/Do=1.2	40.97	41.557	0.58
100	Pit1/2	0.004	Grassed Paved	100	10	as above			10	0.003	Pit2/2	0	0	0		0.003				0.11					2.37	0.74	A1-9	Du/Do=1.00, Qg/Qo=0.02, S/Do=1.4	41.1	41.557	0.45		
10	Pit4/1		Paved Supp											900mm Manhole		0				0.044	7.18577	1	225	39.1	39.028	0.97	0.5	A1-25	Du/Do=1.00, Qg/Qo=0.00, S/Do=1.2	39.35	41.106	1.76	
100	Pit4/1		Grassed Paved			as above										0				0.074					1.6	1.59	A1-20	Du/Do=1.00, Qg/Qo=0.38, S/Do=3.8	40.04	41.106	1.07		
10	Pit3/1	0.0151	Paved Supp	0	0				0	0.007				900 x 900 Grated Inlet Pit		0.007	0	0	0	0.049	14.318	0.5	225	39.028	38.956	1.2	1.61	A1-18	Du/Do=1.00, Qg/Qo=0.14, S/Do=1.1	39.31	40.844	1.54	
100	Pit3/1	0.0151	Grassed Paved	100	10	as above			10	0.01						0.01	0	0	0	0.081					1.76	1.68	A1-18	Du/Do=1.00, Qg/Qo=0.11, S/Do=3.0	39.78	40.844	1.07		

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PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

DRAINS CALCULATIONS RESULTS
PAGE 1 OF 2

JOB NO.: 27641-12CH DWG NO.: D07

27641-12CH - ILSAX CALCULATION SUMMARY SHEET - 156 FINUCANE RD, ALEXANDRA HILLS

DRAINS results prepared 10 September 2013 from Version 2013.12

Total Catchment (0.12 impervious + 0.09 pervious = 0.20 total ha)

Soil Type 3 AMC 3.35

MINOR STORMS:

No.	Storm	Rainfall Volume (m ³)	Runoff Volume (m ³)	Impervious Runoff Vol. (m ³)	Pervious Runoff Vol. (m ³)
1	AR&R 10 year, 5 minutes storm, average 210 mm/h, Zone 3	35.32	28.14 (79.7%)	19.15 (94.3%)	8.99 (59.9%)
2	AR&R 10 year, 10 minutes storm, average 162 mm/h, Zone 3	54.53	46.59 (85.4%)	30.20 (96.3%)	16.39 (70.7%)
3	AR&R 10 year, 15 minutes storm, average 136 mm/h, Zone 3	68.87	60.26 (87.5%)	38.45 (97.1%)	21.80 (74.5%)
4	AR&R 10 year, 20 minutes storm, average 119 mm/h, Zone 3	80.53	71.32 (88.6%)	45.16 (97.5%)	26.16 (78.5%)
5	AR&R 10 year, 25 minutes storm, average 107 mm/h, Zone 3	90.4	80.57 (89.1%)	50.84 (97.8%)	29.73 (77.4%)
6	AR&R 10 year, 30 minutes storm, average 97.9 mm/h, Zone 3	98.97	88.56 (89.5%)	55.77 (98.0%)	32.80 (78.0%)
7	AR&R 10 year, 45 minutes storm, average 78.8 mm/h, Zone 3	119.51	107.58 (90.0%)	67.58 (98.3%)	40.01 (78.8%)
8	AR&R 10 year, 1 hour storm, average 66.8 mm/h, Zone 3	135.13	121.90 (90.2%)	76.56 (98.5%)	45.33 (79.0%)
9	AR&R 10 year, 2 hours storm, average 43.5 mm/h, Zone 3	175.84	158.03 (89.9%)	99.98 (98.8%)	58.05 (77.7%)

MAJOR STORMS:

No.	Storm	Rainfall Volume (m ³)	Runoff Volume (m ³)	Impervious Runoff Vol. (m ³)	Pervious Runoff Vol. (m ³)
1	AR&R 100 year, 5 minutes storm, average 300 mm/h, Zone 3	50.54	43.35 (85.8%)	27.91 (98.0%)	15.44 (71.9%)
2	AR&R 100 year, 10 minutes storm, average 233 mm/h, Zone 3	78.43	70.47 (89.9%)	43.95 (97.4%)	26.52 (79.8%)
3	AR&R 100 year, 15 minutes storm, average 196 mm/h, Zone 3	99.2	90.55 (91.3%)	55.90 (98.0%)	34.66 (82.2%)
4	AR&R 100 year, 20 minutes storm, average 172 mm/h, Zone 3	116.2	106.92 (92.0%)	65.87 (98.3%)	41.05 (83.6%)
5	AR&R 100 year, 25 minutes storm, average 155 mm/h, Zone 3	130.68	120.78 (92.4%)	74.01 (98.5%)	46.78 (84.3%)
6	AR&R 100 year, 30 minutes storm, average 142 mm/h, Zone 3	143.34	132.87 (92.7%)	81.28 (98.6%)	51.58 (84.7%)
7	AR&R 100 year, 45 minutes storm, average 115 mm/h, Zone 3	173.9	161.92 (93.1%)	98.86 (98.8%)	63.05 (85.4%)
8	AR&R 100 year, 1 hour storm, average 97.6 mm/h, Zone 3	197.37	184.06 (93.3%)	112.37 (99.0%)	71.70 (85.5%)
9	AR&R 100 year, 2 hours storm, average 64.1 mm/h, Zone 3	259.17	241.29 (93.1%)	147.91 (99.2%)	93.38 (84.8%)

LOCATION AND LAND-USE

TIME AND RUNOFF

INLET DESIGN

PIPE SYSTEM DESIGN

FIT HEADLOSSES

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32				
Design ARI	Pit Name	Sub-Catchment Area	Land-Use	Percentage	Constant Flow Time (minutes)	Kinematic Wave Parameters			Total Time (minutes)	Peak Sub-Catchment Flowrate (m³/s)	Origin of Approach Flows	Flowrate (m³/s)	Flow Width (m)	Depth x Velocity (m²/s)	Inlet Family	Inlet Size	Total Approach Flow (m³/s)	Bypass Flow (m³/s)	Overflow Flow Width (m)	Depth x Velocity (m²/s)	Peak Flow in Pipe (m³/s)	Reach Length (m)	Pipe Slope (m)	Pipe Diameter (mm)	U/S Pipe Invert Level (m)	D/S Pipe Invert Level (m)	Pipe Flow Velocity (m/s)	Pressure Change Coeff. Ku	QUDM Chart No.	QUDM Chart Ratios	Water Surface Elevation (m)	Surface Level (m)	Free-board (m)		
10	Pit2/1	0.0131	Paved Supp	0	0				0	0.006	Pit3/1	0	0	0	900 x 900 Grated Inlet Pit		0.006	0	0	0	0.054	13.408	0.02	38.956	38.685	4.01	1.25	A1-18	Du/Do=1.00	Qg/Qo=0.11	S/Do=0.8	39.16	40.834	1.68	
100	Pit2/1	0.0131	Grassed	100	10	as above			10	0.008	Pit3/1	0	0	0			0.008	0	0	0	0.087						1.9	1.47	A1-18	Du/Do=1.00	Qg/Qo=0.09	S/Do=1.6	39.37	40.834	1.46
10	Pit1/1		Paved Supp	0	0				0		Pit2/1	0	0	0	1050mm Manhole		0				0.054	13.085	0.5	37.5	38.685	38.57	1.4	0.99	A1-18	Du/Do=0.63	Qg/Qo=0.00	S/Do=0.5	38.87	40.022	1.15
100	Pit1/1		Grassed	100	10	as above			10		Pit2/1	0	0	0			0				0.087						1.6	1.36	A1-18	Du/Do=0.63	Qg/Qo=0.00	S/Do=0.7	38.95	40.022	1.07
10	Pit2/5	0.0154	Paved Supp	60	5				5	0.008					450 x 450 Grated Inlet Pit		0.008	0	0	0	0.008	10.808	5	150	43.337	42.797	2.18	5.93	A1-4	H/Do=0.0	Va2/(2gDo)=0.06		43.46	44.26	0.8
100	Pit2/5	0.0154	Grassed	40	10	as above			10	0.011							0.011	0	0	0	0.01						2.34	5.82	A1-4	H/Do=0.0	Va2/(2gDo)=0.10		43.46	44.26	0.78
10	Pit1/5	0.0028	Paved Supp	0	0				0	0.001	Pit2/5	0	0	0	450 x 450 Grated Inlet Pit		0.001	0	0	0	0.009	10.585	2	150	42.797	42.585	1.8	0.99	A1-18	Du/Do=1.00	Qg/Qo=0.15	S/Do=0.6	42.89	43.273	0.39
100	Pit1/5	0.0028	Grassed	100	10	as above			10	0.002	Pit2/5	0	0	0			0.002	0	0	0	0.012						1.74	1.05	A1-18	Du/Do=1.00	Qg/Qo=0.18	S/Do=0.7	42.9	43.273	0.37
10	Pit1/6	0.015	Paved Supp	60	5				5	0.008					450 x 450 Grated Inlet Pit		0.008	0	0	0	0.008	16.482	1	150	42.365	42.201	1.07	5.83	A1-4	H/Do=0.0	Va2/(2gDo)=0.06		42.5	42.865	0.37
100	Pit1/6	0.015	Grassed	40	10	as above			10	0.011							0.011	0	0	0	0.01						0.59	5.32	A1-4	H/Do=0.0	Va2/(2gDo)=0.10		42.6	42.865	0.27
10	Pit1/4	0.0156	Paved Supp	60	5				5	0.008	Pit1/6	0	0	0	450 x 450 Grated Inlet Pit		0.008	0	0	0	0.008	9.805	3	150	41.682	41.388	1.8	5.93	A1-4	H/Do=0.0	Va2/(2gDo)=0.06		41.8	42.291	0.49
100	Pit1/4	0.0156	Grassed	40	10	as above			10	0.011	Pit1/6	0	0	0			0.011	0.301	0.9	0	0.011						1.95	5.84	A1-4	H/Do=0.0	Va2/(2gDo)=0.11		41.83	42.291	0.46
10	Pit1/3	0.0149	Paved Supp	60	5				5	0.008					450 x 450 Grated Inlet Pit		0.008	0	0	0	0.008	10.364	4	100	41.516	41.101	2.07	4.27	A1-4	H/Do=0.0	Va2/(2gDo)=0.41		41.75	41.962	0.21
100	Pit1/3	0.0149	Grassed	40	10	as above			10	0.01							0.01	0	0	0	0.01						2.22	3.28	A1-4	H/Do=0.0	Va2/(2gDo)=0.70		41.82	41.962	0.14
10	TANK	0.0157	Paved Supp	85	5				5	0.008							0.009				0.044	1.4	5	225	39.2	39.13	1.42								
100	TANK	0.0157	Grassed	15	10	as above			10	0.012							0.012				0.049						1.07								

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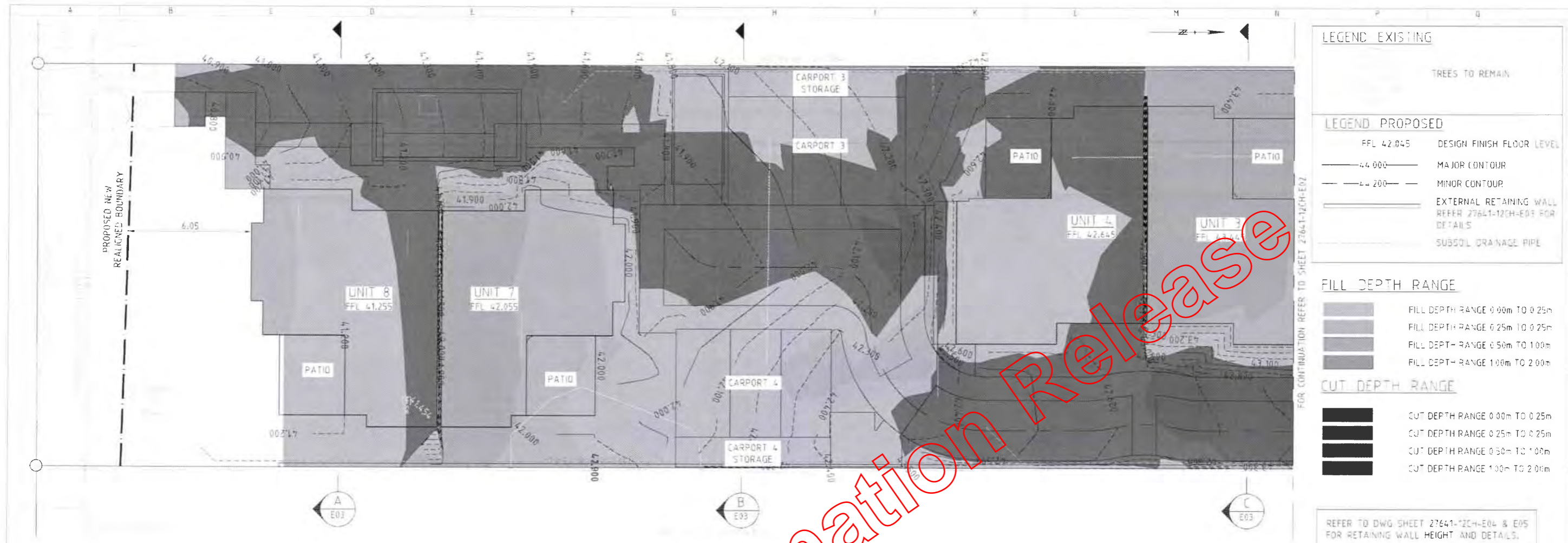
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BEng (Civil) PEng (M) MEM (CEng) MIE Aust
RPEQ Reg. No. 11311

Drawing Details

C CHANGE INVESTMENTS

PO BOX 276
CLEVELAND 4163PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLSDRAINS CALCULATIONS RESULTS
PAGE 2 OF 2

JOB NO.: 27641-12CH DWG NO.: D08 1A



- LEGEND EXISTING**
- TREES TO REMAIN
- LEGEND PROPOSED**
- FFL 42.045 DESIGN FINISH FLOOR LEVEL
 - 44.000 MAJOR CONTOUR
 - 44.200 MINOR CONTOUR
 - EXTERNAL RETAINING WALL REFER 27641-12CH-E05 FOR DETAILS
 - SUBSOIL DRAINAGE PIPE

- FILL DEPTH RANGE**
- FILL DEPTH RANGE 0.00m TO 0.25m
 - FILL DEPTH RANGE 0.25m TO 0.50m
 - FILL DEPTH RANGE 0.50m TO 1.00m
 - FILL DEPTH RANGE 1.00m TO 2.00m
- CUT DEPTH RANGE**
- CUT DEPTH RANGE 0.00m TO 0.25m
 - CUT DEPTH RANGE 0.25m TO 0.50m
 - CUT DEPTH RANGE 0.50m TO 1.00m
 - CUT DEPTH RANGE 1.00m TO 2.00m

REFER TO DWG SHEET 27641-12CH-E04 & E05 FOR RETAINING WALL HEIGHT AND DETAILS.

GENERAL NOTES

- THE CONTRACTOR IS TO OBTAIN THE LOCATION OF ALL SERVICES AND PROTECT THESE SERVICES PRIOR TO WORKING IN THEIR VICINITY. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONFIRM ALL EXISTING AND PROPOSED LEVELS PRIOR TO COMMENCING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER.
- NEW WORKS SHALL BE JOINED NEATLY TO EXISTING. THE CONTRACTOR SHALL SEEK THE PARTICULAR REQUIREMENTS FOR SUCH WORK FROM THE ENGINEER BEFORE PROCEEDING.
- ALL WORKS SHALL COMPLY WITH THE WORKPLACE HEALTH & SAFETY ACT & REGULATIONS 1995 AS AMENDED AND ALSO WITH THE MINES REGULATION ACT.
- ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF TOOWOOMBA REGIONAL COUNCIL.

EARTHWORKS

- THE EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3798-2007 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT".
- BEFORE FILLING OF THE SITE COMMENCES, TOPSOIL AND VEGETATION SHALL NOT BE STRIPPED AND SILT FENCE MUST BE PLACED IN A SUITABLE LOCATION. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT EROSION.

3. NO STOCKPILE IS ALLOWED

- FILL IS TO BE COMPACTED IN LAYERS NOT EXCEEDING 300mm LOOSE MEASUREMENT. EACH LAYER OF FILL SHALL BE PLACED WITH CONTROLLED MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 98% DRY DENSITY RATIO USING STANDARD COMPACTION AND IN ACCORDANCE WITH AS1289.5.11.

5. IMPORTED FILL SHALL HAVE THE FOLLOWING PROPERTIES:

- MAXIMUM STONE SIZE (mm) - 50
- PASSING 19.0mm SIEVE (%) - 70-100
- PASSING 0.075mm SIEVE (%) - 5-10
- MINIMUM SOAKED CBR (%) - 5
- MAXIMUM SHRINK-SWELL INDEX - 15
- * SAMPLES REMOULDED AT 100% STANDARD COMPACTION AT OPTIMUM MOISTURE CONTENT
- IMPORTED FILL SHALL HAVE A MAXIMUM PARTICLE SIZE OF 50mm, A MAXIMUM LIQUID LIMIT OF 35 AND MAXIMUM PLASTICITY INDEX OF 12. AN MINIMUM 4 DAY SOAKED CBR VALUE OF 5 AND FREE CONTAMINANTS AS PER AS1289.5.11.

7. FILL TO SUPPORT PAVEMENTS SHALL BE COMPACTED TO 95% STANDARD COMPACTION IN ACCORDANCE WITH AS1289.5.11.

8. COMMERCIAL FILL (TO SUPPORT MINOR LOADINGS) SHALL BE COMPACTED TO 95% STANDARD COMPACTION IN ACCORDANCE WITH AS1289.5.11.

9. ALL FILL BATTERS ARE TO BE A MAXIMUM OF 1 IN 4 UNLESS OTHERWISE SPECIFIED.

10. ALL CUT BATTERS ARE TO BE A MAXIMUM OF 1 IN 2 UNLESS OTHERWISE SPECIFIED.

11. RETAINING WALLS GREATER THAN 1.0m HIGH SHALL BE TO AN APPROVED ENGINEER'S DESIGN.

12. NO EARTHWORK FILLING TO COMMENCE UNTIL ALL WALL IS COMPLETED.

13. BACKFILLING TO BE DOWN IN A MANNER WHICH NO LATERAL LOADING IS TO BE IMPOSED TO THE WALL.

EARTHWORKS - CUT / FILL DEPTH RANGE

SPECIFICATIONS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS.

- CUT / FILL DEPTH RANGES HAVE BEEN CALCULATED FROM EXISTING SURFACE LEVEL TO FINISH DESIGN SURFACE LEVEL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE AND VERIFY THE DEPTH OF CUT VS FILL AND MAKE ALLOWANCES FOR THEM. ENGINEER TO BE NOTIFIED PRIOR TO WORKS.
- DEPTH RANGES SHOWN HAVE BEEN CALCULATED USING SURVEY INFORMATION OBTAINED FROM AN A ROSENBERGER SURVEY DRAWING S3252/13 AND NO BULKING OR COMPACTION FACTORS HAVE BEEN APPLIED.
- DEPTH RANGES SHOWN DO NOT INCLUDE THE DETAILED EXCAVATION FOR PITS, PIPES ETC.
- DEPTH RANGES SHOWN ARE TO FINISH SURFACE LEVELS AND INCLUDE IMPORTED MATERIAL FOR PAVEMENT AND BUILDING SLAB CONSTRUCTION.
- DEPTH RANGES SHOWN DO NOT ACCOUNT FOR STRIPPING OF EXISTING TOPSOIL TO AN AVERAGE DEPTH OF 150mm AND STOCKPILED FOR REUSE AT AREAS TO BE TURFED / LANDSCAPED.

ALL TRUCKS LEAVING SITE ARE TO BE WASHED DOWN TO REMOVE DUST AND MUD BEFORE DRIVING ONTO COUNCIL ROADWAY.

FILL TO BE OBTAINED FROM ON-SITE MATERIAL. NO ACCESS ROUTES OR HAUL ROAD REQUIRED.

CUT AREAS TO BE WATERED DURING EXCAVATION IF REQUIRED TO CONTROL DUST.



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Eng (Civil) Reg (M) MEM (C) ENG (M) ENG (M)
RPEQ Reg. No. 11311

Drawing Details



C CHANGE INVESTMENTS

PO BOX 276
CLEVELAND 4163

PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

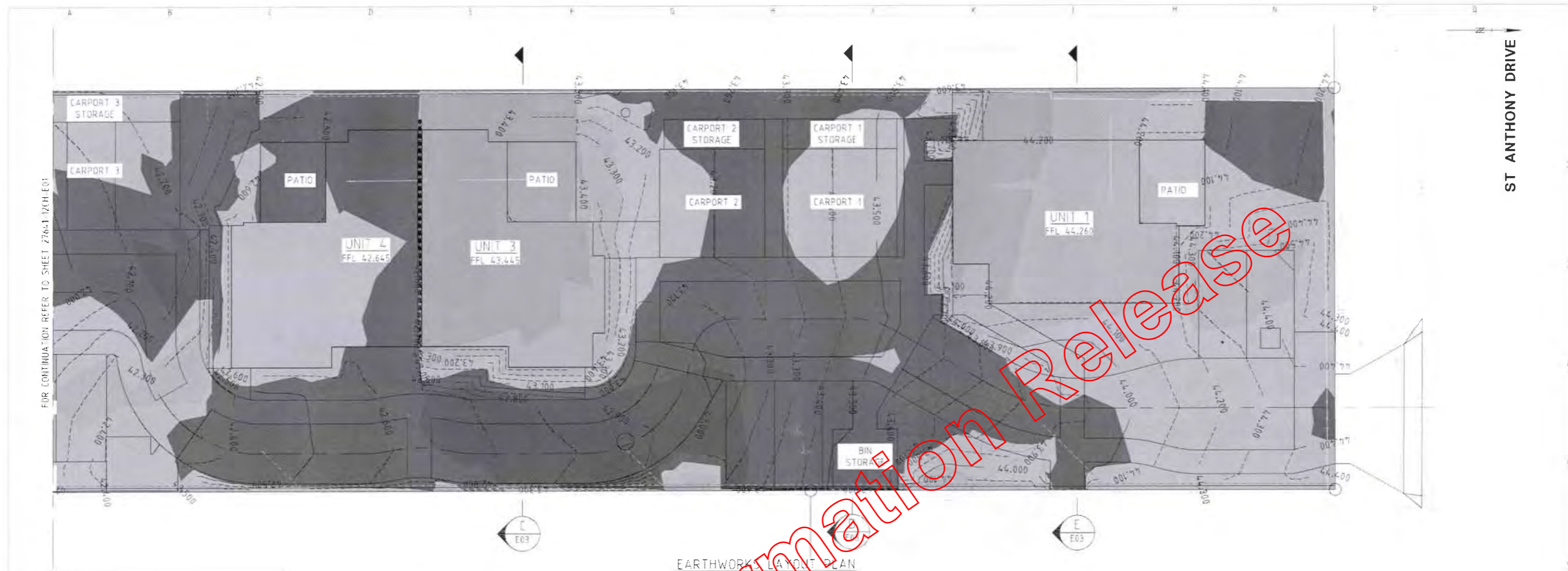


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EARTHWORKS LAYOUT PLAN

JOB NO.: 27641-12CH DWG NO.: E01



LEGEND EXISTING

TREES TO REMAIN

LEGEND PROPOSED

- FFL 42.645 DESIGN FINISH FLOOR LEVEL
- 44.000 MAJOR CONTOUR
- 44.200 MINOR CONTOUR
- EXTERNAL RETAINING WALL REFER 27641-12CH-E03 FOR DETAILS
- SUBSOIL DRAINAGE PIPE

FILL DEPTH RANGE

- FILL DEPTH RANGE 0.00m TO 0.25m
- FILL DEPTH RANGE 0.25m TO 0.50m
- FILL DEPTH RANGE 0.50m TO 1.00m
- FILL DEPTH RANGE 1.00m TO 2.00m

CUT DEPTH RANGE

- CUT DEPTH RANGE 0.00m TO 0.25m
- CUT DEPTH RANGE 0.25m TO 0.50m
- CUT DEPTH RANGE 0.50m TO 1.00m
- CUT DEPTH RANGE 1.00m TO 2.00m

EARTHWORKS NOTES

FOR EARTHWORKS NOTES AND DETAILS REFER TO STRUCTERRE DRAWING 27641-12CH-E01.

ALL TRUCKS LEAVING SITE ARE TO BE WASHED DOWN TO REMOVE DUST AND MUD BEFORE DRIVING ONTO COUNCIL ROADWAY

FILL TO BE OBTAINED FROM ON-SITE MATERIAL. NO ACCESS ROUTES OR HAUL ROADS REQUIRED.

CUT AREAS TO BE WATERED DURING EXCAVATION IF REQUIRED TO CONTROL DUST.

REFER TO DWG SHEET 27641-12CH-E04 & E05 FOR RETAINING WALL HEIGHT AND DETAILS.



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EARTHWORKS LAYOUT PLAN

JOB NO.: 27641-12CH DWG NO.: E02

BLOCKWORK RETAINING WALL. REFER TO DETAILS.

RETAINING WALL SUB-SOIL DRAINAGE

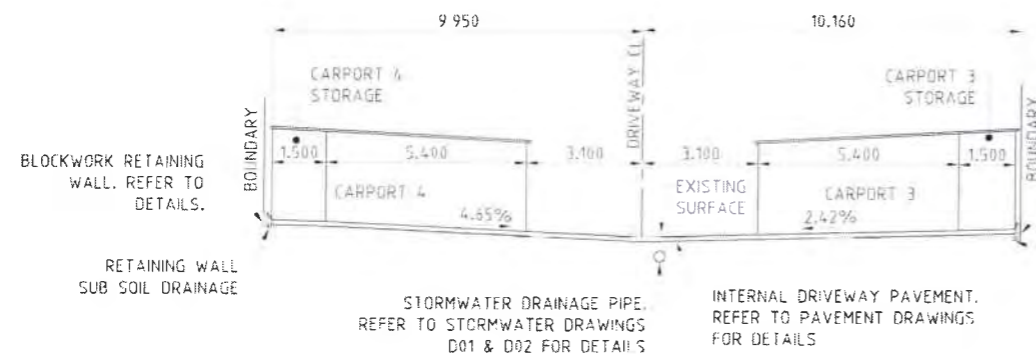
INTERNAL DRIVEWAY PAVEMENT. REFER TO PAVEMENT DRAWINGS FOR DETAILS

STORMWATER DRAINAGE PIPE. REFER TO STORMWATER DRAWINGS D01 & D02 FOR DETAILS

EXISTING SURFACE
RETAINING WALL SUB-SOIL DRAINAGE

REFER TO EARTHWORKS DRAWINGS FOR FILL DETAILS

TYPICAL CROSS SECTION
SCALE 1:100



TYPICAL CROSS SECTION
SCALE 1:100



TYPICAL CROSS SECTION
SCALE 1:100



BLOCKWORK RETAINING WALL. REFER TO DETAILS.

BLOCKWORK RETAINING WALL. REFER TO DETAILS.

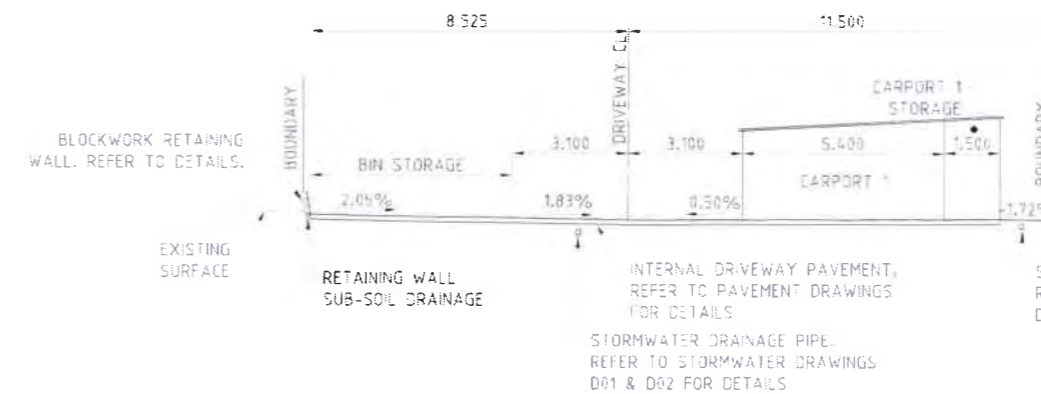
RETAINING WALL SUB-SOIL DRAINAGE

INTERNAL DRIVEWAY PAVEMENT. REFER TO PAVEMENT DRAWINGS FOR DETAILS

EXISTING SURFACE
RETAINING WALL SUB-SOIL DRAINAGE

BLOCKWORK RETAINING WALL. REFER TO DETAILS.

TYPICAL CROSS SECTION
SCALE 1:100



TYPICAL CROSS SECTION
SCALE 1:100



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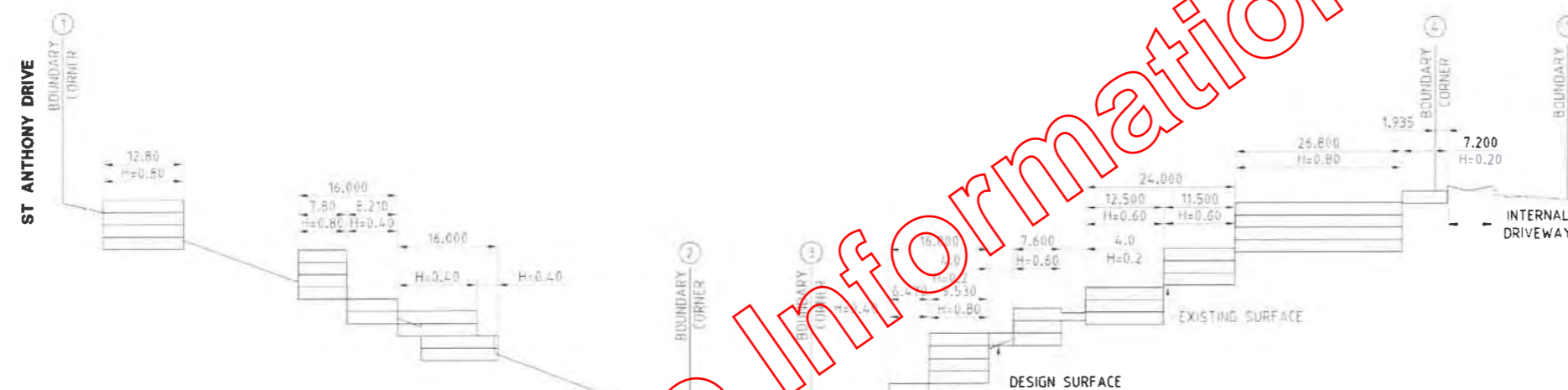
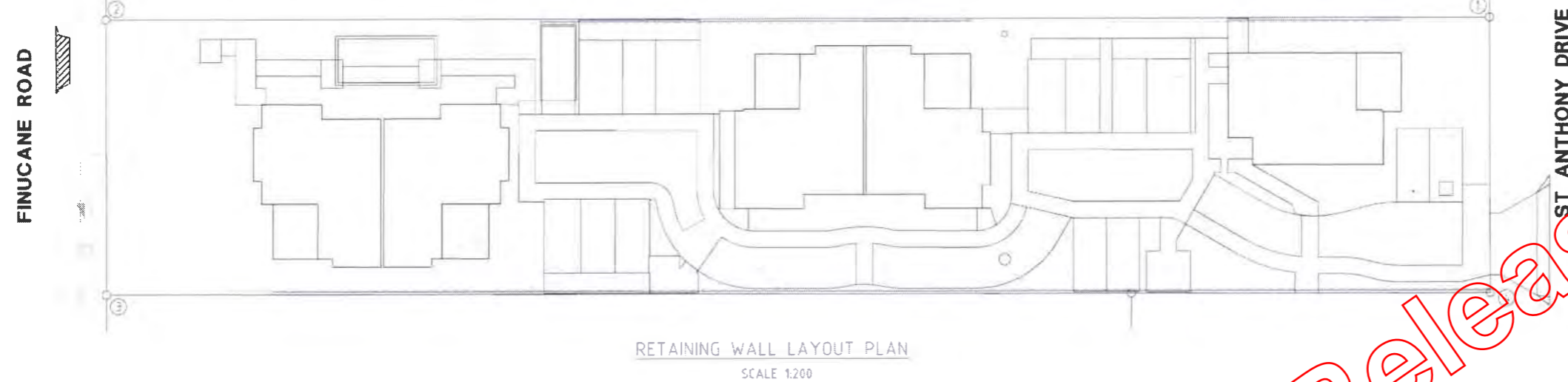
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PROPOSED MULTI UNIT
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ALEXANDRA HILLS

TYPICAL SECTIONS

JOB NO: 27641-12CH DWG NO: 603 4



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Drawing Details
DESIGNED BY: JLM
DRAWN BY: JLM
CHECKED BY: JLM

AS SHOWN

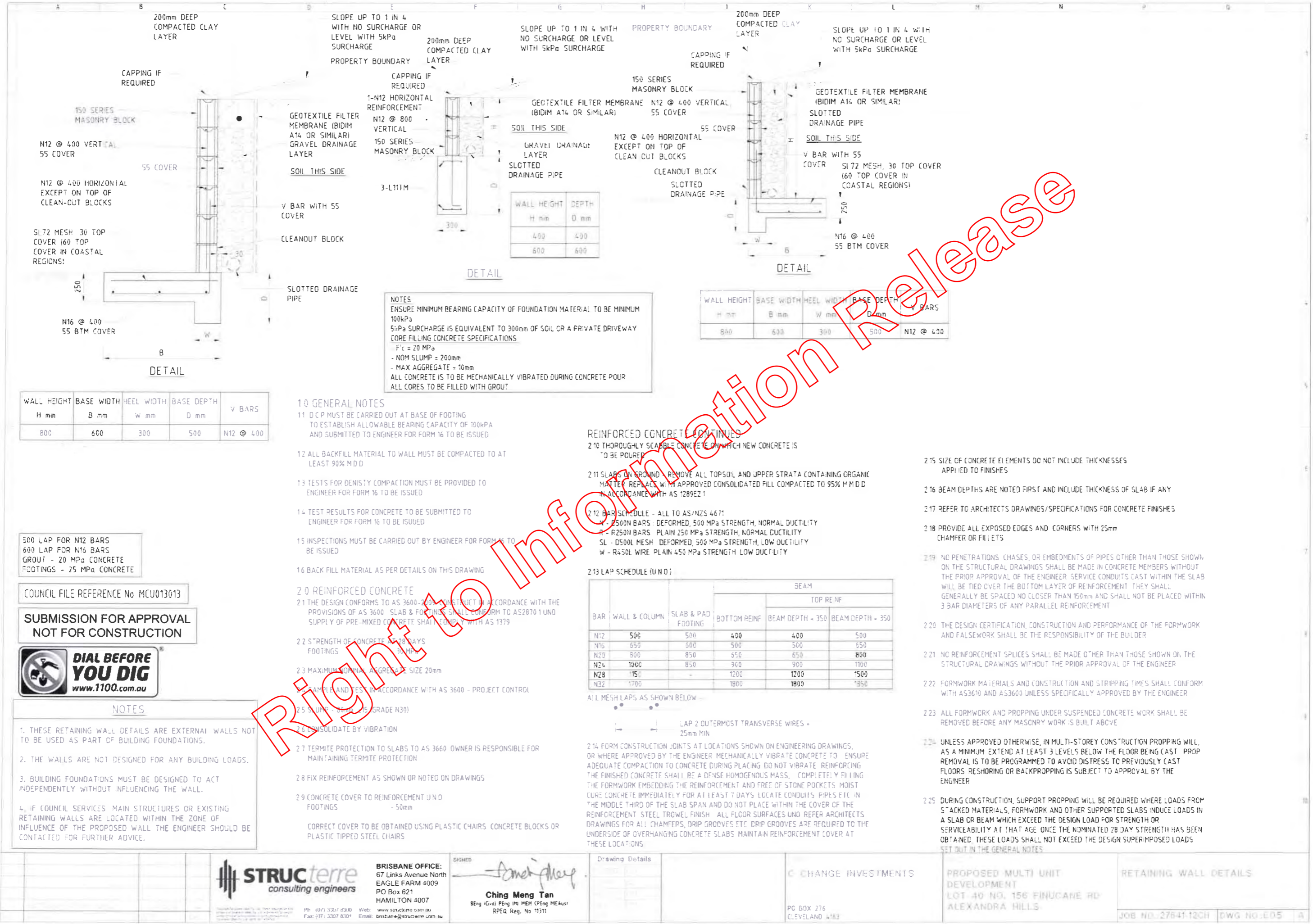
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PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

RETAINING WALL DETAILS

JOB NO.:27641-12GH	DWG NO.:E04	A
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Right to Information Release

FINUCANE ROAD

ST ANTHONY DRIVE

LEGEND



SEDIMENT TRAP

2

SEDIMENT FENCE



CONSTRUCTION EXIT

EROSION & SEDIMENT CONTROL LAYOUT PLAN

SCALE 1:200

NOTE

ENGINEER MUST BE NOTIFIED OF CHANGES TO DESIGN PLANS. IF NOT, AS CONSTRUCTED DRAWINGS WILL NOT BE ISSUED.

NOTE

ANY REDUNDANT DRIVEWAY CROSSEOVERS AND DRAINAGE OUTLETS FROM THE KERB AND CHANNEL INCLUDING ANY ASSOCIATED PIPE WORK ACROSS THE FOOTWAY TO BE REMOVED AND REINSTATE THE KERB AND CHANNEL AND FOOTWAY TO LOCAL AUTHORITIES CURRENT SPECIFICATIONS AND STANDARDS.

WARNING

THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING SERVICES ON AND EXTERIOR TO THE SITE INCLUDING WATERMANS, SEWERMANS, TELECOMMUNICATIONS CABLES, ELECTRICAL CABLES, AND STORMWATER MAINS. ANY DAMAGE TO EXISTING SERVICES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.



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PROPOSED MULTI UNIT
DEVELOPMENT
LOT 40 NO. 156 FINUCANE RD
ALEXANDRA HILLS

EROSION & SEDIMENT CONTROL
LAYOUT PLAN

JOB NO.: 27641-12CH DWG NO.: M01 B

GENERAL NOTES

1. RESTRICT SURFACE DISTURBANCE TO RETAIN THE MAXIMUM AREA OF NATURAL VEGETATIVE COVER.
2. INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING EARTHWORKS
3. RE-ESTABLISH VEGETATION AS SOON AS PRACTICABLE ON ALL AREAS WHERE SOIL HAS BEEN EXPOSED OR DISTURBED.
4. REGULARLY MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS TAKEN PLACE.
6. WATER FROM EXPOSED AREAS OF SOIL AND LOOSE MATERIAL SHALL BE DIVERTED ALONG STABLE DIVERSION DRAINS, BANKS OR BUNDS AROUND THE SITE.
7. NO OIL SCUM, GREASE, LITTER FLOATING MATERIAL, TOXIC SUBSTANCES OR OTHER POLLUTING MATERIALS ARE TO FLOW FROM THE SITE.
8. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCC.
9. DUST GENERATED FROM THE SITE EARTHWORKS IS TO BE CONTROLLED SO AS NOT TO ADVERSELY AFFECT SURROUNDING PROPERTIES.

CONSTRUCTION EXITS

CONSTRUCTION EXITS SHALL BE CONSTRUCTED TO REMOVE SOIL, MUD, CLODS, DUST AND DEBRIS FROM THE TYRES OF VEHICLES LEAVING THE CONSTRUCTION SITE SO AS TO PREVENT THE TRACKING OF SUCH MATERIAL ON TO PUBLIC ROADWAYS. THEY SHALL ALSO BE USED TO MINIMISE OFF-SITE ROAD SAFETY HAZARDS. THE NUMBER OF SITE EXIT POINTS SHOULD BE MINIMISED, PREFERABLY TO ONE. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 2.40m WIDE (PREFERABLY 3.0m) AND CONSIST OF A CRUSHED ROCK PAD WHICH IS A MINIMUM OF 150mm THICK UNDERLAID WITH A GEOTEXTILE FABRIC. A MOUNTABLE BERM (5M:1V BATTERS) MAY BE REQUIRED ADJACENT TO THE ROAD OR FOOTPATH AREA TO PREVENT DRAINAGE FROM THE SITE. ALL DRAINAGE FROM CONSTRUCTION EXITS SHOULD BE DIRECTED TO A SUITABLE SEDIMENT TRAP

SEDIMENT FENCES

SEDIMENT FENCES SHALL BE USED TO CONTROL SEDIMENT RUNOFF FROM EXPOSED LAND, UNSEALED ROADS AND STOCKPILES. THEY MAY BE USED AT REGULAR SPACINGS DOWN A DISTURBED SLOPE TO LIMIT THE RUTTING CAUSED BY CONCENTRATION OF SHEET FLOWS. GEOTEXTILE FILTER FABRIC SHALL BE ATTACHED TO A WIRE AND POST FENCE AT A MAXIMUM HEIGHT OF 700mm WITH AN ADDITIONAL 200mm (MIN.) BURIED AND COMPACTED INTO AN UPSTREAM TRENCH. THEY SHALL BE SPACED AT 30-60m INTERVALS DEPENDING ON THE SLOPE. THEY SHALL BE INSPECTED REGULARLY TO REPAIR DAMAGE AND REMOVE EXCESS SEDIMENT.

SITE EROSION AND SEDIMENT CONTROL MEASURES

1. A GRAVELLED CONSTRUCTION EXIT/ENTRY IS TO BE CONSTRUCTED PRIOR TO START OF EARTHWORKS AS DETAILED ON THE PLANS TO PREVENT TRACKING OF EARTH ETC. ONTO COUNCIL ROADWAYS.
2. THE TOP OF RETAINING WALLS SHALL BE HIGHER THAN THE FILL LEVEL DURING CONSTRUCTION TO PREVENT EROSION OF FILL MATERIAL.
3. INSTALL STORMWATER DRAINAGE AS EARLY AS POSSIBLE AFTER THE EARTHWORKS. SEDIMENT TRAPS SHALL BE CONSTRUCTED AS DETAILED AROUND ALL INLETS TO PREVENT SEDIMENT ENTERING THE STORMWATER SYSTEM.

CONSTRUCTION AND MAINTENANCE

CONSTRUCTION SHALL BE CARRIED OUT SO AS TO MINIMISE EROSION AND WATER POLLUTION. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PUT IN PLACE TO MATCH THE ORDER OF CONSTRUCTION. THESE DEVICES SHALL BE INSPECTED REGULARLY AND AFTER STORMS TO ENSURE THEIR EFFECTIVENESS. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA WHERE IT WILL NOT ERODE.

GENERAL CONSTRUCTION NOTES

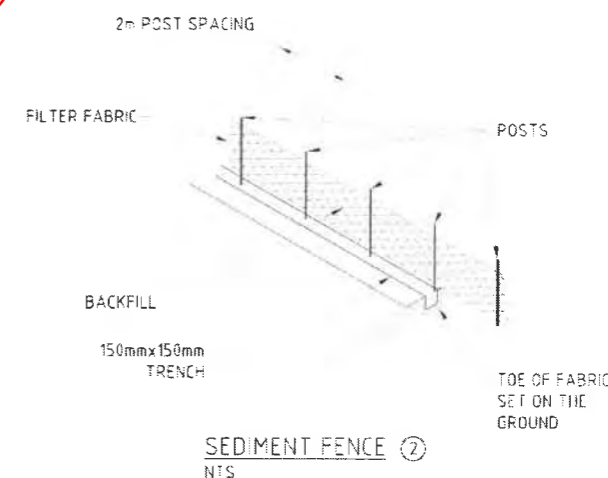
1. SEDIMENT AND EROSION CONTROL SHALL BE CARRIED OUT IN ACCORDANCE WITH IECA DOCUMENT "BEST PRACTICE EROSION & SEDIMENT CONTROL."
2. CUT AND FILL BATTERS SHALL BE SPREAD WITH A MINIMUM OF 100mm OF TOPSOIL AND LANDSCAPED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AS SOON AS POSSIBLE IN ORDER TO MINIMISE EROSION OF THE SOIL.

INSTALLATION

1. REFER TO APPROVED PLANS FOR LOCATION AND DIMENSIONAL DETAILS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, DIMENSIONS, OR METHOD OF INSTALLATION, CONTACT THE ENGINEER OR RESPONSIBLE OR ON-SITE OFFICER FOR ASSISTANCE.
2. CLEAR THE LOCATION OF THE ROCK PAD, REMOVING STUMPS, ROOTS AND OTHER VEGETATION TO PROVIDE A FIRM FOUNDATION SO THAT THE ROCK IS NOT PRESSED INTO SOFT GROUND. CLEAR SUFFICIENT WIDTH TO ALLOW PASSAGE OF LARGE VEHICLES BUT CLEAR ONLY THAT IS NECESSARY FOR THE EXIT. DO NOT CLEAR ADJACENT AREAS UNTIL THE REQUIRED EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE.
3. IF THE EXPOSED SOIL IS SOFT, PLASTIC OR CLAYEY, PLACE A SUB-BASE OF CRUSHED ROCK OR A LAYER OF HEAVY-DUTY FILTER CLOTH TO PROVIDE A FIRM FOUNDATION.
4. PLACE THE ROCK PAD FORMING A MINIMUM 200mm THICK LAYER OF CLEAN OPEN-VOID ROCK.
5. IF THE ASSOCIATED CONSTRUCTION SITE IS UP-SLOPE OF THE ROCK PAD, THUS CAUSING STORMWATER RUNOFF TO FLOW TOWARDS THE ROCK PAD, THEN FORM A MINIMUM 300mm HIGH FLOW CONTROL BERM ACROSS THE ROCK PAD TO DIVERT SUCH RUNOFF TO A SUITABLE SEDIMENT TRAP.
6. THE LENGTH OF THE ROCK PAD SHOULD BE AT LEAST 15m WHERE PRACTICABLE, AND AS WIDE AS THE FULL WIDTH OF THE ENTRY OR EXIT AND AT LEAST 3m. THE ROCK PAD SHOULD COMMENCE AT THE EDGE OF THE OFF-SITE SEALED ROAD OR PAVEMENT.
7. FLARE THE END OF THE ROCK PAD WHERE IT MEETS THE PAVEMENT SO THAT THE WHEELS OF TURNING VEHICLES DO NOT TRAVEL OVER UNPROTECTED SOIL.
8. IF THE FOOTPATH IS OPEN TO PEDESTRIAN MOVEMENT, THEN COVER THE COARSE ROCK WITH FINE AGGREGATE OR GRAVEL, OR OTHERWISE TAKE WHATEVER MEASURES ARE NEEDED TO MAKE THE AREA SAFE.

ROLL OF NETTED FILLING WITH 50 TO 75mm GRAVEL OR MASONRY BLOCKS WITH A FILTER CLOTH OVER 50 TO 75mm OF GRAVEL

SEDIMENT TRAP ①
NTS



50-75mm OR 100-150mm CRUSHED ROCK

UP SLOPE RUNOFF DIRECTED TO AN APPROPRIATE SEDIMENT TRAP
GEOTEXTILE FILTER CLOTH (MANDATORY WHEN WORKING ON CLAYEY SOILS)

CONSTRUCTION EXIT ③
NTS

FLOW CONTROL BERM INCORPORATED INTO THE ROCK PAD IF THE PAD RECEIVES RUNOFF FROM THE SOIL DISTURBANCE (LOCATION MAY VARY)

PROPERTY ALIGNMENT
MAKE FOOTPATH AREA SAFE FOR PEDESTRIAN TRAFFIC
KERB
ROAD

ALL WORKS IN ACCORDANCE IECA BEST PRACTICE EROSION AND SEDIMENT CONTROL GUIDELINES



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EROSION & SEDIMENT CONTROL
NOTES

JOB NO.: 27841-12CH DWG NO.: M02

STORMWATER MANAGEMENT PLAN – JOB NO. 27641-12CH

ISSUE

STORMWATER MANAGEMENT – CONSTRUCTION PHASE

PURPOSE

TO PROVIDE A SET OF BEST PRACTICE SITE MANAGEMENT PROCEDURES TO CONTROL THE SEVERITY AND EXTENT OF SOIL EROSION AND POLLUTANT TRANSPORT DURING THE EARTHWORKS AND CONSTRUCTION PHASE.

PERFORMANCE CRITERIA

WATER DISCHARGED FROM THE SITE IS TO MINIMISE DETRIMENTAL IMPACTS ON WATER QUALITY AND THE ENVIRONMENT OCCUR DURING THE CONSTRUCTION PHASE.

THE QUALITY OF DISCHARGE FROM THE SITE TO SATISFY THE FOLLOWING WATER QUALITY OBJECTIVES (WQOS)

RELEASE CRITERIA

AN INCREASE IN SUSPENDED SOLIDS WITHIN SURFACE WATERS – UPSTREAM OF SITE TO DOWNSTREAM OF SITE – OF LESS THAN 10%.

WATER PH RELEASED FROM A CONTROLLED SEDIMENT BASIN OUTFLOW MUST BE WITHIN THE RANGE 6.5 TO 8.5.

SUSPENDED SOLIDS RELEASED FROM CONTROLLED SEDIMENT BASIN OUTFLOWS MUST BE NO GREATER THAN 50MG/L.

OILS AND GREASE – NO VISIBLE FILMS OR ODOUR.

LITTER – NO VISIBLE LITTER WASHED OR BLOWN FROM THE SITE.

RESPONSIBILITY

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE STORMWATER MANAGEMENT PLAN (SWMP) DURING THE COURSE OF ALL CONSTRUCTION ACTIVITIES.

IMPLEMENTATION STRATEGY

PERMANENT AND LONG-TERM DRAINS AND BUND WALLS TO BE TOPSOILED AND VEGETATED WITH SUITABLE VEGETATION AS SOON AS POSSIBLE.

CLEAN-UP OF GENERAL SITE LITTER ON A WEEKLY BASIS, PRIOR TO ANTICIPATED HEAVY RAINFALL AND AFTER SIGNIFICANT RAINFALL EVENTS (>25MM/24HOURS).

LANDSCAPING ACTIVITIES AND REVEGETATION TO OCCUR AS SOON AS PRACTICAL AFTER COMPLETION OF EARTHWORKS AND CONSTRUCTION ACTIVITIES WITHIN THE IMMEDIATE AREA AND MUST ACHIEVE A MINIMUM 70% COVERAGE OF ALL ERODIBLE SURFACES.

ONLY APPROPRIATE HERBICIDES AND FERTILISERS TO BE USED.

THE STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS IS MANAGED IN ACCORDANCE WITH AS1940-1993.

THE CONTRACTOR TO COMPLETE EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE PLANS AND NOTES.

MONITORING

EROSION AND SEDIMENT CONTROL (ESC) MEASURES TO BE INSPECTED DAILY BY THE SITE MANAGER (OR NOMINATED REPRESENTATIVE) DURING PERIODS OF RUNOFF-PRODUCING RAINFALL AND DE-SITED, REPAIRED AND AMENDED AS APPROPRIATE TO MAINTAIN THE WQOS.

A. DAILY SITE INSPECTIONS, DURING PERIODS OF RUNOFF-PRODUCING RAINFALL MUST INCLUDE:

- ALL DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES.
- OCCURRENCES OF EXCESSIVE SEDIMENT DEPOSITION (WHETHER ON-SITE OR OFF-SITE).
- ALL SITE DISCHARGE POINTS.

B. WEEKLY SITE INSPECTIONS MUST INCLUDE:

- ALL DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES.
- OCCURRENCES OF EXCESSIVE SEDIMENT DEPOSITION (WHETHER ON-SITE OR OFF-SITE).
- OCCURRENCES OF CONSTRUCTION MATERIALS, LITTER OR SEDIMENT PLACED, DEPOSITED, WASHED OR BLOWN FROM THE SITE, INCLUDING DEPOSITION BY VEHICULAR MOVEMENTS.
- LITTER AND WASTE RECEPTORS.
- OIL FUEL AND CHEMICAL STORAGE FACILITIES.

C. SITE INSPECTIONS IMMEDIATELY PRIOR TO ANTICIPATED RUNOFF-PRODUCING RAINFALL MUST INCLUDE:

- ALL DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES.
- ALL TEMPORARY (E.G. OVER-NIGHT) FLOW DIVERSION AND DRAINAGE WORKS.

D. SITE INSPECTIONS IMMEDIATELY FOLLOWING RUNOFF-PRODUCING RAINFALL MUST INCLUDE:

- TREATMENT AND DE-WATERING REQUIREMENTS OF SEDIMENT BASINS.
- SEDIMENT DEPOSITION WITHIN SEDIMENT BASINS AND THE NEED FOR ITS REMOVAL.
- ALL DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES.
- OCCURRENCES OF EXCESSIVE SEDIMENT DEPOSITION (WHETHER ON-SITE OR OFF-SITE).
- OCCURRENCES OF CONSTRUCTION MATERIALS, LITTER OR SEDIMENT PLACED, DEPOSITED, WASHED OR BLOWN FROM THE SITE, INCLUDING DEPOSITION BY VEHICULAR MOVEMENTS.
- OCCURRENCES OF EXCESSIVE EROSION, SEDIMENTATION, OR MUD GENERATION AROUND THE SITE OFFICE, CAR PARK AND MATERIAL STORAGE AREAS.

E. SURFACE COVERAGE OF FINISHED SURFACES (BOTH AREA AND PERCENTAGE COVER).

- HEALTH OF RECENTLY ESTABLISHED VEGETATION.

• PROPOSED STAGING OF FUTURE SITE CLEARING, EARTHWORKS AND SITE/SOIL STABILISATION. WATER QUALITY MONITORING MUST BE CARRIED OUT ON ANY CONTROLLED DISCHARGE OF WATER FROM A SEDIMENT BASIN INCLUDING WATER PH AND SUSPENDED SOLIDS.

• WATER QUALITY MONITORING AT THE NOMINATED MONITORING STATIONS MUST BE CARRIED OUT MONTHLY AND FOLLOWING SIGNIFICANT RAINFALL (>25MM IN 72HRS).

THE PARAMETERS TO BE TESTED FOR WATERS COLLECTED AT MONITORING STATIONS MUST INCLUDE: TEMPERATURE, DISSOLVED OXYGEN, PH, SPECIFIC CONDUCTANCE, SALINITY, TURBIDITY, SUSPENDED SOLIDS, AND LITTER.

NOTE THAT ADDITIONAL WATER QUALITY MONITORING MAYBE REQUIRED IF THE WQOS ARE NOT BEING MET.

AUDITING

ESCP REVIEWS ARE TO BE CARRIED OUT ON A MONTHLY BASIS TO ASSESS THE IMPLEMENTATION STRATEGY. A CHECKLIST IS TO BE COMPLETED WHICH ASSESSES THE STRATEGIES LISTED ABOVE.

IDENTIFICATION OF INCIDENT OR FAILURE:

NON-COMPLIANCE WITH AGREED PERFORMANCE CRITERIA WILL BE IDENTIFIED BY:

1. VISUAL INSPECTIONS IDENTIFYING:

- BUILD-UP OF SEDIMENT OFF THE SITE;
- EXCESSIVE SEDIMENT BUILD-UP ON THE SITE;
- EXCESSIVE EROSION ON THE SITE;
- RELEASE OF CONSTRUCTION MATERIAL FROM THE SITE;
- POOR VEGETATION ESTABLISHMENT;
- POORLY MAINTAINED, DAMAGED OR FAILED ESC DEVICES.

2. DETERIORATED WATER QUALITY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT AS BEING ATTRIBUTABLE TO THE CONSTRUCTION ACTIVITIES.

CORRECTIVE ACTION

AFTER ANY IDENTIFICATION OF INCIDENT OR FAILURE, THE SOURCE/CAUSE IS TO BE IMMEDIATELY LOCATED AND THE FOLLOWING MEASURES IMPLEMENTED:

- BUILD-UP OF SEDIMENT OFF THE SITE – THE MATERIAL MUST BE COLLECTED AND DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ONGOING ENVIRONMENTAL NUISANCE OR HARM, THEN ON-SITE ESC MEASURES AMENDED WHERE APPROPRIATE TO REDUCE THE RISK OF FURTHER SEDIMENTATION.
- EXCESSIVE SEDIMENT BUILD-UP ON THE SITE – COLLECT AND DISPOSE OF MATERIAL THEN AMEND UP-SLOPE DRAINAGE AND/OR EROSION CONTROL MEASURES AS APPROPRIATE TO REDUCE FURTHER OCCURRENCE.
- SEVERE OR EXCESSIVE RILL EROSION – INVESTIGATE CAUSE, CONTROL UP-SLOPE WATER MOVEMENT, RE-PROFILE SURFACE, COVER DISPERSIVE SOILS WITH A MINIMUM 100MM LAYER OF NON-DISPERSIVE SOIL AND STABILISE WITH EROSION CONTROL BLANKETS AND VEGETATION AS NECESSARY.
- OFF-STREAM EROSION – FILL RILLS, VEGETATE AND INSTALL VELOCITY CONTROL MEASURES.
- IN-STREAM EROSION – CONSULT APPROPRIATE HYDRAULIC/WATERWAY CONSULTANT FOR ADVICE.
- RELEASE OF CONSTRUCTION MATERIAL FROM THE SITE – COLLECTED AND DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ONGOING ENVIRONMENTAL NUISANCE OR HARM, THEN INSPECT LITTER AND WASTE RECEPTORS.
- POOR VEGETATION GROWTH OR SOIL COVERAGE – PLANT NEW VEGETATION AND/OR MULCH AS REQUIRED. NEWLY PLANTED AND PREVIOUSLY PLANTED AREAS MAY REQUIRE SUPPLEMENTARY WATERING AND REPLANTING.
- SEDIMENT FENCE FAILURE – REPLACE AND MONITOR MORE FREQUENTLY. REGULAR FAILURES MAY MEAN THAT THE SEDIMENT FENCE LOCATION, ALIGNMENT OR INSTALLATION MAY NEED TO BE AMENDED.

IF THE RELEASE OF EXCESSIVE SEDIMENT AND/OR OTHER MATERIALS OFF THE SITE OCCURS OR WATER QUALITY MONITORING INDICATES LEVELS ARE NOT WITHIN THE WQOS, CLEAN UP DEPOSITION AND INSPECT ALL CONTROL MEASURES.

IF THE RELEASE OF EXCESSIVE SEDIMENT AND/OR OTHER MATERIALS OFF THE SITE IS IDENTIFIED DURING TWO CONSECUTIVE SITE INSPECTIONS OR WATER QUALITY MONITORING INDICATES LEVELS NOT WITHIN THE WQOS ON TWO CONSECUTIVE MONTHLY TESTS, THEN REVIEW AND REVISE THE ESCP, OR OTHERWISE REDUCE THE RATE, EXTENT AND/OR DURATION OF SOIL EXPOSURE.

IF MONITORED LEVELS WITHIN ANY SEDIMENT BASIN DOES NOT CONFORM TO THE RELEASE CRITERIA FOR:

- SUSPENDED SOLIDS – FLOCCULATE AND RETEST.
- PH – ADD ACID IF PH IS TOO HIGH OR ADD HYDRATED LIME IF PH IS TOO LOW, AND RETEST.

REPORTING:

REPORTS WILL BE SUBMITTED MONTHLY DURING THE CONSTRUCTION AT EACH STAGE. THE REPORTING WILL INCLUDE:

- CONSTRUCTION CONTRACTOR SITE MANAGER'S REPORT, AND
- ENVIRONMENTAL CONSULTANT'S WATER QUALITY MONITORING REPORT.

EROSION & SEDIMENT CONTROL (TO BE READ IN CONJUNCTION WITH PLANS)

GENERAL

1. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IMPLEMENTED AND A REVISED EROSION AND SEDIMENT CONTROL PLAN (ESCP) MUST BE SUBMITTED FOR APPROVAL IN THE EVENT THAT THE IMPLEMENTED WORKS FAIL TO ACHIEVE THE STATED 'OBJECTIVE' OF THE ESCP. THE LOCAL GOVERNMENT ESC STANDARD OR THE STATE'S ENVIRONMENTAL PROTECTION REQUIREMENTS.
2. WHERE THERE IS A HIGH PROBABILITY THAT SERIOUS OR MATERIAL ENVIRONMENTAL HARM MAY OCCUR AS A RESULT OF SEDIMENT LEAVING THE SITE, APPROPRIATE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MUST BE IMPLEMENTED SUCH THAT ALL REASONABLE AND PRACTICABLE MEASURES ARE BEING TAKEN TO PREVENT OR MINIMISE SUCH HARM. ONLY THOSE WORKS NECESSARY TO MINIMISE OR PREVENT ENVIRONMENTAL HARM SHALL BE CONDUCTED ON-SITE PRIOR TO APPROVAL OF THE AMENDED EROSION AND SEDIMENT CONTROL PLAN (ESCP).

LAND CLEARING

3. ALL REASONABLE AND PRACTICABLE EFFORTS MUST BE TAKEN TO DELAY THE REMOVAL OF, OR DISTURBANCE TO EXISTING GROUND COVER (ORGANIC OR INORGANIC) PRIOR TO LAND-DISTURBING ACTIVITIES.
4. BULK TREE CLEARING MUST OCCUR IN A MANNER THAT MINIMISES DISTURBANCE TO EXISTING GROUND COVER (ORGANIC OR INORGANIC).
5. BULK TREE CLEARING AND GRUBBING OF THE SITE MUST BE IMMEDIATELY FOLLOWED BY SPECIFIED TEMPORARY STABILISATION MEASURE (E.G. TEMPORARY GRASSING, OR MULCHING) PRIOR TO COMMENCEMENT OF EACH STAGE OF CONSTRUCTION WORKS.
6. DISTURBANCE TO NATURAL WATERCOURSES (INCLUDING BED AND BANKS) AND THEIR ASSOCIATED RIPARIAN ZONES MUST BE LIMITED TO THE MINIMUM PRACTICABLE.
7. NO LAND CLEARING SHALL BE UNDERTAKEN UNLESS PRECEDED BY THE INSTALLATION OF ADEQUATE DRAINAGE AND SEDIMENT CONTROL MEASURES, UNLESS SUCH CLEARING IS REQUIRED FOR THE PURPOSE OF INSTALLING SUCH MEASURES, IN WHICH CASE ONLY THE MINIMUM CLEARING REQUIRED TO INSTALL SUCH MEASURES SHALL OCCUR.
8. LAND CLEARING MUST BE LIMITED TO 5M FROM THE EDGE OF PROPOSED CONSTRUCTED WORKS, 2M OF ESSENTIAL CONSTRUCTION TRAFFIC ROUTES, AND A TOTAL OF 10M WIDTH FOR CONSTRUCTION ACCESS, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
9. PRIOR TO LAND CLEARING, AREAS OF PROTECTED VEGETATION, AND SIGNIFICANT AREAS OF RETAINED VEGETATION MUST BE CLEARLY IDENTIFIED (E.G. WITH HIGH-VISIBILITY TAPE OR LIGHT FENCING) FOR THE PURPOSES OF MINIMISING THE RISK OF UNNECESSARY LAND CLEARING.
10. ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO MINIMISE THE REMOVAL OF, OR DISTURBANCE TO, THOSE TREES, SHRUBS AND GROUND COVERS (ORGANIC OR INORGANIC) THAT ARE INTENDED TO BE RETAINED.
11. ALL LAND CLEARING MUST BE IN ACCORDANCE WITH THE FEDERAL, STATE AND LOCAL GOVERNMENT VEGETATION PROTECTION/PRESERVATION REQUIREMENTS AND/OR POLICIES.
12. LAND CLEARING IS LIMITED TO THE MINIMUM PRACTICABLE DURING THOSE PERIODS WHEN SOIL EROSION DUE TO WIND, RAIN OR SURFACE WATER IS POSSIBLE.

SITE ACCESS

13. PRIOR TO THE COMMENCEMENT OF SITE WORKS, THE LOCATION OF THE SITE ACCESS POINT(S) MUST BE VERIFIED WITH LOCAL COUNCIL.
14. SITE ACCESS MUST BE RESTRICTED TO THE MINIMUM PRACTICAL NUMBER OF LOCATIONS.
15. SITE EXIT POINTS MUST BE APPROPRIATELY MANAGED TO MINIMISE THE RISK OF SEDIMENT BEING TRACKED ONTO SEALED, PUBLIC ROADWAYS.
16. STORMWATER RUNOFF FROM ACCESS ROADS AND STABILISED ENTRY/EXIT POINTS MUST DRAIN TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.

SOIL AND STOCKPILE MANAGEMENT

17. ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO OBTAIN THE MAXIMUM BENEFIT FROM EXISTING TOPSOIL, INCLUDING:
 - WHERE THE PROPOSED AREA OF SOIL DISTURBANCE EXCEEDS 2500M², AND THE TOPSOIL DOES NOT CONTAIN UNDESIRABLE WEED SEED, THE TOP 50MM OF SOIL MUST BE STRIPPED AND STOCKPILED SEPARATELY FROM THE REMAINING TOPSOIL, AND SPREAD AS A FINAL SURFACE SOIL.
 - IN AREAS WHERE THE TOPSOIL CONTAINS UNDESIRABLE WEED SEED, THE AFFECTED SOIL MUST BE SUITABLY BURIED OR REMOVED FROM THE SITE.
18. STOCKPILES OF ERODIBLE MATERIAL THAT HAS THE POTENTIAL TO CAUSE ENVIRONMENTAL HARM IF DISPLACED, MUST BE:
 - APPROPRIATELY PROTECTED FROM WIND, RAIN, CONCENTRATED SURFACE FLOW AND EXCESSIVE UP-SLOPE STORMWATER SURFACE FLOWS.
 - LOCATED AT LEAST 2M FROM ANY HAZARDOUS AREA, RETAINED VEGETATION OR CONCENTRATED DRAINAGE LINE.
 - LOCATED UP-SLOPE OF AN APPROPRIATE SEDIMENT CONTROL SYSTEM.
 - PROVIDED WITH AN APPROPRIATE PROTECTIVE COVER (SYNTHETIC, MULCH OR VEGETATIVE) IF THE MATERIALS ARE LIKELY TO BE STOCKPILED FOR MORE THAN 28 DAYS.
19. A SUITABLE FLOW DIVERSION SYSTEM MUST BE ESTABLISHED IMMEDIATELY UP-SLOPE OF A STOCKPILE OF ERODIBLE MATERIAL THAT HAS THE POTENTIAL TO CAUSE ENVIRONMENTAL HARM IF DISPLACED IF THE UP-SLOPE CATCHMENT AREA DRAINING TO THE STOCKPILE EXCEEDS 1500m².



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STORMWATER, EROSION &
SEDIMENT CONTROL MANAGEMENT
PLAN

JOB NO.:27641-12CH DWG NO.:M03

SITE MANAGEMENT

- ALL OFFICE FACILITIES AND OPERATIONAL ACTIVITIES MUST BE LOCATED SUCH THAT ANY LIQUID EFFLUENT (E.G. PROCESS WATER, WASH-DOWN WATER, EFFLUENT FROM EQUIPMENT CLEANING OR PLANT WATERING) CAN BE TOTALLY CONTAINED AND TREATED WITHIN THE SITE.
- THE CONSTRUCTION SCHEDULE MUST AIM TO MINIMISE THE DURATION THAT ANY AND ALL AREAS OF SOIL ARE EXPOSED TO THE EROSION EFFECTS OF WIND, RAIN AND SURFACE WATER.
- LAND-DISTURBING ACTIVITIES MUST BE UNDERTAKEN IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN (ESCP) AND ASSOCIATED DEVELOPMENT CONDITIONS.
- LAND-DISTURBING ACTIVITIES MUST BE UNDERTAKEN IN SUCH A MANNER THAT ALLOWS ALL REASONABLE AND PRACTICABLE MEASURES TO BE UNDERTAKEN TO
 - ALLOW STORMWATER TO PASS THROUGH THE SITE IN A CONTROLLED MANNER AND AT NON-EROSIVE FLOW VELOCITIES UP TO THE SPECIFIED DESIGN STORM DISCHARGE.
 - MINIMISE SOIL EROSION RESULTING FROM RAIN, WATER FLOW AND/OR WIND;
 - MINIMISE ADVERSE EFFECTS OF SEDIMENT RUNOFF, INCLUDING SAFETY ISSUES;
 - PREVENT OR AT LEAST MINIMISE ENVIRONMENTAL HARM RESULTING FROM WORK-RELATED SOIL EROSION AND SEDIMENT RUNOFF.
 - ENSURE THAT THE VALUE AND USE OF LAND/PROPERTIES ADJACENT TO THE DEVELOPMENT (INCLUDING ROADS) ARE NOT DIMINISHED AS A RESULT OF THE ADOPTED ESC MEASURES
- ANY WORKS THAT MAY CAUSE SIGNIFICANT SOIL DISTURBANCE AND ARE ANCILLARY TO ANY ACTIVITY FOR WHICH REGULATORY BODY APPROVAL IS REQUIRED MUST NOT COMMENCE BEFORE THE ISSUE OF THAT APPROVAL.
- ADDITIONAL AND/OR ALTERNATIVE ESC MEASURES MUST BE IMPLEMENTED IN THE EVENT THAT SITE INSPECTIONS, THE SITE'S MONITORING AND MAINTENANCE PROGRAM, OR THE REGULATORY AUTHORITY IDENTIFIES THAT UNACCEPTABLE OFF SITE SEDIMENTATION IS OCCURRING AS A RESULT OF THE WORK ACTIVITIES.
- SEDIMENT (INCLUDING CLAY, SILT, SAND, GRAVEL, SOIL, MUD, CEMENT AND CERAMIC WASTE) DEPOSITED OFF THE SITE AS A DIRECT RESULT OF AN ON-SITE ACTIVITY, MUST BE COLLECTED AND THE AREA APPROPRIATELY CLEANED/REHABILITATED AS SOON AS REASONABLE AND PRACTICABLE, AND IN A MANNER THAT GIVES APPROPRIATE CONSIDERATION TO THE SAFETY AND ENVIRONMENTAL RISKS ASSOCIATED WITH THE SEDIMENT DEPOSITION.
- WHEREVER REASONABLE AND PRACTICABLE, BRICK, TILE AND MASONRY CUTTING MUST BE CARRIED OUT ON A PERVIOUS SURFACE, SUCH AS GRASS, OR OPEN SOIL, OR IN SUCH A MANNER THAT ALL SEDIMENT-LADEN RUNOFF IS PREVENTED FROM DISCHARGING INTO A GUTTER, DRAIN OR WATER BODY.
- ADEQUATE WASTE COLLECTION BINS MUST BE PROVIDED ON-SITE AND MAINTAINED SUCH THAT POTENTIAL AND ACTUAL ENVIRONMENTAL HARM RESULTING FROM SUCH MATERIAL WASTE IS MINIMISED.
- CONCRETE WASTE AND CHEMICAL PRODUCTS INCLUDING PETROLEUM AND OIL-BASED PRODUCTS MUST BE PREVENTED FROM ENTERING AN INTERNAL WATER BODY, OR AN EXTERNAL DRAIN, STORMWATER SYSTEM OR WATER BODY.
- ALL FLAMMABLE AND COMBUSTIBLE LIQUIDS INCLUDING ALL LIQUID CHEMICALS IF SUCH CHEMICALS COULD POTENTIALLY BE WASHED OR DISCHARGED FROM THE SITE ARE STORED AND HANDLED ON-SITE IN ACCORDANCE WITH RELEVANT STANDARDS SUCH AS AS1940, THE STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.
- TRENCHES NOT LOCATED WITHIN ROADWAYS MUST BE BACKFILLED, CAPPED WITH TOPSOIL AND COMPACTED TO A LEVEL AT LEAST 75MM ABOVE ADJOINING GROUND LEVEL AND APPROPRIATELY STABILISED.
- ALL STORMWATER, SEWER LINE AND OTHER SERVICE TRENCHES NOT LOCATED WITHIN ROADWAYS MUST BE MULCHED AND SEEDED OTHER OTHERWISE APPROPRIATELY STABILISED WITHIN 7 DAYS AFTER BACKFILL.
- NO MORE THAN 150M OF A STORMWATER SEWER LINE OR OTHER SERVICE TRENCH MUST TO BE OPEN AT ANY ONE TIME.
- SITE SPOIL MUST BE LAWFULLY DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
- ALL FILL MATERIAL PLACED ON SITE MUST COMPRISE ONLY NATURAL EARTH AND ROCK AND IS TO BE FREE OF CONTAMINANTS, BE FREE DRAINING, AND BE COMPACTED IN LAYERS NOT EXCEEDING 300MM TO 90% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS1289.

DRAINAGE CONTROL

- WHEREVER REASONABLE AND PRACTICABLE, STORMWATER RUNOFF ENTERING THE SITE FROM EXTERNAL AREAS, AND NON SEDIMENT LADEN (CLEAN) STORMWATER RUNOFF ENTERING A WORK AREA OR AREA OF SOIL DISTURBANCE MUST BE DIVERTED AROUND OR THROUGH THAT AREA IN A MANNER THAT MINIMISES SOIL EROSION AND THE CONTAMINATION OF THAT WATER FOR ALL DISCHARGES UP TO THE SPECIFIED DESIGN STORM DISCHARGE.
- DURING THE CONSTRUCTION PERIOD, ALL REASONABLE AND PRACTICABLE MEASURES MUST BE IMPLEMENTED TO CONTROL FLOW VELOCITIES IN SUCH A MANNER THAN PREVENTS SOIL EROSION ALONG DRAINAGE PATHS AND AT THE ENTRANCE AND EXIT OF ALL DRAINS AND DRAINAGE PIPES DURING ALL STORMS UP TO THE RELEVANT DESIGN STORM DISCHARGE.
- TO THE MAXIMUM DEGREE REASONABLE AND PRACTICABLE, ALL WATERS DISCHARGED DURING THE CONSTRUCTION PHASE MUST DISCHARGE ONTO STABLE LAND IN A NON-EROSIVE MANNER AND AT A LEGAL POINT OF DISCHARGE.
- WHEREVER REASONABLE AND PRACTICABLE "CLEAN" SURFACE WATERS MUST BE DIVERTED AWAY FROM SEDIMENT CONTROL DEVICES AND ANY UNTREATED SEDIMENT-LADEN WATERS.

EROSION & SEDIMENT CONTROL (TO BE READ IN CONJUNCTION WITH PLANS)

EROSION CONTROL

- THE APPLICATION OF LIQUID-BASED DUST SUPPRESSION MEASURES MUST ENSURE THAT SEDIMENT-LADEN RUNOFF RESULTING FROM SUCH MEASURES DOES NOT CREATE A TRAFFIC OR ENVIRONMENTAL HAZARD.
- ALL TEMPORARY EARTH BANKS, FLOW DIVERSION SYSTEMS, AND EMBANKMENTS ASSOCIATED WITH CONSTRUCTED SEDIMENT BASINS MUST BE MACHINE-COMPACTED, SEEDED AND MULCHED FOR THE PURPOSE OF ESTABLISHING A TEMPORARY VEGETATIVE COVER WITHIN 10 DAYS AFTER GRADING.
- SYNTHETIC REINFORCED EROSION CONTROL MATS AND BLANKETS MUST NOT BE PLACED WITHIN OR ADJACENT TO, RIPARIAN ZONES AND WATERCOURSES IF SUCH MATERIALS ARE LIKELY TO CAUSE ENVIRONMENTAL HARM TO WILDLIFE OR WILDLIFE HABITATS.

SEDIMENT CONTROL

- OPTIMUM BENEFIT MUST BE MADE OF EVERY OPPORTUNITY TO TRAP SEDIMENT WITHIN THE WORK SITE AND AS CLOSE AS PRACTICABLE TO ITS SOURCE.
- SEDIMENT TRAPS MUST BE INSTALLED AND OPERATED TO BOTH COLLECT AND RETAIN SEDIMENT.
- THE POTENTIAL SAFETY RISK OF A PROPOSED SEDIMENT TRAP TO SITE WORKERS AND THE PUBLIC MUST BE GIVEN APPROPRIATE CONSIDERATION ESPECIALLY THOSE DEVICES LOCATED WITHIN PUBLICLY ACCESSIBLE AREAS.
- ALL REASONABLE AND PRACTICABLE MEASURES MUST BE TAKEN TO PREVENT OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT FROM THE SITE.
- SUITABLE ALL-WEATHER MAINTENANCE ACCESS MUST BE PROVIDED TO ALL SEDIMENT CONTROL DEVICES.
- SEDIMENT CONTROL DEVICES MUST BE DE-SILTED AND MADE FULLY OPERATIONAL AS SOON AS REASONABLE AND PRACTICABLE AFTER A SEDIMENT-PRODUCING EVENT, WHETHER NATURAL OR ARTIFICIAL, IF THE DEVICE'S SEDIMENT RETENTION CAPACITY FALLS BELOW 75% OF ITS DESIGN RETENTION CAPACITY.
- MATERIALS, WHETHER LIQUID OR SOLID, REMOVED FROM SEDIMENT CONTROL DEVICES DURING MAINTENANCE OR DECOMMISSIONING, MUST BE DISPOSED OF IN A MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
- CONSTRUCTED SEDIMENT BASINS MUST BE MAINTAINED AND FULLY OPERATIONAL THROUGHOUT THE CONSTRUCTION PERIOD.
- SETTLED SEDIMENT MUST BE REMOVED FROM SEDIMENT BASINS WHEN THE VOLUME OF THE SEDIMENT EXCEEDS THE DESIGNATED SEDIMENT STORAGE VOLUME OR THE DESIGN MAXIMUM SEDIMENT STORAGE ELEVATION.

SITE REHABILITATION

- NO COMPLETED EARTHWORK SURFACE MUST REMAIN DENUDED FOR LONGER THAN 90 DAYS.
- THE TYPE OF GROUND COVER APPLIED TO COMPLETED EARTHWORKS IS COMPATIBLE WITH THE ANTICIPATED LONG-TERM LAND USE, ENVIRONMENTAL RISK, AND SITE REHABILITATION MEASURES.
- THE PH LEVEL (SOIL WATER 1:5) OF TOPSOIL MUST BE ADEQUATE TO ENABLE ESTABLISHMENT AND GROWTH OF THE SPECIFIED VEGETATION.
- SOIL AMELIORANTS MUST BE ADDED TO THE SOIL IN ACCORDANCE WITH THE APPROVED LANDSCAPE/REVEGETATION PLANS AND/OR SOIL ANALYSIS.
- ALL UNSTABLE OR DISTURBED SOIL SURFACES MUST BE ADEQUATELY STABILISED AGAINST EROSION (MINIMUM 70%) PRIOR TO COMMENCEMENT OF USE, OR SURVEY PLAN ENDORSEMENT.

SITE MONITORING

- AT NOMINATED INSTREAM WATER MONITORING SITES, A MINIMUM OF 3 WATER SAMPLES MUST BE TAKEN AND ANALYSED, AND THE AVERAGE RESULT USED TO DETERMINE QUALITY.
- SEDIMENT BASIN WATER QUALITY SAMPLES MUST BE TAKEN AT A DEPTH NO GREATER THAN 200MM ABOVE THE LEVEL OF SETTLED SEDIMENT.
- ALL ENVIRONMENTALLY RELEVANT INCIDENTS MUST BE RECORDED IN A FIELD LOG THAT MUST REMAIN ACCESSIBLE TO ALL RELEVANT REGULATORY AUTHORITIES.

SITE MAINTENANCE

- ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING DRAINAGE CONTROL MEASURES, MUST BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THEIR OPERATIONAL LIVES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, MUST REMOVED AFTER ACHIEVING A SATISFACTORY "OFF-MAINTENANCE INSPECTION" BY COUNCIL.
- ALL DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED:
 - AT LEAST DAILY (WHEN WORK IS OCCURRING ON-SITE);
 - AT LEAST WEEKLY (WHEN WORK IS NOT OCCURRING ON-SITE);
 - WITHIN 24 HOURS OF EXPECTED RAINFALL; AND
 - WITHIN 18 HOURS OF A RAINFALL EVENT OF SUFFICIENT INTENSITY AND DURATION TO CAUSE RUNOFF ON-SITE).
- WASHING/FLUSHING OF SEALED ROADWAYS MUST ONLY OCCUR WHERE SWEEPING HAS FAILED TO REMOVE SUFFICIENT SEDIMENT AND THERE IS A COMPELLING NEED TO REMOVE THE REMAINING SEDIMENT (E.G. FOR SAFETY REASONS). IN SUCH CIRCUMSTANCES, ALL REASONABLE AND PRACTICABLE SEDIMENT CONTROL MEASURES MUST BE USED TO PREVENT OR AT LEAST MINIMISE THE RELEASE OF SEDIMENT INTO RECEIVING WATERS. ONLY THOSE MEASURES THAT WILL NOT CAUSE SAFETY AND PROPERTY FLOODING ISSUES SHALL BE EMPLOYED. SEDIMENT REMOVED FROM ROADWAYS MUST BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
- SEDIMENT REMOVED FROM SEDIMENT TRAPS AND PLACES OF SEDIMENT DEPOSITION MUST BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR

ENVIRONMENTAL HARM

- MAINTENANCE MOWING OF ALL ROAD SHOULDERS, TABLE DRAINS, BATTERS AND OTHER SURFACES LIKELY TO EXPERIENCE ACCELERATED SOIL EROSION MUST AIM TO LEAVE THE GRASS LENGTH NO SHORTER THAN 50MM WHERE REASONABLE AND PRACTICABLE.
- MAINTENANCE MOWING MUST BE DONE IN A MANNER THAT WILL NOT DAMAGE THE PROFILE OF FORMED, SOFT EDGES, SUCH AS THE CREST OF EARTH EMBANKMENTS.

EXPECTED WEATHER CONDITIONS	LIKELY CRITICAL ASPECTS OF EROSION AND SEDIMENT CONTROL
NO RAINFALL OR STRONG WINDS EXPECTED	IF FAVORABLE, DRY WEATHER CONDITIONS ARE LIKELY TO EXIST WITH A REASONABLE DEGREE OF CERTAINTY, THEN AVOID UNNECESSARY EXPENDITURE ON EXCESSIVE ESC MEASURES, HOWEVER, ALWAYS ENSURE THE SITE IS APPROPRIATELY PREPARED FOR POSSIBLY UNREASONABLE WEATHER CONDITIONS. IT SHOULD BE NOTED THAT EFFECTIVE SEDIMENT CONTROL AT SITE ENTRY/EXIT POINTS ARE GENERALLY ALWAYS REQUIRED, EVEN DURING DRY WEATHER CONDITIONS.
STRONG WINDS	ENSURE EROSION CONTROL MEASURES ARE APPROPRIATELY ANCHORED. MAINTAIN SOIL SURFACES IN A ROUGHENED CONDITION TO REDUCE DUST GENERATION. ASSESS THE BENEFITS OF CHEMICAL-BASED SOIL STABILISERS INSTEAD OF JUST USING WATER TRUCKS.
MULCHING (M)	WELL-ANCHORED (E.G. CRIMPED OR TACKIFIER) MULCH CAN BE USED FOR DUST CONTROL ON LARGE, OPEN SOIL AREAS. PRIMARILY USED IN ASSOCIATION WITH TEMPORARY GRASS SEEDING. MULCH CAN ALSO BE USED AS AN ALTERNATIVE TO GRASS SEEDING DURING TIMES OF WATER RESTRICTIONS OR SEVERE DROUGHT.
SOIL BINDERS (SBS)	SOIL BINDERS ARE TYPICALLY USED FOR DUST CONTROL OF UNSEALED ROADS AND MINING OPERATIONS. SELECTION OF PRODUCT DEPENDS ON THE POTENTIAL ENVIRONMENTAL IMPACTS, TRAFFICABILITY AND LONGEVITY. THE APPLICATION AND SUCCESS OF SOIL BINDERS VARY FROM REGION TO REGION. USUALLY BEST TO TRIAL VARIOUS MEASURES AND LEARN FROM EXPERIENCE.
TEMPORARY SEEDING (TS)	TEMPORARY GRASS SEEDING IS TYPICALLY USED IN ASSOCIATION WITH MULCHING FOR MEDIUM TO LONG-TERM DUST CONTROL ON LARGE, OPEN SOIL AREAS.
WATER TRUCKS AND SPRAYS	WATER TRUCKS CAN BE USED FOR DUST CONTROL OF UNSEALED ROADS AND ACCESS TRACKS. DUST LEVELS CAN ALSO BE CONTROLLED BY MINIMISING SITE TRAFFIC AND THE MOVEMENT OF SITE TRAFFIC OUTSIDE DESIGNATED AREAS. THE ADDITIONAL OF WETTING AGENTS AND POLYMER BINDERS (SOIL BINDERS) TO THE WATER CAN DECREASE BOTH THE WATER USAGE AND THE REQUIRED APPLICATION FREQUENCY.

DURING OPERATION

- THE DEVELOPMENT DURING OPERATION SHALL ENSURE NO SOIL IS EXPOSED TO THE WEATHER, LANDSCAPED AREAS SHALL BE MULCHED, TURFED OR PAVED TO ENSURE NO SOIL IS EXPOSED.
- THE DEVELOPMENT DURING OPERATION SHALL ENSURE NO SOIL IS EXPOSED TO THE WEATHER, LANDSCAPED AREAS SHALL BE MULCHED, TURFED OR PAVED TO ENSURE NO SOIL IS EXPOSED.



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NOT FOR CONSTRUCTION

COUNCIL FILE REFERENCE No. MC013013

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