Karin Spackman	REL	LAND TTY COUNCIL	
		TE RECEIVED	
From:	Lauren Threlfall <lauren@sandsky.com.au< td=""><td>1></td></lauren@sandsky.com.au<>	1>	
Sent:	Wednesday, 2 July 2014 10:20 AM	2 9 SEP 2014	
To:	Marcus Horne	$(\sqrt{2})$	
Cc:	Claire Panos	LISTOMED SERVICE	
Subject:	Claire Panos Certificates for Lot 40 Finucane Building	SCHOWER SERVICE	
Attachments:	Form 16 Slab - Lot 40 Finucane Road.pdf	; Form 16 Sound Rating Lot 40	
	Finucane.pdf; Form 16 Sustainable Buildi	ng - Lot 40 Finucane Re Boilding 3.pdf;	
	Form 16 Tanking - Lot 40 Finucane Rd.pc	lf; Form 16 Termit e Slab - Let 40 - Buildin	
	3 Finucane.pdf; Form 15 Glazing - Lot 40	Finucane Bldg 3.pdf, Form 15 Prenail - Lo	
	40 Finucane Building 3.pdf; Form 15 Show	wer Screen - Lot 40 Finucane Building	
	3.pdf; Form 15 Termite Retaining Wall - L	ot 40 Finucane Bldg 3.pdf; Form 15 Truss	
	Lot 40 Finucane Building 3.pdf; Form 16 Building Set Out - Lot 40 Finucane.pdf;		
	Form 16 - Waterproofing Lot 40 Finucane U7, 10 pdf, Form 16 Electrical - Lot 40		
	Finucane Rd Building 3.pdf; Form 16 Energy Efficency Lot 40 Finucane Rd Building		
	3.pdf; Form 16 Firewall - Lot 40 Finucane		
	Finucane Building 3.pdf; Form 16 Metal Roof - Lot 70 Finucane Road Building 3.pd		
	Form 16 Mud Map & Termite - Lot 40 Fintucane Rd Building 3.pdf; Form 16 Post		
	Conncection - Lot 40 Finucane Road.pdf		
	Building 3.pdf	\mathbf{X}^{*}	
		\sim	
	$\Diamond_{\wedge}(\bigcirc)$)	
Hi Marcus			
Please find attached all certi	ficates relating to building three.		
	50/07		
Kind Regards,			
U		900702 /2010a	
Lauren Threifall		CEVEN	
Construction Administration	SandSky Developments		
		- 1 OCT 2014	
A. PO Box 3355 Helensval			
T. 1300 655 210 F. 1300 6			
E. lauren@sandsky.com.au		IST SERVICE	
	www.sanostycom.au		
************	************************		
	attached files are only for use of the intended recipient, a	s they may contain confidential and privileged	

If you are not the intended recipient please notify us immediately by return email and then erase the email. Any confidentiality or privilege is not waived or lost if you have received this email in error.

This email has been scanned to the presence of computer viruses however we exclude all liability for any viruses that may be contained in this email.

Version 4 – March 2013

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section sections 32, 35B, 43, 44 and 47 of the <i>Building Regu</i>	10(c) and 239 of the <i>Building Act</i> 1975 and/o ulation 2006.	
1. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	✓ Inspection Certificate for Stage of building work (for single detached class (indicate the stage) ✓ Aspect of building work Bored Pier Footi (indicate the aspect) Buildings 1 – 3 i	ings and Monofithid Slab on Ground to	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Regulation 2003 for the aspect being certified, e.g. score waterproofing materials or systems for preventing moist include "wet area sealing to showers".	e of work for a waterproofing licence is "install	
	Not Applicable		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide	Street address (Include to., street, suburb / locality & postco 156 Finucane Rd Alexandra Hills, Queensland. Lot & plan, details (Attach list if necessary)	Postcode 4161	
previous lot and plan details			
	In which local government area is the land situated? Rediand City Council.		
8. Building/structure description	Building/structure description	Class of building / structure	
	Townhouse Development	Class 1a	
EST -			
	>		
OCAL GOVERNMENT USE ONLY	746		
ERTE RELEVED	REFERENCE NUMBE	R/S	
		ж.	
\sim			
\sim			
The <i>Building Act 1975</i> is Department of Housing a		Queensland Government	

4. Description of componently contified				
 Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the 	Certification of Bored Piers –Excavations inspected on 7 F No. 19045) and 26 February 2014 (Engineering Inspection F			
steel roof beams.	Concrete. Certification of Monolithic Slab on Ground to:			
	Building 1 – Inspected on 12th February 2014 (Engineering	Inspection Report No. 19048);		
	Building 2 - Inspected on 14th February 2014 (Engineering	Inspection Report No. 19050); and		
	Building 3 – Inspected on 10 th March 2014 (Engineering Ins			
	Excavation. Preparation and Steel Reinforcement were insp	ected prior to any concrete placement		
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	The Building Code of Australia and all relevant Australian St AS2870 – 1996; AS3600 – 2009 and AS4055-2010 as requi			
	We certify that the constructed structural elements listed in Item 4 above generally conformed with the engineering drawings, engineering inspection reports and other correspondence listed in section 6 below as instruct during course of the work			
	issued during course of the work. This certification has been issued on the basis that the head contractor has completed all instructed works			
	listed with the Engineering Inspection Report nominated belo	by in section 6.		
	By issuing this certification it shall not be construed as relieve complete the works in accordance with the documents and in Building Code of Australia.	ng any other party of their responsibilities to instructions listed in section 6 below an the		
6. Reference documentation				
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Job Number: 30421-13CS including any Form 15s, reports 8 Engineers.			
	Refer to Engineering Inspection Reports 19045, 19048, 1905 Consulting Engineers.			
	Geotechnical Report by Soil Survey Engineering Rty Ltd, Report Ref No. 1-15345, 2013-06-14, LR Rev 0			
	dated 14 June 2014. Refer to Architectural Drawings Ref No. 12-05-01 J2-05-08 as prepared by John Marrson & Associates Pty			
	Ltd.			
	Refer to Statutory Declaration dated 8 June 2014 as prepared by Mr. Justin Loewe in relation to the Pier and Footing Constructions.			
7. Building certifier reference number	Building certifier reference pumber De	velopment approval number		
and development approval number				
8. Building Certifier, competent person or QBSA licensee details	Name (in full)			
A competent person must be assessed as	Greg Anderson			
competent before carrying out the inspection.	Company name of applicable	Contact person		
The builder for the work cannot give a stage certificate of inspection.	Structere Consulting Engineers	Greg Anderson		
A competent person is assessed by the	Phone no business hours Mobile no.	Fax no.		
building certifier for the work as competent to practice in an aspect of the building and	(07) \$367-8309	(07) 3307-8301		
specification design, because of the individual's				
skill, experience and qualifications. The competent person must be registered or	bhisbane@structerre.com.au			
licensed under a law applying in the State to practice the aspect.	Postal address			
If no relevant law requires the individual to be	PO Box 621			
licensed or registered, the certifier must assess the individual as having appropriate	HAMILTON	Postcode 4007		
experience, qualifications or skills to be able to		nce number		
give the help. If the chief executive issues any guidelines for	FIEAust CPEng RPEQ 1359			
assessing a competent person, the building certifier must use the guidelines when assessing the person	Date approval to inspect received from building certifier			
9. Signature of building certifier,	1			
competent person or QBSA licensee	Signature	Date		
Note: A building certifier must sign this form for temporary swimming pool fencing under		30 June 2014		
remember on a number of the mental of the me	tere starter	30 June 2014		
section 4 of Schedule 1 of ODC MP 3.4.				
section 4 of Schedule 1 of CDC MP 3.4.				

The *Building Act 1975* is administered by the Department of Housing and Public Works

IOTE	This form is to be used for the purposes of secti sections 32, 35B, 43, 44 and 47 of the <i>Building R</i>	
. Indicate the type of certificate he stages of assessable building work re listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the uirding certifier n aspect of building work is part of a tage (e.g. waterproofing).	Inspection Certificate for Stage of building work (for single detached (indicate the stage) Aspect of building work (indicate the aspect) Matter (indicate the aspect) WATER WATER Cope of the work Scope of the work covered by the licence class under Regulation 2003 for the aspect being certified, e.g. waterproofing materials or systems for preventing minclude "wet area sealing to showers".	RPROFINE The Queensland Building Services Authority cope of work for a waterproofing licence is "instal
Property description he description must identify all land the lbject of the application he lot & plan details (eg. SP / RP) are nown on title documents or a rates notice the plan is not registered by title, provide revious lot and plan details	Street address (Include of street, suburb / locality & po Lot 40 Finucane Road Alexand & Hills Lot & plan details (Attach list if necessary) Mytheb local government area is the land situated?	Postcode
Building/structure description	Building/structure description Dweiling	Class of building / structure

Waterproofing to Retaining Walls	\bigcirc
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	(β)
	54 parts 1 & 2
B.C.A. 2006 3 8 1.1.	$\sim (7/3)$
	\overline{Old}
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7	\searrow
	>
	velopment approval number
M	
Name (in full)	
Paul Cain	
Company name if applicable	Contact person
P C WATERPROOFING SERVICE	Paul Cain
	Fax no.
128 Caisarita Road	
Cabarita Beach, NSW	Postcode 2488
	ance number
Waterproving 12	258436
Date approval to inspect received from building pertifier	
	·····
\sim	
Signature	Date
	B.C.A. 2006 3.8 1.1. Building certifier reference number Building certifier reference number Name (in full) Paul Cain Company name if applicable P C WATERPROOFING Strength Phone no. business hours Mobile no. 0407119950 Email address pcwaterproof ng outbook.com Postal aldress 128 Calcenta Road Caberta Besch, NSW Deener Chass

11日二月 日本時間の時には、ましい日本の

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Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of s sections 32, 35B, 43, 44 and 47 of the Buildin	ection 10(c) and 239 of the Building Act 1975 and/or og Regulation 2006.
1. Indicate the type of certificate	Inspection Certificate for	907
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single deta (indicate the stage) Aspect of building work (indicate the aspect)	ached class 1a or class 10 building prestructure)
	 Regulation 2003 for the aspect being certified, e 	ate Inder the Oreensland Building Services Authority g scope of work for a waterproofing licence is "installin g moisture penetration". An aspect being certified may
	Installing HomeGuard termite management sys	stems
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice, f the plan is not registered by title, provide previous lot and plan details.	Street address (Include no., street, suburb / locality U 7 - 10 156 Finucane Rd ALEXANDRA HILLS Lot & plan details (Attach list if necessary) L 40 BUILDING 3 In which local government area is the land situat Reclards Store	Postcode 4161
B. Building/structure description	Building structure description New House	Class of building / structure
LOCAL GOVERNMENT USE ONLY		
THE PLANE AND A STATE	网络李家属 医颈管下 化合体的	ha later -

HomeGuard Termite Barrier to: Slab Penetrations,	Cold Joint,
	(7)
	(\mathcal{O})
Net any fact is far Dus Bars with a new bound	
inspection zone can be gained by ladder looking	ary. Clear visible access of the nomeGuard
mandatory in order to maintain manufactures wa	
	$\sim (7/1)$
CSIRO Appraisal 216 & 255	
Building Code of Australia As 3660.1-2000	
	47
BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 265	, the Development Permit (Building)
M	
Building certifier reference number	Development approval number
Name (in full)	
Company name if applicable	Contact person
All Purpose Pest Control South East QLD	
Phone no. business hours Mobile no.	Fax no.
07 3382 7378	07 3382 0355
Email a dokess	; [
jessica@allpurposepest.com.au	
Posta address	
Unit 10 / 42 Burnside Road,	
KATADA	Postcode 4207
Licence class	icence number
	PMT-O-11133 (HomeGuard 0020)
	518431 / 1188012
Date approval to inspect received from building certine	
	medal
Signature	Date
	13/02/2014
4 Done	
	Not applicable for: Dwellings with a zero boundatinspection zone can be gained by ladder looking mandatory in order to maintain manufactures w CSIRO Appraisal 216 & 255 Building Code of Australia As 3660.1-2000 BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 267 Building certifier reference number Name (in full) Company name if appleable All Purpose Pest Control South East QLD Phone no. business hours Mobile no. 07 3382 7378 Email alchess Jessical control South East QLD Phone no. business hours Mobile no. 07 3382 7378 Email alchess Jessical control South East QLD Phone no. business hours Mobile no. 07 3382 7378 Email alchess Jessical control South East QLD Phone no. business hours Mobile no. 07 3382 7378 Email alchess Jessical control South East QLD Phone no. business hours Mobile no. 07 3382 7378 Email alchess Jessical control South East QLD Phone no. <td< td=""></td<>

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NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 48 of the Building Regulation 2006.		
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.		
1. Property description This section need only be completed if	Street address (include no., street, suburb / locality & postcode)		
details of street address and property description are applicable.	ALEXANDRIA HILLS, QLD. Rostcode: 4161		
EG. In the case of (standard/generic)	Lot & plan details (attach list if necessary)		
pool design/shell manufacture and/or patio and carport systems this section			
may not be applicable.	In which local government area is the land situated?		
The description must identify all land the subject of the application.			
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	\sim		
If the plan is not registered by title, provide previous lot and plan details.			
2. Description of component/s certified Clearly describe the extent of work covered by	Supply only Windows & Doors		
this certificate, e.g. all structural aspects of the			
steel roof beams.	M		
	(1)7		
3. Basis of certification			
Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	Manufactured & Glazed in accordance with the National Construction Code.		
standards, codes of practice and other			
publications, were relied upon.	Building Class Housing		
	Serviceability: 1000 pa		
	Water Renetvation: 150 pa		
4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	As per construction drawings provided		
2	7		
M			
$\langle \langle \rangle \rangle$			
LOCAL COVERNMENT USE ONLY	Reference Number/s		
10			
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The Building Act come in	dministered by the		
The Building Act 1975 is a Department of Housing a) 外国创作		
beparentent of flousing a	Ind Public Works Government		

	Building certifier reference number
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be	Name (in full) DENNIS PARSONS
	Company name (<i>if applicable</i>) BRADNAMS WINDOWS & DOORS Contact person
	Phone no. business hours Mobile no. Fax no
egistered or licensed under a law applying in the State to practice the aspect.	(07) 3131 3777 Email address
no relevant law requires the individual to be censed or registered to be able to give the elp, the certifier must assess the individual as	brisbanesales@bradnams.com.au Postal address
aving appropriate experience, qualifications or kills to be able to give the help.	136 ZILLMERE ROAD
the chief executive issues any guidelines for esessing a competent person, the building ritifier must use the guidelines when	BOONDALL Postcode 4034 Licence or registration number (<i>if applicable</i>)
ssessing the person.	58885
Signature of competent person	Signature Date
his certificate must be signed by the individual sessed by the building certifier as competent.	10 Paracel. 14/02/14

Version 3 – March 2013

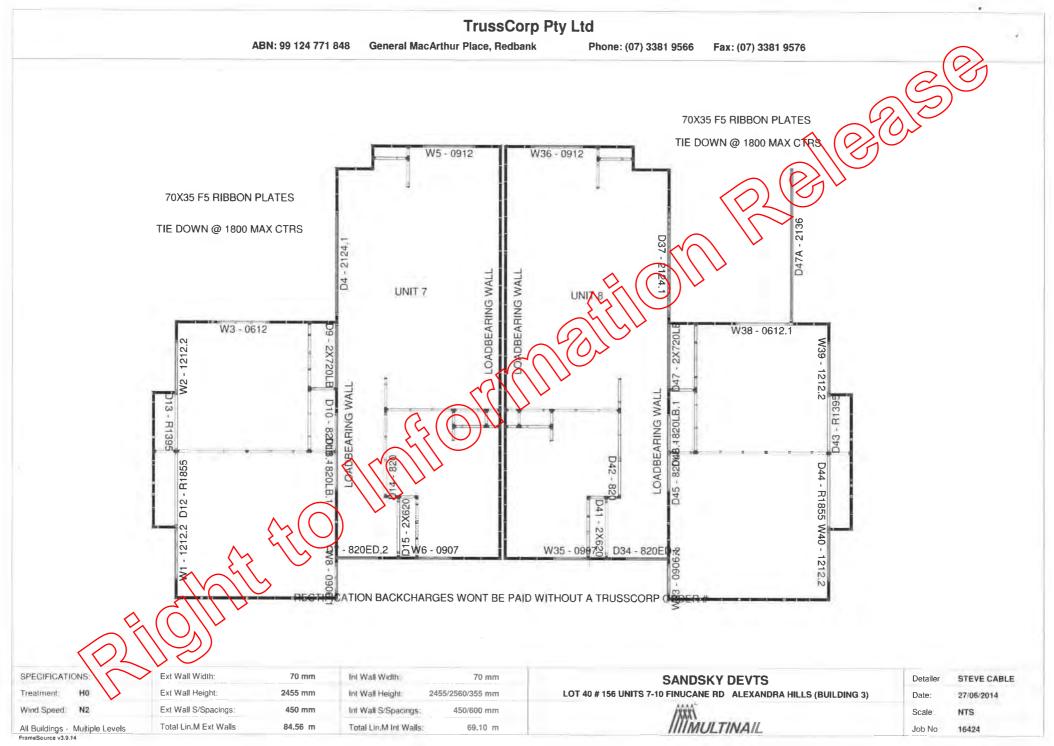
Form 15—Compliance Certificate for building Design or Specification

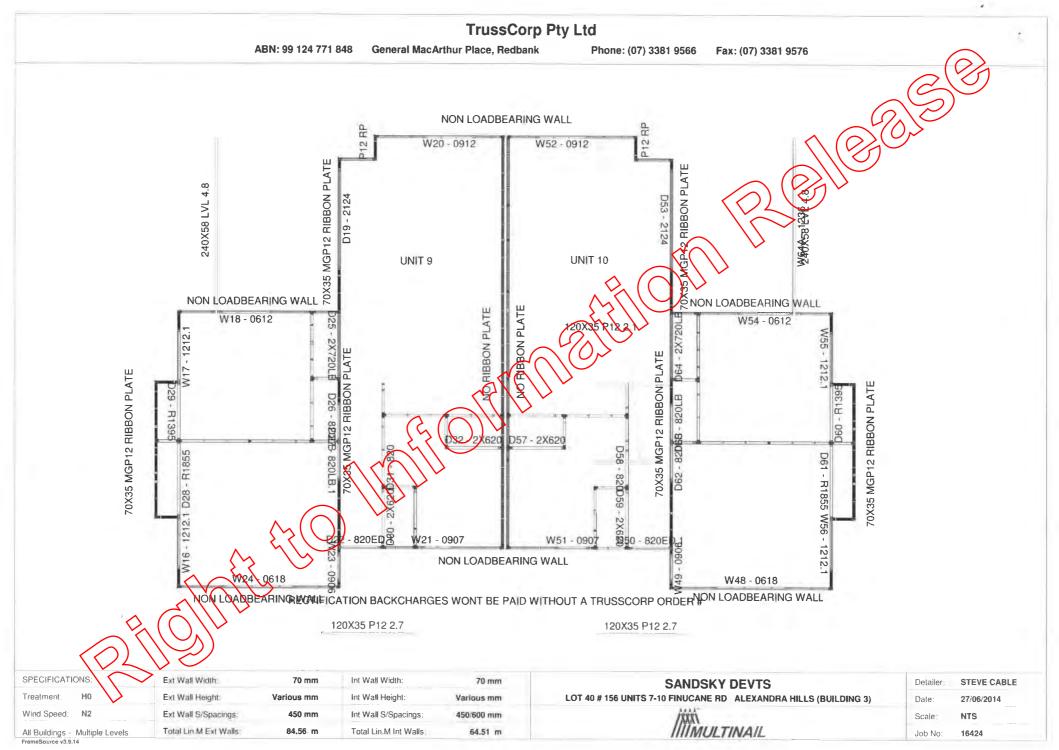
NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 46 of the Building Regulation 2006.
-	RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.
1. Property description	Street address (include no., street, suburb / locality & postcode)
This section need only be completed if details of street address and property	Lot 40 Finucane Road
description are applicable.	Alexander Hills
EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section	Lot & plan details (attach list if necessary) Building 3 Units 7-10
may not be applicable.	In which local government area is the land situated?
The description must identify all land the subject of the application.	
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	\bigcirc
If the plan is not registered by title, provide previous lot and plan details.	
2. Description of component/s certified Clearly describe the extent of work covered by	TIMBER PREFABRICATED FRAMING PANELS AND MEMBERS – Supply only
this certificate, e.g. all structural aspects of the steel roof beams.	All products are to be installed, fixed and brased in accordance with the specification published in
	AS1684-2010 Residential Timber Rramed Construction
	General Property Design Details
	Wind Class : N2 Truss Centres : 600mm
	Roof Material : Sheet Metal Roof Pitch : 7.5 Deg
	Ceiling Material : 10mm Supa Ceil Direct Wall Height : Various
3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	The prefabricated framing panels and members supplied to property have been designed utilizing
standards, codes of practice and other	Design in Hype and on Multinail Beam design software programs or the like.
publications, were relied upon.	All designed prefabricated framing panels and members utilize the following codes:
	AS/NZS1170.0.2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010.
	The brefabricated framing panels and member design assumes any supporting structure is braced
	and stable in its own right before the installation of the framing panels or members.
C	The requirements for building practice, procedures and the selection, placement and fixing of structural members to be in accordance with AS1684.2-2010
4. Reference documentation Clearly identify any relevant documentation	PREFABRICATED FRAMING PANELS AND MEMBERS LAYOUT
e.g. numbered structural engineering plans.	MEMBER DESIGN REPORTS
M	
$\langle \langle \rangle$	
LOCAL GOVERNMENT USE ONLY	
Deterecy	Reference Number :::
The <i>Building Act 1975</i> is a Department of Housing a	

Page 63 of 490

5. Building certifier reference number	Building certifier reference numb	ber	
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in	Name (<i>in full</i>) Steve Cable		
	Company name (if applicable) TRUSSCORP PTY LTD		Contact person Jason Cochrane
	Phone no. <i>business hours</i> (07) 33819566	Mobile no.	Fax for 192 33849576
e State to practice the aspect. no relevant law requires the individual to be rensed or registered to be able to give the	Email address sales@trusscorp.com.au	1	
elp, the certifier must assess the individual as aving appropriate experience, qualifications or stills to be able to give the help.	Postal address P.O Box 6194		
the chief executive issues any guidelines for seessing a competent person, the building prifier must use the guidelines when	Yatala		Postcode 4207
ssessing the person.	Licence or registration number (if applicable)	\Diamond
. Signature of competent person	Signature	$\overline{\bigcirc}$	Date
nis certificate must be signed by the individual seessed by the building certifier as competent.	All	C C C C C C C C C C C C C C C C C C C	27/06/14
		~	
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The <i>Building Act 1975</i> is a Department of Housing an			Queensland Government

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Complianc	e Certificate for building Design or Specification
NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 46 of the Building Regulation 2006.
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.
1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section	Street address (include no., street, suburb / locality & postcode) FINUCANE RD 156 U7-10 ALEXANDRA HILLS QLD 4161 Lot & plan details (attach list if necessary)
may not be applicable. The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	In which local government area is the land situated?
2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Supply & Install Shower Screens, Wirkers & Wardrobe Doors
3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Manufactored No and glazed with 'A' Grade Safety Glass In accordance with the National Construction Code.
LOCAL GOVERNMENT USE ONLY Date received	Reference Number/s

Form 15 continued	
4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	As per construction drawings provided
5. Building certifier reference number	Building certifier reference number
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) DENNIS PARSONS Company name (if applicable) BRADNAMS WINDOW & DOORS Phone no. business hours Mobile no Fax no. (07) 3131 3777 Email address brisbanesales@bradnams.com.au Postal address 136 ZILLMERE ROAD BOONDALL Postcode 4030 Licence or registration number (if applicable) 58885
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature Date 01/05/2014

The Building Act 1975 is administered by the Department of Infrastructure and Planning



 Queensland Government

 Department of Infrastructure and Planning

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

•	ertificate / Aspect Certificate censee Aspect Certificate	e / QBSA 16		
NOTE	This form is to be used for the purposes of section sections 32, 35B, 43, 44 and 47 of the <i>Building Re</i>			
1. Indicate the type of certificate	Inspection Certificate for	907		
The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.	Stage of building work (for single detached (indicate the stage) Aspect of building work	class 1a or class 10 building or structure)		
An aspect of building work is part of a stage (e.g. waterproofing).	(indicate the aspect)			
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under Regulation 2003 for the aspect being certified, e.g. so waterproofing materials or systems for preventing materials include "wet area sealing to showers"	cope of work for a waterproofing licence is "installing		
	Installing HomeGuard termite management system	S		
	2005			
	(Ωn)			
2. Property description	Street address (Include no., street, suburb / locality & pos	stcode)		
The description must identify all land the subject of the application.	U 7 - 10 156 Finucane Rd	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
The lot & plan details (eg. SP / RP) are	ALEXANDRAHILLS	Postcode 4161		
shown on title documents or a rates notice. If the plan is not registered by title, provide	Lot & plan details (Anach list if necessary)			
previous lot and plan details.	L 40 BUILDING 3			
	In which local government area is the land situated?	1		
	Réclands Shire			
3. Building/structure description	Building structure description	Class of building / structure		
	New House			
	X			
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	a property of a superior of a			

Form 16 continued					
4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the	HomeGuard Termite Barrier to: Retaining Wall,				
steel roof beams.					
	Not applicable for: Dwellings with a zero bound inspection zone can be gained by ladder looking mandatory in order to maintain manufactures w	g down during annual inspections which are			
	manualory in order to maintain manuactures w				
. Basis of certification etail the basis for giving the certificate and the	CSIRO Appraisal 216 & 255				
xtent to which tests, specifications, rules,	Building Code of Australia As 3660.1-2000				
tandards, codes of practice and other ublications, were relied upon		$(\overline{Q}/\underline{A})^{\sim}$			
m.r. k kit	L				
Reference documentation Searly identify any relevant documentation,	BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 25	the Development Permit (Building)			
.g. numbered structural engineering plans.					
	M				
Building certifier reference number and development approval number	Building certifier reference number	Development approval number			
Building Certifier, competent person	Name (in full)				
or QBSA licensee details					
competent person must be assessed as opportent before carrying out the inspection.	Company name if applicable	Contact person			
he builder for the work cannot give a stage	All Purpose Pest Control South East QLD				
ertificate of inspection.	Phone no. business hours Mobile no.	Fax no.			
competent person is assessed by the ilding certifier for the work as competent to	07 3382 7378	07 3382 0355			
ractice in an aspect of the building and becification design, because of the individual's	Email address				
kill, experience and qualifications. The competent person must be registered or	jessica@allpurposepest.com.au				
censed under a law applying in the State to	Postal address				
actice the aspect. no relevant law requires the individual to be	Unit 10 / 42 Burnside Road,				
ensed or registered, the certifier must assess	KATALA	Postcode 4207			
e individual as having appropriate (perience, qualifications or skills to be able to	Licence class	icence number			
ve the help.	Termite Management Physical & Chemical	PMT-O-11133 (HomeGuard 0020)			
the chief executive issues any guidelines for seessing a competent person, the builtsting,	518431 / 1188012				
rtifier must use the guidelines when sessing the person.	Date approval to inspect received from building certifi	ler			
Signature of building certifier, competent person or OBSA licensee					
	Signature	Date			
bte: A building certifier musc sign this form for mporary swimming pool fencing under ction 4 of Schedule Not ODC MP 3.4.		12/02/2014			
SCIULT 4 OF SCHEUUR NOT ONUC NOT 3.4.	Action				
n(On)					
$\square \vee$					
V-7					
The Puilding Astronomic selection	inistand by	A Anna and and			
The Building Act 1975 is adm		Queensland			
the Department of Local Gov	ernment and Planning	Government			

Version 3 - March 2013

NOTE	This is to be used for the purposes of section 10 of the <i>Building Act</i> 1975 and/or section 46 of <i>Building Regulation</i> 2006.				
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about wheth building work complies with the BCA or a provision of the QDC. A building certifier (Class B) c not give a certificate regarding QDC boundary clearance and site cover provisions.				
1. Property description	Street address (include no., street. suburb / locality & postcode)				
This section need only be completed if	UNITS 7-10 LOT 156 FINUCANE ROAD				
details of street address and property description are applicable.	ALEXANDRA HILLS Rostcode				
EG. In the case of (standard/generic)	Lot & plan details (attach list if necessary)				
bool design/shell manufacture and/or batio and carport systems this section					
nay not be applicable.	In which local government area is the land situated?				
he description must identify all land the					
ubject of the application.					
The lot & plan details (e.g. SP / RP) are hown on title documents or a rates notice.					
f the plan is not registered by title, provide previous lot and plan details.	$\langle \langle \rangle$				
2. Description of component/s certified					
Clearly describe the extent of work covered by	TIMBER ROOF TRUSS SYSTEM - Supply only				
his certificate, e.g. all structural aspects of the teel roof beams.	All products are to be installed, fixed and brased in accordance with the specification published by				
	Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004				
	General Property Design Details				
	Wind Class : N2 Truss Centres : 600mm				
	Roof Material : Metal Sheet Roof Pitch : 7.5 Deg				
	Ceiling Material : 10mm Supa Ceil Direct				
. Basis of certification	The profebring to distribution of the process of th				
etail the basis for giving the certificate and the xtent to which tests, specifications, rules,	The prefabricated timber roof trusses supplied to property are manufactured and designed under				
tandards, codes of practice and other ublications, were relied upon.	licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design				
ublications, were relied upon.	software programs. The roof truss design assumes the supporting structure is stable in its own				
	right before the installation of the roof trusses.				
	All designed trusses and roof members utilize the following codes:				
	AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001				
. Reference documentation					
learly identify any relevant documentation	ROOF TRUSS LAYOUTS				
g. numbered structural engineering plans.	ENGINEERING REPORT				
\sim	TIE DOWN REPORT				
2 m	BUILDING AUTHORITY ROOF TRUSS CERTIFICATION				
	All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated				
	Trusses				
$- \Diamond_{\wedge}(\bigcirc_{\wedge})$					
OCAL GOVERNMENT USE ONLY					
lides second	Reference blumbern				
\checkmark					
	desistand but to				
The Building Act 1975 is a	A Dublin Works				
Department of Housing a	Governmen				

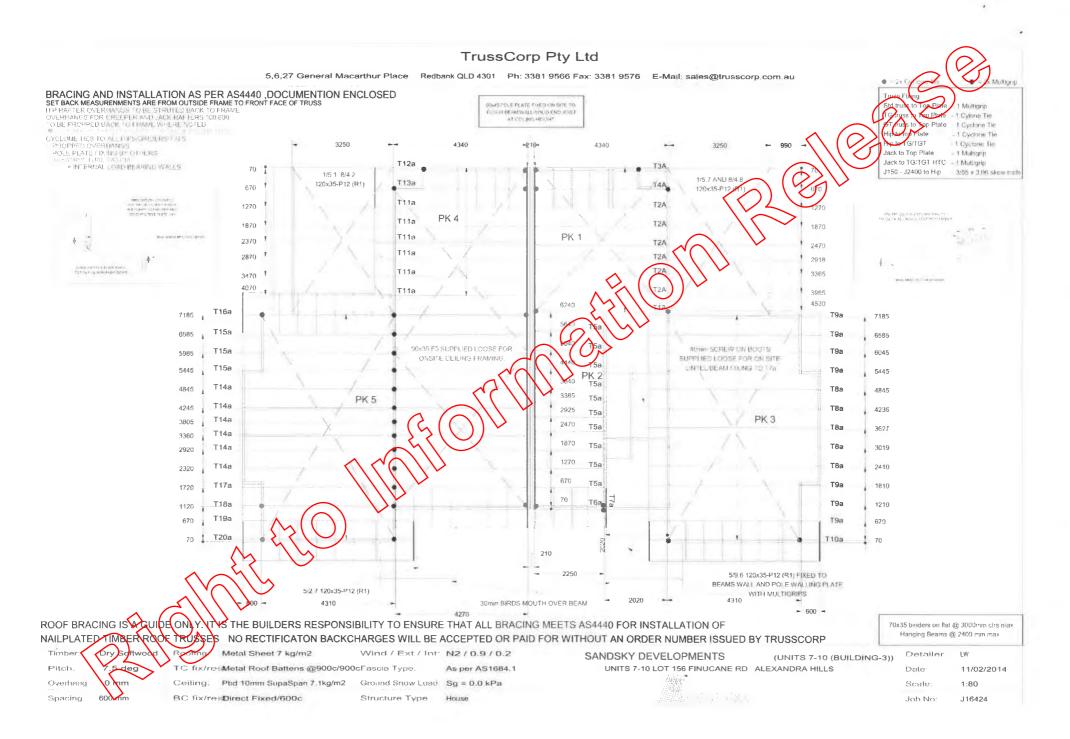
5. Building certifier reference number	Building certifier reference numl	ber		
				$\overline{\mathcal{O}}$
5. Competent person details	Name (in full)			
A competent person for building work, means a berson who is assessed by the building certifier	Leigh Walker		_	
or the work as competent to practice in an	Company name (if applicable)		Contact p	erson
spect of the building and specification design, of the building work because of the individual's	TRUSSCORP PTY LTD	· · · · · · · · · · · · · · · · · · ·		Cochrane
kill, experience and qualifications in the spect. The competent person must also be	Phone no. business hours	Mobile no.		Fax no.
egistered or licensed under a law applying in	(07) 33819566			197 33849576
he State to practice the aspect.	Email address	I [
f no relevant law requires the individual to be censed or registered to be able to give the	sales@trusscorp.com.au			(0/n)
elp, the certifier must assess the individual as aving appropriate experience, qualifications or ills to be able to give the help.	Postal address		\bigcirc	
	P.O Box 6194		$\langle \rangle$	7
the chief executive issues any guidelines for	Yatala		\sim	Postcode 4207
ssessing a competent person, the building ertifier must use the guidelines when ssessing the person	Licence or registration number (if applicable)		>
ssessing the person				
			$\langle \vee \rangle$	
Signature of competent person	Signature		D	ate
his certificate must be signed by the individual seesed by the building certifier as competent.		$\nabla_{\mathbf{A}}(\mathbf{O})$		
sociated by the building continent as competent.	Aller			27 June 2014
				2, 0410 2011
The Building Act 1975 is a Department of Housing at				Queenslar Governme

Page 72 of 490

russCorp Pty Ltd	DATE: 27/06/2014
6,27 General Macarthur Place edbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au	
BUILDING AUTHORITY ROOF TRUSS CERTIFICATIO	DN C
PROJECT IDENTIFICATION	907
Quote Number: J16424 Customer: SANDSKY DEVELOPMENTS Site Address: UNITS 7 ALEXAND UNITS 7 Structure Type: House	D LOT 156 FINUCANE R RA HILLS SUBUILDING-3)
This is to certify that the prefabricated timber roof trusses and pre-cut hip end members above project were manufactured using MULTINAIL metal connectors and detailed usin truss design programs, as per the Building Code of Australia (ABCB Volume 2-2012). The roof truss design and detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses. The specifications used in the design of the trusses were as follows:	
	Battens @900c/900c SupaSpan 7.1kg/m2 d/600c
All designed trusses and pre-cut members utilize the following codes: AS/NZS 1170.0-2002: Structural Design Actions Part 0: General principles AS/NZS 1170.1-2002: Structural Design Actions Part 1: Permanent, imposed and oth AS/NZS 1170.2-2002: Structural Design Actions Part 2: Wind actions AS/NZS 1170.3-2003: Structural Design Actions Part 3: Snow and ice actions AS 1720.1-2010: Timber structures Part 1: Design methods AS 1649-2001: Timber Methods of test for mechanical fasteners and connector AS 4100-1998: Steel Structures AS/NZS 4600-2005: Cold-formed steel structures All trusses must be braced and enected in accordance with AS4440, Installation of nailpl trusses, in conjunction with all local building authority requirements, and any other suppl SIGNATURE : NAME : LEIGH WALKER POSITION : DETAILER DATE : 27/06/2014 For detailed bad information, including AC, Solar, Tank and Storage loads, refer to the of Submission reports and Roof Layout.	ors ated timber ied details.

rus	sCorp Pty L	_td					DATE: 2	7/06/2014
5.27 Ger	neral MacarthRedbank						U	
		REAC	TION REPO	ORT (Lin	nit State I	Design)		
Quote Number: J16424 Customer: SANDSKY DEVELOPMENTS Site Address: UNITS 7-10 LOT 156 FINUCANE RD ALEXANDRA HILLS UNITS 7-10 (BUILDING-3) Structure Type: House								
TRUS	S DESCRIPTION	SPAN	SUPPORT			DL + WL	TIE DOWN	BEARIN
	(Note: Tie down capac	(mm) city based on JD5	(mm) . Bearing capaci	(kN) ty based on t	(kN) imber propertie	(kN) es of the mem	Required iber onto support, and	Member/Supp SD7 for suppo
T1A	LeftHalf Stand	(4340)					(\mathscr{T})	
S1			0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2			4340	1.3	2.5	286	Z Multi Grips	Ok / Ok
T2A	LeftHalf Stand	(4340)					>	
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.4	0.8	-10	1 Multi Grip	Ok / Ok
ТЗА	LeftHalf Outer	(3390)				\searrow	•	
S1			70	0.4	(1,0)	-1.1	1 Multi Grip	Ok / Ok
S2			3415	0.3 🗸	2	-0.7	1 Multi Grip	Ok / Ok
T4A	LeftHalf Inner	(4340)			\sim			
S1		, , , , , , , , , , , , , , , , , , ,	70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4365	0.40	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a	LeftHalf Stand	(2215))			
S1		, , , , , , , , , , , , , , , , , , ,	0	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			2215	0,2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a	LeftHalf Outer	(2215)		\searrow			•	
S1		x	76	→ _{0.3}	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a	Girder SC0	(6240)	()					
S1			70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2			6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a	LeftHalf Stand	(4910)						
S1			0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a	LeftHalf Stand	(4310)			_			
S1		$\left(\bigcap \right)^{\prime}$	0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2	\sim	\sim	4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a	LeftHalf Outer	(4310)						
S1	\sim	→ /	70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2	2/2	,	4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a	LeftHalf Stand	(4340)						
S1		()= ·=)	0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2	\sim		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T12A	LeftHalf Outer	(3390)					al	-
\mathcal{D}	\searrow							
Ś	~							
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TRUS	S DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Suppor
	(Note: Tie down capac							
S1			70	0.2	0.5	-0.5	1 Multi Grip	OK Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	(
T13a	LeftHalf Inner	(4340)						7
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Cok / Ok
T14a	LeftHalf Stand	(9180)					0/0	7
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Erips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Malti Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)					\overline{O}	
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	(2)	1 Multi Grip	Ok / Ok
S3		(8580	0.4	0.9	-1.0	Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)	•	. .				<u> </u>
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	5.1	1 Cyclone Tie	Ok / Ok
S3		(0500)	8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)	0		$\sum_{i=1}^{n}$			
S1			0	0.3		-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3 T18a		(0500)	8580	0.4	9.9	-1.0	1 Multi Grip	Ok / Ok
S1	LeftHalf Outer	(8580)	0		$)_{-1,1}^{-1,1}$	-1.3	1 Multi Grip	Ok / Ok
S1 S2			0 4200	1.8	4.0	-1.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.8	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)	0000		2.0	-0.0	2 Matt Chips	OK/ OK
S1	Long fail of and	(4010)	\$	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)	(O)					
S1			70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
		~ 40	\searrow					
			>					
		\sim						
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		(\bigcirc)						
		J						
	E L							
	$\langle \langle \rangle \rangle$							
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Version 3 – March 2013

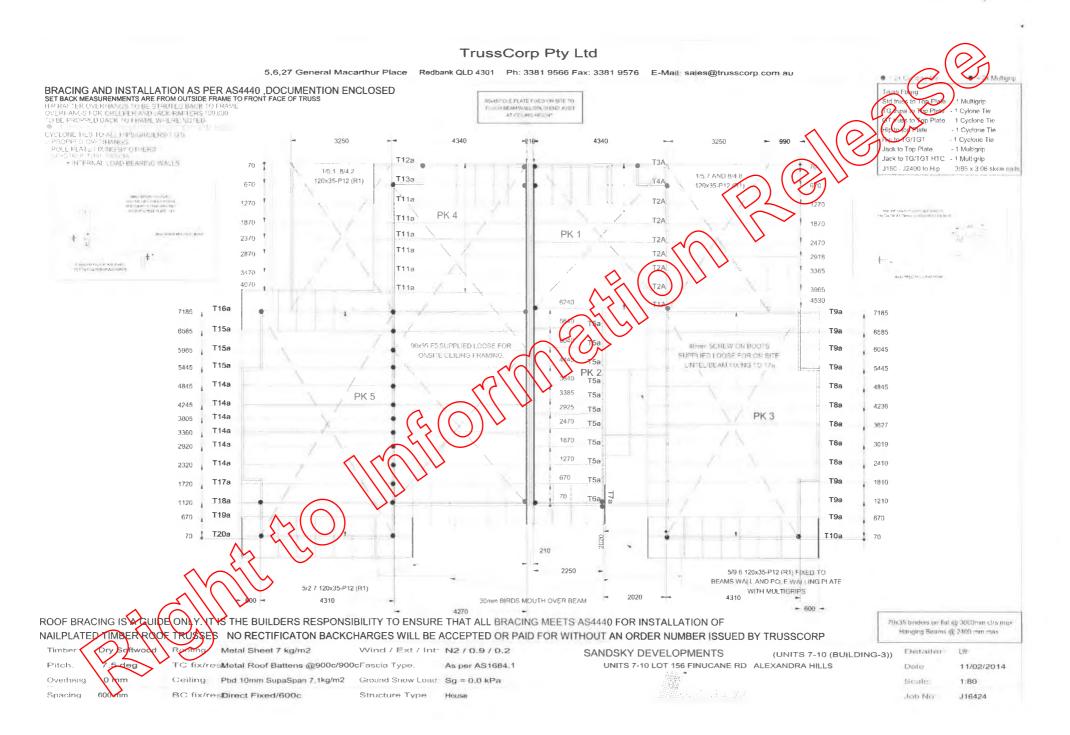
NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section A6 of the Building Regulation 2006.				
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about whethe building work complies with the BCA or a provision of the QDC. A building certifier (Class B) ca not give a certificate regarding QDC boundary clearance and site cover provisions.				
1. Property description This section need only be completed if details of street address and property	Street address (include no., street. suburb / locality & postcode) UNITS 7-10 LOT 156 FINUCANE ROAD				
description are applicable.	ALEXANDRA HILLS Rostcode				
EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.	Lot & plan details (attach list if necessary)				
The description must identify all land the subject of the application.	In which local government area is the land situated?				
The lot & plan details (e.g SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide					
previous lot and plan details					
2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the	TIMBER ROOF TRUSS SYSTEM – Supply only All products are to be installed, fixed and brased in accordance with the specification published by				
steel roof beams.	Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004				
	General Property Design Details				
	Wind Class : N2 Truss Centres : 600mm				
	Roof Material : Metal Sheet Roof Pitch : 7.5 Deg Ceiling Material : 10mm Supa Ceil Direct				
3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	The prefabricated timber roof trusses supplied to property are manufactured and designed under licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design software programs. The roof truss design assumes the supporting structure is stable in its own right before the installation of the roof trusses. All designed trusses and roof members utilize the following codes: AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001				
A. Reference documentation					
Clearly identify any relevant documentation.	ROOF TRUSS LAYOUTS				
.g. nambered substantial engineering plans.					
M	TIE DOWN REPORT				
	BUILDING AUTHORITY ROOF TRUSS CERTIFICATION				
$\langle \langle \rangle \rangle$	All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated Trusses				
LOCAL GOVERNMENT USE ONLY					
	Reference Nummur/s				
\searrow	13 Feb 15				
The <i>Building Act 1975</i> is a Department of Housing a					

5. Building certifier reference number	Building certifier reference numb	ber	
			$\overline{\mathbb{Q}}$
6. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be icensed or registered to be able to give the nelp, the certifier must assess the individual as naving appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for	Name (in full) Leigh Walker Company name (if applicable) TRUSSCORP PTY LTD Phone no. business hours (07) 33819566 Email address sales@trusscorp.com.au Postal address P.O Box 6194 Yatala	Mobile no.	Contact person Jason Cochrane Fax nd 197 33819576 Postcode 4207
assessing a competent person, the building pertifier must use the guidelines when assessing the person.	Licence or registration number (if applicable)	
7. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	Signature		Date
The Building Act 1975 is a Department of Housing ar			Queensland Government

BUILDING AUTHORI	TY ROOF TRUSS CER	
PROJECT IDENTIFICATION		(107
Quote Number: J16424 Customer: SANDSKY DEVELOPMENTS	S Site Address: Structure Type:	UNITS 7/10 LOT 156 FINUCANE ALEXANDRA HILLS UNITS 7-10 (BUILDING-3) House
This is to certify that the prefabricated timber ro above project were manufactured using MULT truss design programs, as per the Building Coo The roof truss design and detailing assumes th its own right before the installation of the roof tr The specifications used in the design of the true	NAIL metal connectors and of le of Australia (ABCB Volume e supporting structure is state usses.	detailed using MULTINAIL compute e 2-2012).
ROOF SHAPE : Standard	ROQFING :	Metal Sheet 7 kg/m2
TIMBERDry SoftwoodSPACING600 mmFASCIA TYPEAs per AS1684.1WIND / EXT / INTN2 / 0.9 / 0.2	TC Rixing/Restraint : CEILING : BC Fixing/Restraint : PUTCH : OVERHANG :	Metal Roof Battens @900c/900c Pbd 10mm SupaSpan 7.1kg/m2 Direct Fixed/600c 7.5 / 7.5 deg 0 / 0
All designed trusses and pre-cut members utiliz	ze the following codes:	
AS/NZS 1170.0-2002:Structural Design ActiAS/NZS 1170.1-2002:Structural Design ActiAS/NZS 1170.2-2002:Structural Design ActiAS/NZS 1170.3-2003:Structural Design ActiAS/NZS 1170.3-2003:Structural Design ActiAS 1720.1-2010:Timber structures ParAS 1649-2001:Timber-Methods of tesAS 4100-1998:Steel StructuresAS/NZS 4600-2005:Cold-formed steel structures	ons Part 1: Permanent, impo ons Part 2: Wind actions ons Part 3: Snow and ice act t1: Design methods st for mechanical fasteners a	sed and other actions ions
All trusses must be braced and erected in acco trusses, in conjunction with all local building aut		
NAME	: LEIGH WALKER	
POSITION	: DETAILER	
For detailed load information, including AC, Sol	: <u>27/06/2014</u> ar, Tank and Storage loads, i	refer to the detailed Engineering an
Submission reports and Roof Layout.		

russ	SCorp Pty L	_td					PAGE: 1 DATE: 2	7/06/2014
	eral MacarthRedbank		881 9566 Fax: 33	8819576 E-N	Aail: sales@tru	sscorp.com.a	U	\frown
		REAC	TION REP	ORT (Lin	nit State I	Design)		()
	Number: J16424 sustomer: SANDS		PMENTS		ite Address: ucture Type:	ALEXAN UNITS 7	-10 LOT 156 FIN IDRA HILLS -10 (BUILDING-3	\mathcal{D}
TRUS	S DESCRIPTION	SPAN	SUPPORT			DL + WL	TIEDOWN	BEARIN
	(Note: Tie down capac	(mm) city based on JD5	(mm) Bearing capaci	(kN) ity based on t	(kN) imber propertie	(kN) es of the mem	Bequired	Member/Sup SD7 for supp
T1A	LeftHalf Stand	(4340)					$\langle \mathcal{S} \rangle$	
S1			0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2			4340	1.3	2.5	-8.6	Z Multi Grips	Ok / Ok
T2A	LeftHalf Stand	(4340)					>	
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.4	0.8/(-70	1 Multi Grip	Ok / Ok
T3A	LeftHalf Outer	(3390)				\mathbf{i}		
S1			70	0.4	(10)	-1.1	1 Multi Grip	Ok / Ok
S2	1 - F. 1 - 1 - 1		3415	0.3 <	V Q.6	-0.7	1 Multi Grip	Ok / Oł
T4A	LeftHalf Inner	(4340)	70	5	2			
S1			70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2	Left Jelf Otened	(0015)	4365	- ⁰ (47)	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a S1	LeftHalf Stand	(2215)	0		2	0.5		
S2			0 2215		0.5 0.4	-0.5 -0.6	1 Multi Grip	Ok / Ok
52 T6a	LeftHalf Outer	(2215)	2210		0.4	-0.6	1 Multi Grip	Ok / Ok
S1		(2213)	76	→ _{0.3}	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a	Girder SC0	(6240)	(\bigcirc)	• 0.0	0.0	- F. I	r word Crip	
S1			2 70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2			6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a	LeftHalf Stand	(4910)			2.0	0.0	E main empo	
S1			> 0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a	LeftHalf Stand	(4\$10)					·	
S1		(\bigcirc)	0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2	\sim		4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a	LeftHalf Outer	4310)						
S1	\sim		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a	Left Half Stand	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2	$(\bigcirc \)$		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
TIZA	LeftHalf Outer	(3390)						
\mathcal{D}	\sim							
Ś	_							
	L TrusSource vers	sion 8.1.9/0			27/06/201	4 12:42:06 P	M	
25 CINAN		5.0110.1.9/0			21/00/201	- 12.42.00 F	V(

TRUS	S DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Supp
	(Note: Tie down capaci	· · ·						
S1			70	0.2	0.5	-0.5	1 Multi Grip	OK LOK
S2			3390	0.5	1.3	-1.5	1 Multi Grip	
T13a	LeftHalf Inner	(4340)					6	7
S1			0	0.4	0.8	-0.9	1 Multi Grip (Dik / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	COK / OK
T14a	LeftHalf Stand	(9180)					$\langle 0 0 \rangle$	7
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Erips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Michti Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)				(\overline{ON}	
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	/ F.A) L	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)	_					
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)	-		$S(\mathbb{C})$))		
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3	Left left Outer	(0500)	8580	0.4	9.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)	0	\mathcal{S})7.	4.0		
S1			0		1.1	-1.3	1 Multi Grip	Ok / Ok
S2 S3			4200	1(1.8)	4.0	-5.3	1 Cyclone Tie	Ok / Ok
53 T19a	LeftHalf Stand	(4010)	8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
S1	Leithaii Stano	(4310)	Ś		1.0	-1.1	4 Maulai Outo	
S2			1240	0.5	1.1	-1.3	1 Multi Grip 1 Multi Grip	Ok / Ok Ok / Ok
T20a	LeftHalf Outer	(4310)	(())	0.5	1.1	-1.5	r Mulu Grip	
S1				0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		\sim	4910	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
02		75 ~	4310	0.0	2.0	- 6 1	2 Multi Crips	OK / OK
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Version 3 – March 2013

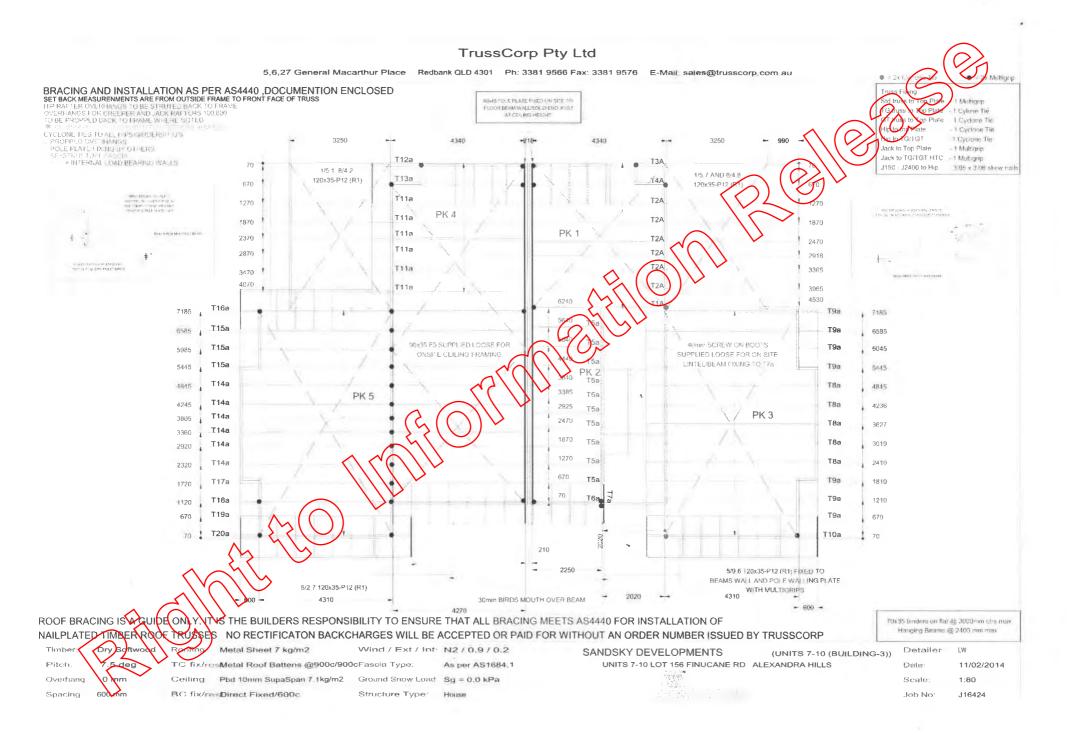
NOTE	This is to be used for the purposes of section 10 of the <i>Building Act</i> 1975 and/or section 46 of <i>Building Regulation</i> 2006.				
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about wheth building work complies with the BCA or a provision of the QDC. A building certifier (Class B) c not give a certificate regarding QDC boundary clearance and site cover provisions.				
1. Property description This section need only be completed if details of street address and property	Street address (include no., street, suburb / locality & postcode) UNITS 7-10 LOT 156 FINUCANE ROAD				
description are applicable. EG. In the case of (standard/generic) bool design/shell manufacture and/or	ALEXANDRA HILLS Rostsode Lot & plan details (attach list if necessary)				
batio and carport systems this section nay not be applicable.					
he description must identify all land the ubject of the application.	In which local government area is the land situated?				
The lot & plan details (e.g. SP / RP) are hown on title documents or a rates notice.	\sim				
f the plan is not registered by title, provide previous lot and plan details.					
. Description of component/s certified learly describe the extent of work covered by his certificate, e.g. all structural aspects of the	TIMBER ROOF TRUSS SYSTEM - Supply only				
teel roof beams.	All products are to be installed, fixed and braced in accordance with the specification published by Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004				
	Woldmain Australia Liu anu in accontance wirk the Australian Standard AS4440-2004				
	General Property Design Details				
	Wind Class : N2 Truss Centres : 600mm				
	Roof Material : Metal Sheet Roof Pitch : 7.5 Deg				
	Ceiling Material : 10mm Supa Ceil Direct				
Basis of certification	The prefabricated timber poof trusses supplied to property are manufactured and designed under				
etail the basis for giving the certificate and the tent to which tests, specifications, rules,	licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design				
andards, codes of practice and other blications, were relied upon.	software programs. The roof truss design assumes the supporting structure is stable in its own				
	right before the installation of the roof trusses.				
	All designed trusses and roof members utilize the following codes:				
	AS/NZS1070.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001				
Patanana da ana anta tina					
Reference documentation early identify any relevant documentation	ROOF TRUSS LAYOUTS				
. numbered structural engineering plans.					
MĬ	TIE DOWN REPORT				
	BUILDING AUTHORITY ROOF TRUSS CERTIFICATION				
$\langle \langle \rangle \rangle$	All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated				
	Trusses				
$\sim (O)$					
DCAL GOVERNMENT USE ONLY					
Cierce received	Statamore Muminime				
\sim	is tak or				
The Building Act 1975 is a	dministered by the Queensland				

1997 - 1997 -							
5. Building certifier reference number	Building certifier reference number						
6. Competent person details A competent person for building work, means a	Name (in full) Leigh Walker						
person who is assessed by the building certifier for the work as competent to practice in an	-						
aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the	TRUSSCORP PTY LTD	ontact person Jason Cochrane					
aspect. The competent person must also be registered or licensed under a law applying in	Phone no. <i>business hours</i> Mobile no. (07) 33819566	Fax (0) 197 33848576					
the State to practice the aspect.	Email address						
If no relevant law requires the individual to be licensed or registered to be able to give the	sales@trusscorp.com.au	$(Q/h)^{\sim}$					
help, the certifier must assess the individual as having appropriate experience, qualifications or	Postal address						
skills to be able to give the help.	P.O Box 6194	0					
If the chief executive issues any guidelines for assessing a competent person, the building	Yatala	Postcode 4207					
certifier must use the guidelines when assessing the person.	Licence or registration number (if applicable)						
bacasing the person.		$\mathbf{>}$					
7. Signature of competent person	Signature	Date					
This certificate must be signed by the individual							
assessed by the building certifier as competent.	All M	27 June 2014					
\sim		20 2 m 2 m 2 m 2 m 2 m 2 m 2 m 2 m 2 m 2					
The <i>Building Act 1975</i> is a Department of Housing a		Queensland Government					

russCorp Pty Ltd			DATE: 27/06/20 1
6,27 General Macarthur Place edbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@tru:	sscorp.com.au		
BUILDING AUTHORITY RO	OF TRUSS CERT	TIFICATION	$\langle \rangle$
PROJECT IDENTIFICATION			907
Quote Number: J16424 Customer: SANDSKY DEVELOPMENTS		UNITS 7-10 LOT ALEXANDRA HI UNITS 7-10 (BU) House	LLS .
This is to certify that the prefabricated timber roof trusse above project were manufactured using MULTINAIL me truss design programs, as per the Building Code of Aus The roof truss design and detailing assumes the suppor its own right before the installation of the roof trusses.	etal connectors and contralia (ABCB Volume tralia structure is etablic	letailed using MUL 2-2012).	ied to the _TINAIL compute
ROOF SHAPE:StandardFTIMBER:Dry SoftwoodTSPACING:600 mmCFASCIA TYPE:As per AS1684.1EWIND / EXT / INT:N2 / 0.9 / 0.2F	C Fixing/Restraint : C Fixing/Restraint : C Fixing/Restraint : C Fixing/Restraint : C Fixing/Restraint :	Metal Sheet 7 kg/ Metal Roof Batter Pbd 10mm Supas Direct Fixed/600c 7.5 / 7.5 deg 0 / 0	ns @900c/900c Span 7.1kg/m2
All designed trusses and pre-cut members utilize the fol AS/NZS 1170.0-2002: Structural Design Actions Part AS/NZS 1170.1-2002: Structural Design Actions Part AS/NZS 1170.2-2002: Structural Design Actions Part AS/NZS 1170.3-2003: Structural Design Actions Part AS/NZS 1170.3-2003: Structural Design Actions Part AS 1720.1-2010: Timber structures Part 1: Desi AS 1649-2001: Timber-Methods of test for me AS 4100-1998: Steel Structures AS/NZS 4600-2005: Cold-formed steel structures	0: General principles 1: Permanent, impose 2: Wind actions 3: Snow and ice actions gn methods the steners and the steners are steners are steners and the steners are steners are steners are steners and the steners are steners	sed and other acti ions nd connectors	
All trusses must be braced and encrear in accordance w trusses, in conjunction with all local building authority re- SIGNATURE : NAME : LEIGH POSITION : DETA DATE : 27/06/	quirements, and any	other supplied de	
For detailed load information, including AC, Solar, Tank Submission reports and Roof Layout.	and Storage loads, r	refer to the detaile	d Engineering an

TTIA S1 S2 T2A	Number: J16424 ustomer: SANDS S DESCRIPTION (Note: Tie down capac LeftHalf Stand LeftHalf Stand	SKY DEVELC SPAN (mm)	SUPPORT (mm)	S Stri DL (kN)	ite Address ucture Type DL + LL I (kN)	UNITS 7 ALEXAN UNITS 7 House DL + WL (kN)	10 LOT 156 FIN DRA HILLS 10 (BUILDING TIE DOWN Required	BEARIN Member/Sup
T1A S1 S2 T2A	(Note: Tie down capac LeftHalf Stand	(mm) city based on JD	(mm) 5. Bearing capaci	(kN)	(kN)	(kN)	Required	Member/Sup
T1A S1 S2 T2A	LeftHalf Stand	city based on JD	5. Bearing capaci					
S1 S2 T2A		(4340)	0				Der Unite support, and	J SD7 for supp
S2 T2A	LeftHalf Stand		0				$\sqrt{3}$	
T2A	LeftHalf Stand			1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
	LeftHalf Stand		4340	1.3	2.5	-86	Z Multi Grips	Ok / Ok
		(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.4	0.8	-10	1 Multi Grip	Ok / Ok
ТЗА	LeftHalf Outer	(3390)			~	\sum	·	
S1			70	0.4	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			3415	0.3 🗸	2000	-0.7	1 Multi Grip	Ok / Ok
T4A	LeftHalf Inner	(4340)						
S1		, , , , , , , , , , , , , , , , , , ,	70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4365	040	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a	LeftHalf Stand	(2215)		$\nabla/($			ſ	
S1		,	0	(02)	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			2215	~ 0,2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a	LeftHalf Outer	(2215)	\sim	\searrow			,	
S1		(-)	76	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a	Girder SC0	(6240)	\wedge (\bigcirc)					
S1		· · · · (2 70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2			6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
	LeftHalf Stand	(4910)						
S1			0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
	LeftHalf Stand	(4810)						
S1		(\bigcirc)	0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2	\sim		4310	0.5	1.0	-1.3	1 Multi Grip	Ok / Ok
T10a	LeftHalf Outer	(4310)						
S1	\sim		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2	22		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a	Left Nal Stand	(4340)	- *					
S1		(0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2	\sim		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
TIRA	LeitHall Outer	(3390)	.0.0	0.0		1.0	i mani onp	
)	$\langle \rangle $							
\searrow								

	S DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Supp
	(Note: Tie down capacit	y based on JD	5. Bearing capacit	y based on	timber proper	ties of the men	nber onto support, and	SD7 for suppo
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	
T13a	LeftHalf Inner	(4340)					/	7
S1			0	0.4	0.8	-0.9	1 Multi Grip 🤇	Dik / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	COk / Ok
T14a	LeftHalf Stand	(9180)					V/D	7
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Erips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Matti Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)					$(\partial \lambda)$	
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	(-7-7)	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)				\sim	>	
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)			$\gamma(C)$			
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	9.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)		- 5/1	77			~
S1			0	03	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	- (1.8)	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3		(4040)	8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a S1	LeftHalf Stand	(4310)	\$C		1.0		1 Multi Orin	
S1 S2			1240	0.5	1.0	-1.1	1 Multi Grip 1 Multi Grip	Ok / Ok
52 T20a	LeftHalf Outer	(4310) (0.5	1.1	-1.3	r Multi Grip	Ok / Ok
S1	Letti Iali Outer	(4010)		0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		6	4910	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
02		2	4310	0.0	2.0	- Gaur & 1		OK / OK
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Version 4 – March 2013

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10 sections 32, 35B, 43, 44 and 47 of the <i>Building Regula</i>	D(c) and 239 of the Building Act 1975 and/o ation 2006.				
 Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing). 	Inspection Certificate for Stage of building work (for single detached class 1a or class 10 building or studure) (indicate the stage) Aspect of building work (indicate the aspect) BUILDING SET OUT QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified e.g. scope of work for a waterproofing licence is "install waterproofing materials or systems for preventing mbisture penetration". An aspect being certified mainclude "wet area sealing to showers". I hereby certify that we have set out the footings for the buildings under construction at the below mentioned after in accordance with the site and building plans supplied and instructed by Sandsky Developments on 12/02/2014. The set out has been placed and marked exclusively for the alignment of the external face of brickwork of the ground floor of the proposed dwelling. We accept no responsibility for any construction works in relation to mistakes, misprints or discrepancies in the building plans. It is understood that the set out is checked by the builder for any signs of disturbance of discrepancy prior to construction.					
 2. Property description The description must identify all land the subject of the application. The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details. 3. Building/structure description	Street address (include no., street, suburb / locality & postcode 156 Finucane Road ALEXANDRA HILLS OLD Lot & plan details (Attach list if necessary) Lot 40 on RP79330 In which local government area is the land situated? Brisbane City Council Building/structure description Triplex					
LOCAL GOVERNMENT USE ONLY	,	Queensland Government				

4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Building set out in relation to setbacks to boundaries & building footprint.
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other	In accordance with Architectural Building Plans;
publications, were relied upon.	
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	John Marsson & Associates Pty Ltd, Building Plans for Job #12,05 Revision: A (Our Job # 7061)
7. Building certifier reference number and development approval number	Building certifier reference number Development approval number
 8. Building Certifier, competent person or QBSA licensee details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person. 9. Signature of building certifier, competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4. 	Name (in full) Andrew Vincent Corfield Company name if applicable Coolact person All Points Surveys Pty Ltd Andrew Corfield Phone no. business hours Mobile no Fax no. 0428 487 928 Email address andrew@allpointssurveys.cem.ab Postal address 0428 487 928 Email address PO Box 1046 Postcode 4207 Eicence number Graduate Surveyar (BA&C – Surv) Date Signature Signature Date 28/02/2014
The Building Act 1975 is a Department of Housing at	

Version 4 - March 2013 Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate NOTE This form is to be used for the purposes of section 10(c) and 239 of the Building Act 14/5 and/or sections 32, 35B, 43, 44 and 47 of the Building Regulation 2006. 1. Indicate the type of certificate Inspection Certificate for

The stages of assessable building work	
are listed in section 24 of the Building	
Regulation 2006 or as conditioned by the	
building certifier.	

An aspect of building work is part of a stage (e.g. waterproofing).

0004		*****	O
NCON	Licensee	ASpect	Certificate

(indicate the stage)

V

V

Aspect of building work

(indicate the aspect)

Scope of the work Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, e.g. ecope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

WATERPROOFING

Stage of building work (for single detached class 1a or class 10 building or structure

Waterproofing to 4 Shower Trays

Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry Balconies

REFERENCE NUMBER/S

Street address (includente, street, suburb / locality & postcode) Lot 40, 156 Building 3 (NZ-N) Finucane Road

Alexandra Hills .ot & plan oetails (Attach list if necessary)

In which local government area is the land situated?

3. Building/structure description

2. Property description

subject of the application.

previous lot and plan details.

The description must identify all land the

The lot & plan details (eo. SP / RP) are

shown on title documents or a rates notice.

If the plan is not registered by title, provide

Building/structure description

Dwelling

LOCAL GOVERNMENTUSE ONLY

The *Building Act 1975* is administered by the Department of Housing and Public Works



Class of building / structure

Postcode

1a

4. Description of component/s certified			
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Waterproofing to 4 Shower Trays		
	Wet Area Perimeter Flashing & Floor Areas to I	Bathroom, Ensuite, WC & Laundry	
	Balconies		
		(\bigcirc)	
		505	
5. Basis of certification Detail the basis for giving the certificate and the	In accordance with A.S. 3740, A.S. 4858 and A	.S. 4654 parts 1 & 2	
extent to which tests, specifications, rules, standards, codes of practice and other	B.C.A. 2006 3.8.1.1.		
publications, were relied upon.	(7)		
		10-	
6. Reference documentation			
Clearly identify any relevant occumentation, e.g. numbered structural engineering plans.			
e gi hannoeen shuttarenginoering plans.			
	Q_		
7. Building certifier reference number	Building contifier reference number	Development entrovel purpher	
and development approval number	Building certifier reference number	Development approval number	
8. Building Certifier, competent person or QBSA licensee details	Name (in full)		
A competent person must be assessed as	Paul Cain		
competent before carrying out the inspection.	Company name if applicable	Contact person	
The builder for the work cannot give a stage certificate of inspection.	P C WATERPROOFING SERVICES	Paul Cain	
A competent person is assessed by the	Phone no. business hours Mobile no.	Fax no.	
building certifier for the work as competent to practice in an aspect of the building and	040711995	0	
specification design, because of the individual's	Email address		
skill, experience and qualifications. The competent person must be registered or	pcwaterploofing@outlook.com		
licensed under a law applying in the State to practice the aspect.	Postal aporess		
If no relevant law requires the individual to be	128 Caldarita Road		
licensed or registered, the certifier must assess the individual as having appropriate	Cabanita Beach, NSW	Postcode 2488	
experience, qualifications or skills to be able to give the help.	Licence class		
If the chief executive issues any guidelines for	Waterproofing	1258436	
assessing a competent person, the building certifier must use the guidelines when	Date approval to inspect received from building	certifier	
assessing the person	~		
9. Signature of building certifier			
competent person or QBSA licensee Note: A building certifier must sign this form for	Signature	Date	
temporary swimming profiled bade	Pul	12/5/14	
section 4 of Schedule 1 of QDC MP 3.4.			
10			
$\backslash \sim$		- XX-	
The Building Act 1975 is	administered by the	Queensland	
Department of Housing	and Public Works	Government	
Department of nousing	PERME FORMERS REPERMENT	Unverinnent	

NOTE	This is to be used for the purposes of section the <i>Building Regulation 2006</i> .	10(c) of the Building Act 1975 and/or section 47 of	
1. Indicate the type of certificate	Inspection Certificate for	907	
	Stage of building w	vork (for single detached class rate class 10 building or	
	(indicate the stage)		
	Aspect of building	work	
	(indicate the aspe	ct) Electrical	
	QBSA Licensee Aspect Certifical Scope of the work Scope of the work covered by the licence class uf <i>Regulation 2003</i> for the aspect being certified eg waterproofing materials or systems for preventing include "wet area sealing to showers"		
	Smoke Detectors x 2		
	80% Energy Efficient Lighting		
	Installed and tested to A.S. 37		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are	Street address (include no. skeet, suburb / locality & postcode) 156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS Postcode: 4161		
shown on title documents or a rates notice. f the plan is not registered by title, provide previous lot and plan details.	Lot & plan details (Atlach list if necessary) Lot: 40		
	SP:		
	In which local government area is the land situated?		
	Redland Vity Council		
3. Building description	Byilding description	Class of building / structure	
s. Building description	Develling		
EX.	h		
M			
2 m			
I. Description of component/s certified	Smoke Detectors – Mains Wired x 2		
Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof bears.	80% Energy Efficient Lighting		
	Installed and tested to A.S. 3786		

Form 16 continued				
5. Basis of certification Detail the basis for giving the certificate and the	In accordance with the National Con	struction Code		1
extent to which tests, specifications, rules,				
standards, codes of practice and other publications, were relied upon.				an
				$(\nabla \mathcal{O})$
	[1] Y. W. S. Markov, "Weight and Phys. Rev. Lett. And Advanced Phys. Rev. Lett. 74, 114 (1997) 114.			$\langle \rangle$
	**************************************			(\mathcal{O})
. Reference documentation				01
Clearly identify any relevant documentation, .g. numbered structural engineering plans.			$\overline{\Omega}$	
			$\langle \vee \rangle$	
			(∂h)	
		****	\sim	
			\square	
7. Building certifier reference number and development approval number	Building certifier reference number		Development approval number	
and development approval number				
3. Building Certifier or competent		(
person details	Name (in full) A & N Contracts	A(\rightarrow	
competent person must be assessed as		\rightarrow	\rightarrow	
ompetent before carrying out the inspection.	Company name if applicable	$-(\bigcirc)$	Contact person	
he builder for the work cannot give a stage ertificate of inspection.	A & N Electrical		Andrew Brown	
competent person is assessed by the		pile no.	Fax no.	
uilding certifier for the work as competent to ractice in an aspect of the building and		33 412 040	5596 6516	
pecification design, because of the individual's	Email address	\sim		
kill, experience and qualifications. The onpetent person must be registered or	andrew@ancontracts.com.au)٢		
censed under a law applying in the State to ractice the aspect.	Postal address			
no relevant law requires the individual to be	PO BOX 425			
censed or registered, the certifier must assess ne individual as having appropriate	Nerang		Postcode: 4	221
xperience, qualifications or skills to be able to	Licence class		icence number	
ive the help.	Electrical Contractors		66639	
the chief executive issues any guidelines for seesing a competent person, the building	Date approval to inspect received from	building certifi	er	
ertifier must use the guidelines when ssessing the person.	$\langle \gamma \rangle$			
Signature of building certifier, competent person or QBSA licensee	Inspection Certificate for stage	e or aspect		
($\langle \rangle \rangle^{\sim}$			
	QBSA Licensee Aspect Certific	ate		
(\mathcal{T}			
M	A person who may under s43 giv			
	requirements for self assessable	building work i	under the Building Regulation 2	2006 s44.
52	Signature		Date	
	Andrew beac	1020 -0		
$\langle \vee \bigcirc \rangle$	- wardeere Deve			
				A
(O)				
10				
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The Building Act 1975 is administered by the Department of Infrastructure and Planning

Queensland Government Department of Infrastructure and Planning

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	icensee Aspect Certificate			
NOTE	This is to be used for the purposes of section 10 the <i>Building Regulation 2006</i> .	0(c) of the Building Act 1975 and/or section 47 of		
1. Indicate the type of certificate	Inspection Certificate for	TOF		
	Stage of building wor structure) (indicate the stage)	rk (for single detached class 1a or class 10 building or		
	Aspect of building we (indicate the aspect)			
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class und <i>Regulation 2003</i> for the aspect being certified eg so waterproofing materials or systems for preventing w include "wet area sealing to showers"	er the Queensland Building Services Authority cope of work for a waterproofing licence is "installing		
	Smoke Detectors x 2			
	80% Energy Efficient Lighting Installed and tested to A.S. 3786			
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	Street address (Include no street, suburb / locality & postcode) 156 Building 3 (U7-10) Finucarde Road ALEXANDRA HILLS Postcode: 4161			
the plan is not registered by title, provide revious lot and plan details.	Lot & plan detaile (Atlach list if necessary) Lot: 40			
	SP: Z In which local government area is the land situated?			
	Redland City Council			
. Building description	Byilding description	Class of building / structure		
EX (Bwelling	1a + 10		
M				
. Description of component/s certified learly describe the extent of work covered by his certificate e.g. all structural aspects of the teel roof beams.	Smoke Detectors – Mains Wired x 2 80% Energy Efficient Lighting			
	Installed and tested to A.S. 3786			
\searrow				
LOCAL GOVERNMENT USE ONLY	I			
LAYE RECEIVED.	REPERTURNER NUMBER OF			

Form	16	continued	
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r unit to continueu	
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	In accordance with the National Construction Code
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	
7. Building certifier reference number and development approval number	Building certifier reference number
 8. Building Certifier or competent person details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person. the building certifier must use the guidelines when assessing the person. 9. Signature of building certifier, competent person or QBSA licensee 	Name (in full) A & N Contracts Company name if applicable Contact person A & N Electrical Phone no. business hours Mobile 00 Fax no. 5596 6221 V438 412 040 Email address andrew@ancontracts.com.au Postal address PO BOX 425 Nerang Postal contracts.com.au Postal contracts.com.au Postal address PO BOX 425 Nerang Postal contracts.com.au Postal contracts.com.au Postal address PO BOX 425 Nerang Postcode: 4221 Licence class Licence class Licence class Date approval to inspect received from building certifier Inspection/Certificate for stage or aspect OBSA Licensee Aspect Certificate
	A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the <i>Building Regulation 2006</i> s44.
	Signature Date
The Building Act 1975 is administ Department of Infrastructure and	

Page 96 of 490

NOTE	This is to be used for the purposes of section 10(c) the <i>Building Regulation</i> 2006.) of the Building Act 1975 and/or section 47 of	
t. Indicate the type of certificate	Inspection Certificate for	907	
	Stage of building work (f	for single detached class (a er class 10 building or	
	Aspect of building work (indicate the aspect)	Epenay Efficiency	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under Regulation 2003 for the aspect being certified eg scop waterproofing materials or systems for preventing motion include "wet area sealing to showers" 80% Energy Efficient Lighting Installed and tested to A.S. 3786	e of work for a waterproofing licence is "installin	
Property description he description must identify all land the ubject of the application. he lot & plan details (eg. SP / RP) are nown on title documents or a rates notice. the plan is not registered by title, provide revious lot and plan details.	Street address (Include no. stheet, suburb / locality & posto 156 Building 3 (U7-10); (inbsaine Road ALEXANDRA Lot & plan details (Atlact list if necessary) Lot: 40 SP:		
	In which local government area is the land situated? Rectand City Council		
. Building description	Building description	Class of building / structure	
EX.		1a	
4. Description of component's certified Clearly describe the extent of work covered by this certificate, e.g. all skuctoral aspects of the steel roof beams.	80% Energy Efficient Lighting Installed and tested to A.S. 3786		
QZ			
LOCAL GOVERNMENT USE ONLY			
50 10 C 9 1 2 434 1	REFERENCE MIMBER'S		

Form 16 continued	rm 16 continued	
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5. Basis of certification	Duilding was constructed as not Energy Efficiency Popert		
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Building was constructed as per Energy Efficiency Report		
	In accordance with the National Construction Code		
6. Reference documentation	$\vee/0$		
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.			
e.g. numbered structurar engineering plans.	\sim (\vee)		
7. Building certifier reference number and development approval number	Building certifier reference number Development approval number		
and development approval number			
8. Building Certifier or competent			
person details	Name (in full) Craig Robert Fitzgerald		
A competent person must be assessed as			
competent before carrying out the inspection.	Company name if applicable Contact person SandSky Developments Pty Ltd Lauren Threfall		
The builder for the work cannot give a stage certificate of inspection.			
A competent person is assessed by the	Phone no. business hours Mobile no. Fax no.		
building certifier for the work as competent to practice in an aspect of the building and	1300 655 210 04 42 579 363 1300 655 230		
specification design, because of the individual's	Email address		
skill, experience and qualifications. The competent person must be registered or	admin@sandsky.com.au		
licensed under a law applying in the State to practice the aspect.	Postal address		
If no relevant law requires the individual to be	PO BOX 3353		
licensed or registered, the certifier must assess the individual as having appropriate	Helensvale TC QLD Postcode: 4212.		
experience, qualifications or skills to be able to	Licence class		
give the help.	Builders 1014147		
If the chief executive issues any guidelines for assessing a competent person, the building	Date approval to inspect received from building certifier		
certifier must use the guidelines when assessing the person.			
9. Signature of building certifier, competent person or QBSA licensee	Inspection Certificate for stage or aspect		
	QBSA Licensee Aspect Certificate		
(c			
M	A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the <i>Building Regulation 2006</i> s44.		
2 A			
\sim	Disector		
	Signature Date		
	27/06/2014		
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$\langle \zeta \rangle \stackrel{\sim}{\sqsubseteq}$			
\sim			
\searrow			
The Building Act 1975 is adminis			
Department of Infrastructure and	Planning Department of Infrastructure and Planning		

NOTE	This form is to be used for the surposes of costion 4	0(a) and 220 of the Puilding Act 1075 and/as
NOTE	This form is to be used for the purposes of section 10 sections 32, 35B, 43, 44 and 47 of the <i>Building Regula</i>	
1. Indicate the type of certificate	Inspection Certificate for	707
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier.	Stage of building work (for single detached class (indicate the stage)	1a or class 10 building trestructure)
An aspect of building work is part of a stage (e.g. waterproofing).	Aspect of building work (indicate the aspect) Drywall – Internal Linings	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class upser the <i>Regulation 2003</i> for the aspect being certified, e.g. scope waterproofing materials or systems for preventing maistur include "wet area sealing to showers".	of work for a waterproofing licence is "installin
	Drywall Installation THIS IS NOT A FIRE WALL CERTIFICATE-	
	Sound rated walls and ceilings as required in scope of works	
	Certificate of Completion - As required by AWCI (Doug Smith AWCI 07 3844 2343)	
7 Duanauto danariatian		
2. Property description The description must identify all land the	Street address (Includeno, street, suburb / locality & postcod	(e)
subject of the application.	Alexandra Hills	Postcode 4161
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	Lot & plan details (Altach list if necessary)	
If the plan is not registered by title, provide previous lot and plan details.	Lot 40	
	In which local government area is the land situated?	
	Rediard City Council	
	AD.	
3. Building/structure description	Building/structure description	Class of building / structure
M	New Buildings – 10 Units Development	1A
	>	
 Description of component's certified Clearly describe the exemption work covered by this certificate, e.g. all structural spects of the steel roof beams. 	Supply and install 2 layers of Firerated plasterboard (1 insulation to Ground floor units 1, 3, 4, 7 and 8 ceilings	
	Supply and install 1 layer of Firerated plasterboard (16 insulation to units partiwalls 3 to10	Smm FYRCHEK) board with R2.5

REFERENCE NUMBERS

DATESTON

Form 16 continued		
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other	Installed R2.5 insulation and 2-layers of Firerated plasterboard (13mm FYRCHEK) to complete CSR System CSR 814 to achieve required RW (RW+ CTR) 50 (42)	
publications, were relied upon.	Installed R2.5 insulation and 1-layer of Firerated plasterboard (16mm FYRCHEK) to both sides of internal Partiwalls to complete CSR System CSR555 achieve required RW(RW+STR) 55 (46) Insulation Installed to AS/NZS4859.1-2002 Wall and Ceiling Materials used on building comply with the BSA specification C1-10a	
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	CSR System CSR 814 (Acoustic Opinion PKA-056) CSR System CSR555 (Acoustic Opinion PKA-051) Approved plans from builder Purchase order from builder	
 Building certifier reference number and development approval number 	Building certifier reference number Development approval number	
 8. Building Certifier, competent person or QBSA licensee details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If on relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person. 9. Signature of building certifier, 	Name (in full) Company name if applicable Contact person CRA Internal Linings Pty Ltd Phone no. business hours Mobile no 07 5522 8177 0422 939 81 O7 5530 3774 Email address info@crainternallinings.com.at Postal address PO Box 2796 Nerang BC 0LD Postcode 4211 Licence class Licence number Plastering Drywall Date approvalte inspect received from building certifier	
competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.	Signature Date Uictor Mang Date	
The Building Act 1975 is adm	ninistered by	
THE DUNUNIQ ALL 1975 IS AUT		

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NOTE	This form is to be used for the purposes of section 10(c) and sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation</i> 20	d 239 of the <i>Building <mark>Act 1975</mark></i> and/or 006.
I. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Inspection Certificate for Stage of building work (for single detached class 1a or class (indicate the stage) Aspect of building work (indicate the aspect) QBSA Licensee Aspect Certificate Scope of the work Scope of the work Scope of the work covered by the license class under the Queern Regulation 2003 for the aspect being certified e.g. scope of work waterproofing materials or systems for preventing moisture penetinclude "wet area sealing to showers". INSTALLATION OF INSULATION TO WALLS AND CEILINGS	ss 10000Hding or securitye)
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice, f the plan is not registered by title, provide previous lot and plan details.	Street address (Include to., street, suburb / locality & postcode) LOT 40 FINUCAN ROAD – BLD 3 – UNITS 7, 8, 9 & 10 ALEXANDRA HILLS Lot & plandetails (Attach list if necessary) In which local government area is the land situated?	
3. Building/structure description	Building structure description	Class of building / structure
	Asingle dwelling being a detached house or one or prore attached dwellings	1A
DCAL GOVERNMENT US5 ONLY	REFERENCE NUMBERIS	
The Building Act 1975 is a Department of Housing a		Queensland Government

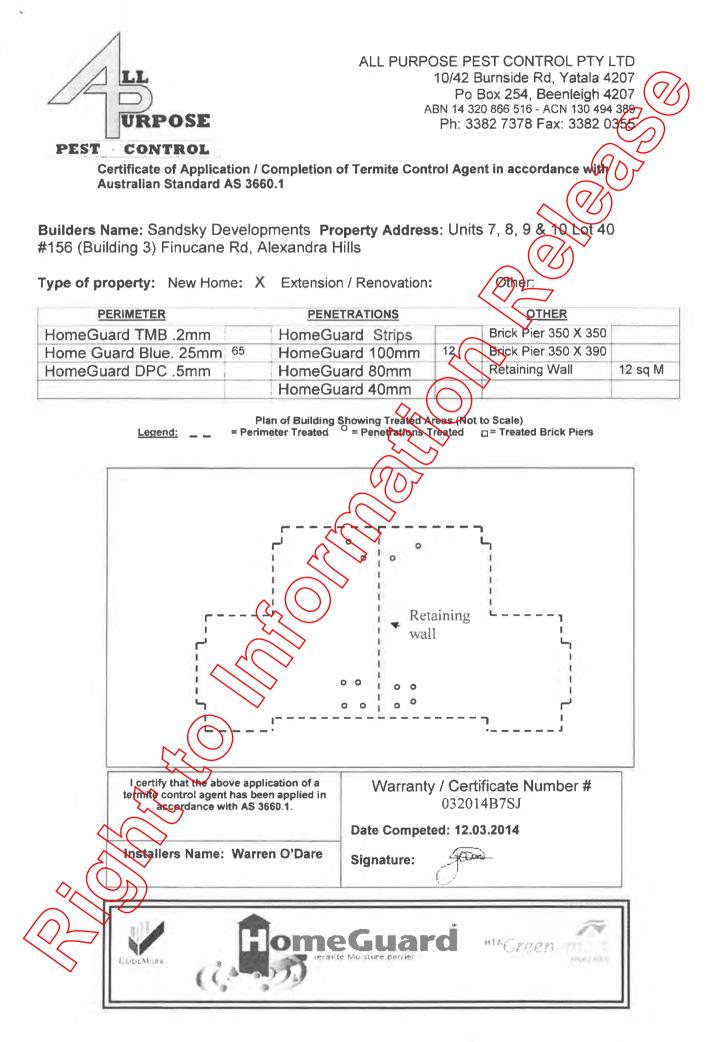
4. Description of component/s certified Clearly describe the extent of work covered by			
this certificate, e.g. all structural aspects of the steel roof beams.			
	VAPOUR PERM. WRAP TO EXTERNA	AL WALLS INCLUDING GABLES	
	R1.5 INSULATION BATTS TO EXTER		
	14kg - 50mm INSULATION TO INTER	RNAL WALLS AS PER PLAN	
	14kg – 75 mm INSULATION TO DUCTS AS PER PLAN		
	R2.5 INSULATION TO CEILINGS AS PER PLAN		
	R2.5 INSULATION TO CEILINGS BET	WEEN UNITS AS PER PLAN	
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	The above product meets the current BCA,	Australian Standards AS/NZS 4859.1	
orgenering plane.			
7. Building certifier reference number and development approval number	Building certifier reference number	Development approval number	
8. Building Certifier, competent person or QBSA licensee details	Name (in full) ACCESS INSULATION PTY LTD		
A competent person must be assessed as competent before carrying out the inspection.	Company name if applicable	Contact person	
The builder for the work cannot give a stage certificate of inspection.	Access Insulation Pty Ltd	David Comerford (Director)	
A competent person is assessed by the	Phone no. business hours Mapile no.	Fax no.	
building certifier for the work as competent to practice in an aspect of the building and	07 3809 0000	07 3809 0777	
specification design, because of the individual's skill, experience and qualifications. The	Email address info@accessinsulation.com.au		
competent person must be registered or licensed under a law applying in the State to	Postal address		
practice the aspect.	UNIT 1/62 EASTERN ROAD		
If no relevant law requires the individual to be licensed or registered, the certifier must assess	BROWNS PLAINS	Postcode 4118	
the individual as having appropriate experience, gualifications or skills to be able to	Licence class	Licence number	
give the help.	Insulation, Ventilation & Skylight	BSA 743951	
If the chief executive issues any guidelines for assessing a competent person, the building	Installation Date approval to inspect received from building of	contifier	
certifier must use the guidelines when assessing the person.	Date approvante inspect received nom building (
9. Signature of building certifier,	<u> </u>		
competent person or QBSA licensee Note: A building certifier must sign this form for	Signature	Date	
temporary swimming pool fencing under			
section 4 of Schedule 1 of QDC MP 3.4.		09/04/2014	
	Lomerine	X	
2 miles			
\land			
The Building Act 1975 is a Department of Housing a		Queensland	
Department of housing a		Government	

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107E	This form is to be used for the purposes of secti sections 32, 35B, 43, 44 and 47 of the Building R	on 10(c) and 239 of the Building Act 1976 and egulation 2006.
Indicate the type of certificate	Inspection Certificate for	
The stages of assessable building work are listed in section 24 of the <i>Building</i> Regulation 2006 or as conditioned by the suilding certifier	Stage of building work (for single detached (indicate the stage)	class 1a or class 10 building or stranger
in aspect of building work is part of a tage (e.g. waterproofing)	Aspect of building work (indicate the aspect)	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under <i>Regulation 2003</i> for the aspect being certified. e.g. waterproofing materials or systems for preventing m include "wet area sealing to showers".	cope of work for a waterproofing licence is "insta
	Install Metal Roof Sheeting,	
	Install Fascia & Gutter	
	Install Flashings	
. Property description	Street address (include no street, suburb / locality & po	stcode)
re description must identify all land the ibject of the application	Lot 40 /156 Finusare Road Building 3	
ne lot & plan details (eg. SP / RP) are	Alexandra Hills	Postcode 4161
nown on title documents or a rates notice the plan is not registered by title, provide revious lot and plan details	Lot & plan details ()/thech list if necessary)	
	In which total povernment area is the land situated? Brispane	
. Building/structure description	Building/sructure description	Class of building / structure
	RESOENTAL	CLASS 1A
	<u> </u>	
Description of component/s certified		
early describe the extent of work covered by	Custom Orb Roof Sheet	
s certificate, e.g. all skuctural aspects of the sel roof beams	Metal Fascia and Gutter	
$\sim (\bigcirc)$	Metal Battens	
	Apron Flashings, Barge and Parpet Capping Color	hond Steel

5. Basis of certification		
Detail the basis for giving the certificate and the extent to which tests specifications, rules.	In Accordance with A.S 1562 1	
standards, codes of practice and other publications, were relied upon.		
6. Reference documentation		
Clearly identify any relevant documentation e.g. numbered structural engineering plans		
7. Building certifier reference number and development approval number	Building certifier reference number	Develapment approval number
8. Building Certifier, competent person	Name (in full)	
or QBSA licensee details A competent person must be assessed as	Steven Wyndham	\sim
competent before carrying out the inspection The builder for the work cannot give a stage certificate of inspection.	Company name <i>if applicable</i> Wyndham Metal Roofing	Steven wyndham
A competent person is assessed by the pullding certifier for the work as competent to practice in an aspect of the building and	Phone no. business hours Mobile ro 07 5563 2621	Fax no 07 5563 2631
specification design because of the individual's skill, experience and qualifications. The competent person must be registered or	Email address admin@wmroofing.com.au	>
icensed under a law applying in the State to practice the aspect.	Postal address Unit 9/14 Activity Crescent	
f no relevant law requires the individual to be icensed or registered, the certifier must assess he individual as having appropriate	Molendinar	Postcode 4214
experience, qualifications or skills to be able to give the help.	Licence class	Licence number
f the shief executive issues any guidelines for assessing a competent person, the building	Roof and Wall Claading Date approval to respect received from building	1100181
certifier must use the guidelines when assessing the person.		j obrunel
9. Signature of building certifier, competent person or QBSA licensee	(h)	
Note: A building certifier must sign this form for	Signature	Date
temporary swimming pool fencing under section 4 of Schedule 1 of QDC_MP 3.4.		27/06/2014
M		
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		
Ex.		
<b>N</b>	inistered by	Queenslan

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#### Terms and Conditions

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Cort ficate is made solely for the but the when but for manual on the face of the Certificate tails to fability or responsibility where a cepted is any fluid party who may rely on the Certificate either wholly or in part. Any thank purport the ung or the Certificate whether in whole or in part does so at their own risk.

- A Termic Protection Program is dependent upon the provision of a complete, treated on party around the structures using approved Termite Control Agents. If this treated solver the structure of the structure of a structure of the structure of th
- 2. With Pre-Construction treatments it is the responsibility of the builder owner to report that the site is properly prepared in accordance with AS 3660.1 before the treatment to replace.
- 3. The Australian Standard AS 3660 highly recommends improvious a more seconding 12 months. Where the termine risk is high or the building type is associated to only a stack, more frequent inspection (3-6 months) should be undertaken. Termines can build mound barriers but they can then be detected more readily during routine inspections.
- 4. No hability is accepted for any instance, failure unless all of comment requirements have been completed and a Certificate of Completion issued.
- This treatment only applies to the protection of the stretcher and detailed on the face of this Certificate against attack by subternaneou termites. It does in the stretcher protection regions any other pestic. In this does not provide any protection regions "driwood termites". FAMILY 8.31.011 PMITTDAIL
- 6 No responsibility is accepted, or warranty implied for any fimber damage that may occur as the result of past, current or future termite acrossy.
- That termine protection program can be branch ineffective due to building alcorations renovalions, additions /including pergotas, awrines, condabs, etc), exerchacing infected materials, distancing external gardens, pathways, etc adjustent to the arciv protected and through establishing lawns &/or garden bed, adjacent to the project order, (Such charges to the property are likely to breach the termite protection barner). Water such changes occur turner treatment is essential. Precautions must be taken to ensure that the feature of not hanaged in any way
- With a concrete slab on condicionant such as unportant that the edge of the slab remains exposed and is not covered up by gard concrete gravil, pine bark or emplar. Also at vents or weep holes must never be blocked.
- 9 Do not use units also conversion garden beds or returning wall as they may attend treaties.
- in the converse of controversy or chain arising out of or relating to this Certificate at will be settled by arbitration, in proordance with the rules of the further of Arbitrator. Automatical and judgements from the further in shall be binding upon both parties.

#### VERY IMPORTANT

to subpletent of this Certificate does not in itself certify that the structure treated overleaf has been protected constitution with AS 3660

and a Completion must be provided confirming this cill elements of the Lemma Treatment Program.

(7) FOR \$13 PTON. The Austrahau Standard AS 5000 Projection of building. Some control to units to any on the duration of a complete termine harder will impede concernents must be buildings. In control to concern a transition of a complete termine harder will impede concernents must easily sub-buildings. In control to concern a transition of a complete termine harder will impede concernents must easily sub-buildings. To control to concern a transition of a complete termine harder will impede concernents to must easily sub-buildings. In control to concern a transition of a complete termine harder will impede concernents to must easily sub-buildings. In control to concern a transition of a complete termine harder will impede concernent to units and the durate of a duration of the concernent buildings.

NOTE	This form is to be used for the purposes of section a sections 32, 35B, 43, 44 and 47 of the <i>Building Regu</i>	
1. Indicate the type of certificate	Inspection Certificate for	907
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single detached clas (indicate the stage) Aspect of building work (indicate the aspect)	es 1a or class 10 building forstructure)
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Regulation 2003</i> for the aspect being certified, e.g. scop waterproofing materials or systems for preventing moist include "wet area sealing to showers".	of work for a waterproofing licence is "install
	Installing HomeGuard termite management systems	
2. Property description The description must identify all land the subject of the application The lot & plan details (eg_SP / RP) are shown on title documents or a rates notice of the plan is not registered by title, provide previous lot and plan details	Street address (includence, street, suburb / locality & postco U 7 - 10 156 Fifucane Rd ALEXANDRA HINLES Lot & plandetails (auach list if necessary) L 40 BUIDDING 3 In which local government area is the land situated? Redlands Shive	Postcode 4161
3. Building/structure description	Building/structure description New House	Class of building / structure

LOCAL GOVERNMENT USE ONLY

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Form 16 continued		
4. Description of component/s certified	HomeGuard Termite Barrier to: Perimeter, Pole F	Plate.
Clearly describe the extent of work covered by his certificate, e.g. all structural aspects of the	leteleting (management and and and and a second state of the second second second second second second second s	
teel roof beams		
		$(\mathcal{O}/\mathcal{S})$
		$(\mathcal{O}_{\mathcal{O}})$
	Not applicable for: Dwellings with a zero bound	dary. Clear visible access of the HomeGuard
	inspection zone can be gained by ladder lookir	ng down during annual inspections which are
	mandatory in order to maintain manufactures v	warranty.
Basis of certification		$\sim (2/3)$
etail the basis for giving the certificate and the	CSIRO Appraisal 216 & 255	
xtent to which tests, specifications, rules, tandaros, codes of practice and other	Building Code of Australia As 3660.1-2000	
publications, were relied upon.		
. Reference documentation		
learly identify any relevant documentation,	BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 20	5, the Development Permit (Building)
g numbered structural engineering plans		
	$\land$	
Building certifier reference number	Building certifier reference number	Development approval number
and development approval number		
Building Certifier, competent person or QBSA licensee details	Name (in full)	
competent person must be assessed as		
ompetent before carrying out the inspection.	Company name if applicable	Contact person
he builder for the work cannot give a stage entities of inspection.	All Purpose Pest Control South East QLD	
competent person is assessed by the	Phone no. business hours Mobile no.	Fax no
uilding certifier for the work as competent to	07 3382 7378	07 3382 0355
ractice in an aspect of the building and pecification design, because of the individual's	Email and ess	
kill, experience and qualifications. The properties of the person must be registered or	jessica@anpurposepest.com.au	
consed under a law applying in the State to	Postal address	
ractice the aspect	Unit 10 / 42 Burnside Road,	
no relevant law requires the individual to be censed or registered, the certifier must assess	KATATA	Postcode 4207
e individual as having appropriate	Licence class	Licence number
xperience, qualifications or skills to be able to ve the help.	Cernite Management Physical & Chemical	PMT-O-11133 (HomeGuard 0020)
f the chief executive issues any guidelines for	BSA License	518431 / 1188012
ssessing a competent person, the building artifier must use the guidelines when	Date approval to inspect received from building certi	
sessing the person	/	
Signature of building certifier,	1	in nabih
competent person or QBSA licensee		
	Signature	Date
ote: A building certifer must sign this form for mporary swimming peol tencing buder action 4 of Schedule A of SDC MP 3 4		18/03/2014
	4 Dow	
$\wedge$ ( $\vee$ )		
$\land$		
	h	
The Building Act 1975 is adm	inistered by	A Queenslan
the Department of Local Gov	ernment and Planning	Governmen

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NOTE	This is to be used for the purposes of section the <i>Building Regulation 2006</i> .	on 10(c) of the Building Act 1975 and/or section 47 of
1. Indicate the type of certificate	Inspection Certificate for	907
	Stage of building	g WOFK (for single detached class a erclass 10 building or
	(indicate the stage)	Practical Completion
	Aspect of buildi	ng work
	(indicate the as	pect)
	QBSA Licensee Aspect Certif Scope of the work Scope of the work covered by the licence class	sunger the Sueensland Building Services Authority
		ed scope of work for a waterproofing licence is "installing ing moisture penetration". An aspect being certified may
	TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD	
	907	
2. Property description		
The description must identify all land the	Street address (include no., street, subjirb / localit	y & postcode)
subject of the application. The lot & plan details (eg. SP / RP) are	ALEXANDRA HILLS OLD	Postcode: 4161
shown on title documents or a rates notice. If the plan is not registered by title, provide	Lot & plan details (Attach hist if necessary)	
previous lot and plan details.		
	RP: 79380	
	In which local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the local government area is the land situation of the land situation of the local government area is the land situation of the local government area is the land situation of the land situation of the local government area is the land situation of the local government area is the land situation of the land situation	ated?
3. Building description	Building description	Class of building / structure
Lift off hinges installed	2 and 1909 of the north	
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	D-)	
$\sum_{i=1}^{n}$		
	Y	
Description of annual solution		
4. Description of compenent's certified Clearly describe the extent of work overed by this certificate, e.g. all structural aspects of the steel roof beams.		TIONS ON ALL DECKS ARE AS PER STANDARD
$\langle \rangle \rangle$		

Form 16 continued		
5. Basis of certification	In accordance with National Construction Code	
Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	AS1720 TIMBER STRUCTURES CODE	
standards, codes of practice and other publications, were relied upon.		
· · ·	AS1684 TIMBER FRAMING CODE	
		(207
6. Reference documentation		
Clearly identify any relevant documentation,		$\wedge$ ( $\vee$ )
e.g. numbered structural engineering plans.		
		(7)
		05
7. Building certifier reference number		
and development approval number	Building certifier reference number	Development approval number
8. Building Certifier or competent person details	Name (in full)	
A competent person must be assessed as	MATTHEW YOURELL	
competent before carrying out the inspection.	Company name if applicable	Contact person
The builder for the work cannot give a stage certificate of inspection.	NEWPORT CONSULTING ENGINEERS	MATTHEW YOURELL
A competent person is assessed by the building certifier for the work as competent to	Phone no. business hours Mobile no. (07) 3252 9822 0490 762 677	Fax no. (07) 3252 9844
practice in an aspect of the building and	Email address	(07) 3232 9044
specification design. because of the individual's skill, experience and qualifications. The	myourell@dnce.com.au	
competent person must be registered or licensed under a law applying in the State to	Postal address	
practice the aspect.	208 CONSTANCE STREET	
If no relevant law requires the individual to be licensed or registered, the certifier must assess	FORTITUDE VALLE	Postcode: 4006
the individual as having appropriate experience, qualifications or skills to be able to	Licence class	Licence number
give the help.	RPEQ	8295
If the chief executive issues any guidelines for assessing a competent person, the building	Date approval to inspect received from building cert	tifier
certifier must use the guidelines when assessing the person	09.06.2014	
9. Signature of building certifier,	Inspection Certificate for stage or aspect	
competent person or QBSA licensee		
$\mathcal{C}$	QBSA Licensee Aspect Certificate	
M	<u>)</u>	
~~~~		censee certificate for the aspect if it complies with the
\sim	requirements for self assessable building worl	k under the Building Regulation 2006 \$44.
2000	Signature	Date
		27/06/14
	yound	
The Building Act 1975 is adminis	tered by the	
Department of Infrastructure and		Queensland Government

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OTE	This form is to be used for the purposes of section 10(c) and 239 of the section 32,35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .		
. Indicate the type of certificate.	Inspection Certificate for Stage of building work - Section 24 (4)		
he stages of assessable building work are sted in section 24 of the Building	Inspection Certificate for Aspect of building work - Shower Scree	en Products	
Regulation 2006 or as conditioned by the building certifier.	QBSA Licensee Aspect Certificate	VDZ	
	Scope of the work Scope of the work covered by the licence class under the Queensland B 2003 for the aspect being certified, eg scope of work for a waterproofing materials or systems for preventing moisture penetration". An aspect be sealing to showers".	uilding Services Authority Regulation licence is installing waterproofing ing certified may include "wet area	
	Supply & fix shower products		
2. Property description	Street address		
The description must identify all land the subject of the application. The lot & plan details(eg. SP / RP) are shown on the title documents or a rates notice.	Sandsky Developments Pty Ltd FINUCANE RD 156 (UNITS 7-10) TJ 0434 688 630 ALEXANDRA HILLS QLD 4161	7	
previous lot and plan details.	Lot & plan details (attach is necessary)		
	In which local government area is the land		
and the second second			
3. Building /structure description	Building/structure description Class of	building/structure Class 1	
4. Description of component/s certified. Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof beams.	Supply & fix showers, mirrors and mirror robe doors.		
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Glazed as per AS1288		
6. Reference documentation Clearly identify any relevant documentation e.g. numbered structural engineering plans			
	Building certifier reference number Developmen	t approval number	
7. Building certifier reference number and development approval number			
8. Building Certifier or competent	Name (in full)		
A competent person must be assessed as	arrying out the inspection Contact person		
competent before carrying out the inspection.			
The builder for the work cannot give a stage certificate of inspection.	BRADNAMS WINDOWS & DOORS		
A competent percentic assessed by the	Phone so business hours Mobile no.	Fax no.	
building certifier for the work as competent to	107) 3131 3777	(07) 3131 3888	
specification design, because of the	mail address		
licensed under a law applying in the State to	brisbanesales@bradnams.com.au		
practice the aspect.	Postal address		
If no relevent law requires the individual to licensed or registered to be able to give the help, the certifier must assess the individual		Postcode 4034	
help, the certifier must assess the movious having appropriate experience, qualifications or skills to be able to give the help.	Licence class Licence number Date approval	to inspect recieved from building of	
If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.			
9. Signature of building certifier, competent person of QBSA licensee Note: A building certifier must sign this forn for temporary swimming pool fencing under section 4 of Schedule 1 of QDC of MP 3.4.	n Signature 19 Paraces.	Date 30/06/14	
LOCAL GOVERNMENT USE ONLY			
Date Received	Reference Number/s	Version March 2	
The Building Act 1975 is administered by Department of Housing and Public Work	the s	Queensla Governme	

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sections 32, 35B, 43, 44 1. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing). QBSA Licc Scope of the work Scope of the work Scope of the work covere Regulation 2003 for the a waterproofing materials o include "wet area sealing	uilding work (for single detached class 1a or class 10 building to structure)	
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	uilding work (for single detached class 1a or class 10 building to structure)	
are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing). QBSA Lice Scope of the work Scope of the work Scope of the work covere <i>Regulation 2003</i> for the a waterproofing materials o include "wet area sealing		
Scope of the work Scope of the work covere Regulation 2003 for the a waterproofing materials o include "wet area sealing	uilding work	
Sustainable Building Op	ed by the licence class under the Queensland Building Services Authority aspect being certified, e.g. scope of work for a waterproofing licence is "installing or systems for preventing moisture penetration". An aspect being certified may to showers".	
	otions and Water Savings Target	
	(907	
2. Property description Street address (Include no The description must identify all land the 156 Building 3 (11) 10	o. street. suburb / locality & postcode)	
subject of the application. The lot & plan details (eg. SP / RP) are	156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS Postcode: 4161	
shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.		
SP:		
In which local governmen Reclard Sity Council	nt area is the land situated?	
3. Building/structure description Building/structure description	tion Class of building / structure	
New Dwelling	1A	
4. Description of component's certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	ures and Rainwater Tanks	
LOCAL GOVERNMENT USE ONLY		

Form	16	continued	
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5. Basis of certification Detail the basis for giving the certificate and the	QDC MP4.1 and 4.2	
extent to which tests, specifications, rules,	In accordance with the National Construction	on Code
standards, codes of practice and other publications, were relied upon.		
		(\checkmark)
6. Reference documentation	Architectural Plans	
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.		
e.g. humbered structural engineering plana.		\sim
		\sim (V2)
7. Building certifier reference number and development approval number	Building certifier reference number	Development approval number
and development approval number		
8. Building Certifier, competent person	51	
or QBSA licensee details	Name (<i>in full</i>) Craig Robert Fitzgerald	
A competent person must be assessed as		
competent before carrying out the inspection.	Company name if applicable	Contact person
The builder for the work cannot give a stage certificate of inspection.	SandSky Developments Pty Ltd	
A competent person is assessed by the	Phone no. business hours Mobile nd	
building certifier for the work as competent to practice in an aspect of the building and	1300 655 210	1300 655 230
specification design, because of the individual's	Email address	
skill, experience and qualifications. The competent person must be registered or		
licensed under a law applying in the State to practice the aspect.	Postal address	
If no relevant law requires the individual to be	PO Box 3353	
licensed or registered, the certifier must assess	Helensvale TC	Postcode 4212
the individual as having appropriate experience, qualifications or skills to be able to	Licence class	Licence number
give the help.	Builders	1014147
If the chief executive issues any guidelines for assessing a competent person, the building	Date approval to inspest received from build	ing certifier
certifier must use the guidelines when		
assessing the person.	$\langle \langle \langle \rangle \rangle$	
9. Signature of building certifier, competent person or QBSA licensee		
Note: A building certifier must sign this form for	Signature	Date
temporary swimming pool fencing under		27/06/2014
section 239(2)(b) of the Building Act 1975.	\times	
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NOTE	This form is to be used for the purposes of section sections 32, 35B, 43, 44 and 47 of the <i>Building Regu</i>			
1. Indicate the type of certificate	Inspection Certificate for	907		
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single detached class (indicate the stage) Aspect of building work (indicate the aspect) Drywall – Interm			
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class unser the Regulation 2003 for the aspect being certified, e.g. score waterproofing materials or systems for preventing moist include "wet area sealing to showers". Drywall Installation THIS IS NOT A FIRE WALL CERT Sound rated walls and ceilings as required in score Certificate of Completion – As required by AWCI (Installation Prevention of the second prevention of the	e of work for a waterproofing licence is "installin we penetration". An aspect being certified may FIFICATE- be of works		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. f the plan is not registered by title, provide previous lot and plan details.	Street address (Inclutiono. street. suburb / locality & postco Lot 156 Finucane Rd, Alexandra Hills Lot & plan details (Atlach list if necessary) Lot 40 In which local government area is the land situated? Regland City Council	ode) Postcode 4161		
3. Building/structure description	Building/structure description	Class of building / structure		
	New Buildings – 10 Units Development	1A		
4. Description of component's certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams	Supply and install 2 layers of Firerated plasterboard insulation to Ground floor units 1, 3, 4, 7 and 8 ceiling			
	Supply and install 1 layer of Firerated plasterboard (16mm FYRCHEK) board with R2.5 insulation to units partiwalls 3 to10			

REFERENCE NUMBER S

DATE RECEIVED

Form 16 continued	
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other	Installed R2.5 insulation and 2-layers of Firerated plasterboard (13mm FYRCHEK) to complete CSR System CSR 814 to achieve required RW (RW+ CTR) 50 (42)
publications, were relied upon.	Installed R2.5 insulation and 1-layer of Firerated plasterboard (16mm FYRCHEK) to both sides of internal Partiwalls to complete CSR System CSR555 achieve required RW (RW-CTR) 55 (46)
	Insulation Installed to AS/NZS4859.1-2002 Wall and Ceiling Materials used on building comply with the BSA specification C1-10a
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans,	CSR System CSR 814 (Acoustic Opinion PKA-056) CSR System CSR555 (Acoustic Opinion PKA-051)
	Approved plans from builder
7. Building certifier reference number	Purchase order from builder Building certifier reference number Development approval number
and development approval number	
8. Building Certifier, competent person or QBSA licensee details	Name (in full)
A competent person must be assessed as competent before carrying out the inspection, The builder for the work cannot give a stage	Company name <i>if applicable</i> CRA Internal Linings Pty Ltd Simon Souris
certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and	Phone no. business hours Mobile no. Fax no. 07 5522 8177 0420 989 811 07 5530 3774
specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or	Email address
licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be	Postal address PO Box 2796 Nerang BC OLD
licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to	Licence class
give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Plastering Drywall 1138960 Date approval to inspect received from building certifier
9. Signature of building certifier, competent person or QBSA licensee	Signature Date
Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.	Sigdathre Date Date Victor Wang 14/05/2014
The Building Act 1975 is adm the Department of Local Gov	

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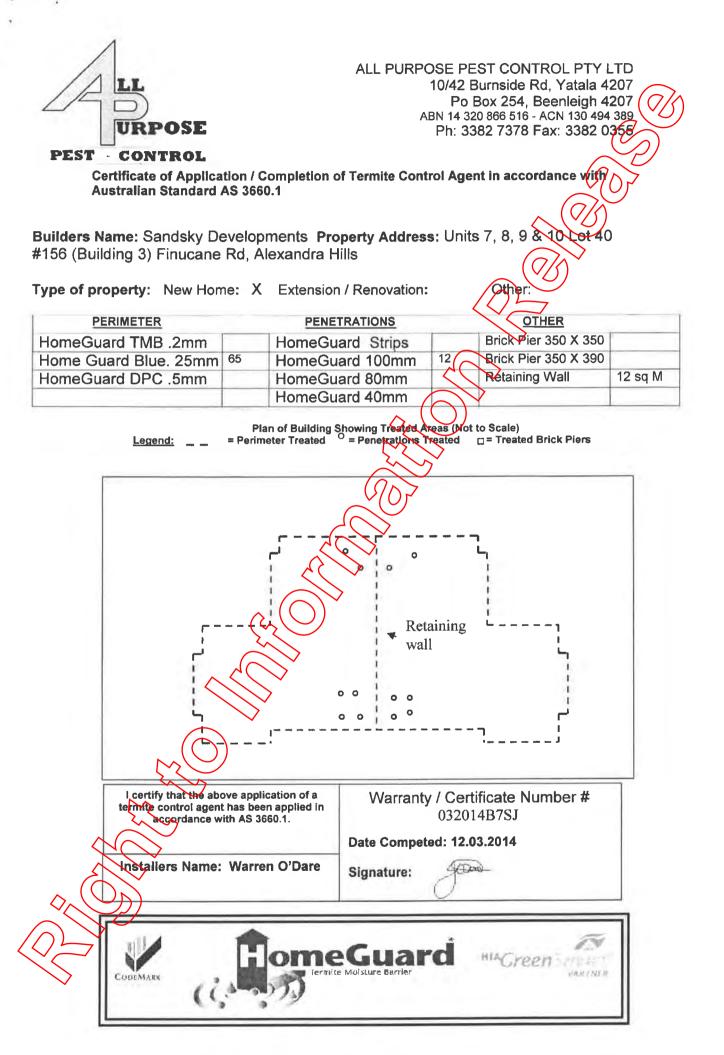
OTE	This form is to be section 32,35B, 43	used for the purpo 3, 44 and 47 of the	ses of section 10(c) a e Building Regulation	2006.	
. Indicate the type of certificate.		Certificate for Sta	ge of building work - S	Section 24 (4)	
he stages of assessable building work are sted in section 24 of the Building tegulation 2006 or as conditioned by the	Inspection	Certificate for Asp	pect of building work -	Shower Screen	Products
uliding certifier.		censee Aspect Ce			5/12
n aspect of building work is part of a stage .g. waterproofing).	Scope of the work Scope of the work 2003 for the aspect materials or system sealing to showers	k covered by the lice of being certified, e ms for preventing r s".	ence class under the g scope of work for a noisture penetration".	Queensland Buildi waterproofing lice An aspect being	ng Services Authority Regulation noe is installing waterproofing certified rindy include "wet area
	Supply & flx s	shower products			
Property description	Street address				<u> </u>
he description must identify all land the ubject of the application. he lot & plan details(eg. SP / RP) are hown on the title documents or a rates otice. the plan is not registered by title, provide	Sandsky Develop FINUCANE RD 1 TJ 0434 688 630 ALEXANDRA HI	oments Pty Ltd 156 (UNITS 7-10) LLS QLD 4161			
previous lot and plan details.	Lot & plan details	(attach is necessa	(עזג		
	In which local 00	vernment area is th	ne land		
	In which lood go		$-(\alpha)$		dia - lateusturo Class 1
3. Building /structure description	Building/structur	e description	House		ding/structure Class 1
 Description of component/s certified. Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof beams. 	Supply & fix s	showers, mirrors	and mirror rebe doo	rs.	
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Glazed as per A	LS1288	507		
6. Reference documentation Clearly identify any relevant documentation e.g. numbered structural engineering plans		A	·		
7. Building certifier reference number		reference number		Development ap	proval number
and development approval number		O			
8. Building Certifier or competent	Name (in full)				
A competent person must be assessed as	DENNIS PAN	SONS			
competent before carrying out the inspection.				Cont	act person
The builder for the work cannot give a stage certificate of inspection.	BRADNAM	S WINDOWS &	DOORS		
the second is accorded by the	Phone no. busin	iess hours	Mobile no.		Fax no.
A competent person is assessed by the building certificer for the work as competent to practise in an aspect of the building and specification design, because of the unstification design, because of the	(07) 3131 3	777			(07) 3131 3888
specification design, because of the individual's skill, experience and qualification	ns. Email address				
specification design, because of the individual's skill, experience and qualification. The competent person must be registered of licensed under a law applying in the State to	brisbanesales@bradnams.com.au				
blactice the ashacr	Postal address				
If no relevent law requires the individual to b licensed or registered to be able to give the help, the certifier must assess the individual a	³ 136 ZILLMERE ROAD ⁴⁵ BOONDALL Postcode 4034				
help, the centrer must assess the individual to having appropriate experience, qualifications or skills to be able to give the help.	Licence class		Licence number	Date approval to i	inspect recieved from building cert
If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when		g & Aluminium	58885		
assessing the person.					Date
9. Signature of building certifier, competent person of QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC of MP 3.4.	Signature	Sta	adel.		30/06/14
LOGAL GOVERNMENT USE ONLY				T	Version 4
Date Received			Reference Number/s		March 2013
The Building Act 1975 is administered by Department of Housing and Public Work	/ the s				Queenslan Governmen

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Lindicate the type of certificate Lindicate the type of certificate Stage of building work (for single detached data & account building or structure) (indicate the stage) Practical Completion Aspect of building work (indicate the aspect) (indicate the aspect) Calls Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certificate gets the Work for a waterpropring licence is installing waterpropring materials or system for preventing releases releases preventing releases preventing re	NOTE	This is to be used for the purposes of section 10 the <i>Building Regulation 2006</i> .	(c) of the Building Act 1975 and/or section 47 of
Building description C. Property description Ban details C. Property description Ban details C. Property description C. Construct ROAD C. Property description C. Construct ROAD C. Construct C. Con	I. Indicate the type of certificate	Inspection Certificate for	(Int
Aspect of building work (indicate the aspect) GBSA Licensee Aspect Certificate Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, agreepe to Work for a waterproofing licence is "installing TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD Street address (include nor inventive and plan details (include "wet area sealing to showers") Street address (include nor inventive and plan details (include "wet area sealing to showers") Street address (include nor inventive and plan details (include "wet area sealing to showers") TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD Street address (include nor inventive and plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers") Lot & plan details (include "wet area sealing to showers")			(for single detached class 1a or class 10 building or
(indicate the aspect) (indicate the aspect) (indicate the aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, egsbage of work for a waterproofing licence is "installing waterproofing materials or systems for preventing the store penetration". An aspect being certified may include "wet area sealing to showers". TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) work / locality & postcode) Street address (Include nor sheet) / locality & postcode) Street address (Include nor sheet) / locality & postcode) Street address (Include nor sheet) / locality & postcode) Street addr			
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A. Description of component's sartified A. Description of component's sartified Clearly describe the when f Work overed by this certificate, e.g. all structural aspects of the			Postcode: 4161
RP: 70330 In which local dovernment area is the land situated? RED(ZND SITY COUNCIL Building description Lift off hinges installed			
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Clearly describe the extent of work covered by his certificate, e.g. all structural aspects of the	M		
	Clearly describe the extent of work covered by his certificate, e.g. all structural aspects of the	TIMBER BEAM TO STEEL POST CONNECTIONS	ON ALL DECKS ARE AS PER STANDARD
	$Q_{n}(O_{n})$		
	\checkmark		
	LOCAL GOVERNMENT USE ONLY		Approved form

Form 16 continued		
5. Basis of certification	In accordance with National Construction	Code
Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	AS1720 TIMBER STRUCTURES CODE	
standards, codes of practice and other publications, were relied upon.	AS1684 TIMBER FRAMING CODE	
	AS1084 TIMBER FRAMIING CODE	
		(207
C. Defension de sum estation	<u>-</u>	
6. Reference documentation Clearly identify any relevant documentation,		$\sim (\%)$
e.g. numbered structural engineering plans.		
		(OIA)
		\sim
7. Building certifier reference number and development approval number	Building certifier reference number	Development approval number
8. Building Certifier or competent	Name (in full)	
person details	MATTHEW YOURELL	
A competent person must be assessed as competent before carrying out the inspection.	Company name if applicable	Contact person
The builder for the work cannot give a stage	NEWPORT CONSULTING ENGINEERS	
certificate of inspection. A competent person is assessed by the	Phone no. business hours Mobile n	
building certifier for the work as competent to	(07) 3252 9822	0 2 677 (07) 3252 9844
practice in an aspect of the building and specification design, because of the individual's	Email address	
skill, experience and qualifications. The competent person must be registered or	myourell@dnce.com.au	
licensed under a law applying in the State to	Postal address	
practice the aspect. If no relevant law requires the individual to be	208 CONSTANCE STREET	
licensed or registered, the certifier must assess the individual as having appropriate	FORTITUDE VALLEY	Postcode: 4006
experience, qualifications or skills to be able to	Licence class	Licence number
give the help. If the chief executive issues any guidelines for	RPEQ	8295
assessing a competent person, the building	Date approval to inspect received from build	ding certifier
certifier must use the guidelines when assessing the person.	09.06.2614	
9. Signature of building certifier,	Inspection Certificate for stage or a	aspect
competent person or QBSA licensee		
	QBSA Licensee Aspect Certificate	
(C		
\sim		
2	A person who may under s43 give a	QBSA licensee certificate for the aspect if it complies with the
\sim 1	requirements for self assessable build	ding work under the <i>Building Regulation</i> 2006 s44.
2~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		Dete
	Signature	Date
	yourse	2//00/14
	/	
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\vee		
The Building Act 1975 is adminis		Queensland Government
Department of Infrastructure and	J Planning	Department of Infrastructure and Planning

Page 118 of 490



Terms and Conditions

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Certificate is made solely for the berefit the owner/builder named on the face of this Certificate and no liability or responsibility whatseen accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting relying on this Certificate whether in whole or in part does so at their own risk.

- 1 A Termite Protection Program is dependent upon the provision of a complete, treated for the around the structure(s) using approved Termite Control Agents. If this treated soil berter we any way disturbed then re-entry by subterranean termites is possible.
- 2. With Pre-Construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS 3660.1 before the treatment is constructed.
- 3. The Australian Standard AS 3660 highly recommends inspections at now as new exceeding 12 months. Where the termite risk is high or the building type is susceptible to termite attack, more frequent inspection (3-6 months) should be undertaken. Termites can build around barriers but they can then be detected more readily during routine inspections.
- 4. No liability is accepted for any treatment failure unless all he reatment requirements have been completed and a Certificate of Completion issued
- 5. This treatment only applies to the protection of the supervises) a detailed on the face of this Certificate against attack by subterranean termites. It does an accorde for protection against any other pesus. In particular it does not provide any protection against 'drywood termites', FAMILY: KALOTERMITIDAE.
- 6. No responsibility is accepted, or warranty implied for any timber damage that may occur as the result of past, current or future termite accessity
- 7. This termine protection program can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awarnes, secondahs, etc), introducing infested materials, disturbing external gardens, pathways, etc adjacent to the areas protected and through establishing lawns &/or garden beds adjacent to the proceed areas. (Such changes to the property are likely to breach the termite protection barrier). Where we changes occur further treatment is essential. Precautions must be taken to ensure that the coll base is not damaged in any way.
- 8. With a concrete slab on ground syncture it is important that the edge of the slab remains exposed and is not covered up by gaden meetials of soil, pine bark or similar. Also air vents or weep holes must never be blocked.
- 9 Do not use untreated timbers for garden beds or retaining walls as they may attract termites.
- 10 In the event of any controversy or claim arising out of, or relating to this Certificate, it will be settled by arbitration, it accordance with the rules of the Institute of Arbitrators Australia. Any judgements from some shall be binding upon both parties.

VERY IMPORTANT

The completion of this Certificate does not in itself certify that the structure treated overleaf has been protected in compliance with AS 3660.

erviticate of Completion must be provided confirming that all elements of the Termite Treatment Program scored with AS 3660 have been completed.

DEPORT INT INFORMATION: The Australian Standard AS 3660 Protection of buildings from subternaneon termites provines details for minimising the risks to buildings from termite attack, and methods for treatment to control termite prestations. The provision of a complete termite barrier will impede concealed tenaite only into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during coatine inspection.

NOTE	This form is to be used for the purposes of section 10 sections 32, 35B, 43, 44 and 47 of the <i>Building Regula</i>	(c) and 239 of the Building Act 1975 and lor tion 2006.
1. Indicate the type of certificate	Inspection Certificate for	907
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single detached class (indicate the stage) Aspect of building work (indicate the aspect)	1a or class 10 building or structure)
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Regulation 2003</i> for the aspect being certified, e.g. scope waterproofing materials or systems for preventing moistur include "wet area sealing to showers".	of work for a waterproofing licence is "installin
 Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details. 	Street address (Inclure no. street, suburb / locality & postcod U 7 - 10 156 Figure Rd ALEXANDRA FRDLS Lot & plan details (Arach list if necessary) L 40 BUILDING 3 In which local dovernment area is the land situated? Reclards Store	Postcode 4161
3. Building/structure description	Building/structure description New House	Class of building / structure

LOCAL GOVERNMENT USE ONLY

Description of component/s certified	HomeGuard Termite Barrier to: Perimeter, Pol	e Plate,	
learly describe the extent of work covered by is certificate, e.g. all structural aspects of the			
eel roof beams.			
			(q)
	Not applicable for: Dwellings with a zero bou	Indary, Clear visi	ble access of the HomeGuard
	inspection zone can be gained by ladder loo	king down durin	g annual inspections which ar
	mandatory in order to maintain manufacture	s warranty.	007
Basis of certification			(7)
etail the basis for giving the certificate and the	CSIRO Appraisal 216 & 255		$\langle \langle 0 \rangle$
tent to which tests, specifications, rules,	Building Code of Australia As 3660.1-2000	alain ann an an Stain ann an Stain an St	na na manana na manan
andards, codes of practice and other iblications, were relied upon.			
			$\langle O \rangle$
		(n)	
Reference documentation	BCA, A S 3660.1-2000 CSIRO Appraisal 216 &	255 the Develop	ment Permit (Building)
early identify any relevant documentation, g. numbered structural engineering plans.	BCA, A 5 3000. 1-2000 COIRO Appraisai 210 &		noner onne (bonon9)
ש. השהושפופט שעטנעומו פונשווופטוווש אמוש.		\sum	
	6	γ	
))	***************************************
Building certifier reference number	Building certifier reference number	Development	approval number
and development approval number			
	(907	4	
Building Certifier, competent person	Name (in full)		
or QBSA licensee details			
competent person must be assessed as pompetent before carrying out the inspection.	Company name if applicable	Contact p	erson
he builder for the work cannot give a stage	All Purpose Pest Control South East QL		
ertificate of inspection	Phone no. business books Mobile no.		Fax no.
competent person is assessed by the uilding certifier for the work as competent to	07 3382 73/8		07 3382 0355
ractice in an aspect of the building and			
pecification design, because of the individual's kill, experience and qualifications. The	Email address		
ompetent person must be registered or	jessica@allpurposepest.com.au		
censed under a law applying in the State to ractice the aspect.	Postal address		
no relevant law requires the individual to be	Unit 10/42 Burnside Road,		
censed or registered, the certifier must assess	YATAYA	***************************************	Postcode 4207
e individual as having appropriate xperience, qualifications or skills to be able to	Licence class	Licence numb	er
ve the help.	Vermite Management Physical & Chemical		3 (HomeGuard 0020)
the chief executive issues any guidelines for	BSA License 518431 / 1188012		•
ssessing a competent person, the building ertifier must use the guidelines when	Date approval to inspect received from building		
ssessing the person.			
Signature of building certifier, competent person or QBSA licensee			
ote: A building certifier must sign this form for	Signature	C	late
mporary swimming pool fencing under			18/03/2014
ection 4 of Schedule 1 of QQC MP 3.4.	AFTIN		
$(\cap) \ge \vee$			

The Building Act 1975 is administered by the Department of Local Government and Planning

NOTE	This form is to be used for the purposes of sec sections 32, 35B, 43, 44 and 47 of the <i>Building</i>	ction 10(c) and 239 of the Building Act (1975 and/o Regulation 2006.		
1. Indicate the type of certificate	Inspection Certificate for			
The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.	Stage of building work (for single detact (indicate the stage)	ned class 1a or class 10 building or spusture		
An aspect of building work is part of a stage (e.g. waterproofing).	Aspect of building work (indicate the aspect)			
	QBSA Licensee Aspect Certificat Scope of the work Scope of the work covered by the licence class up Regulation 2003 for the aspect being certified, as waterproofing materials or systems for preventing include "wet area sealing to showers".	\sim		
	Install Metal Roof Sheeting,			
	Install Fascia & Gutter			
	Install Flashings			
	(907			
2. Property description The description must identify all land the	Street address (Include no. street, suburb / locality &	postcode)		
subject of the application.	Lot 40 /156 Finucate Read, Building 3			
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	Alexandra Hills	Postcode 4161		
If the plan is not registered by title, provide	Lot & plan details (Atlach list if necessary)			
previous lot and plan details.				
	In which losa povernment area is the land situated?			
	Alborne			
3. Building/structure description	Building/structure description	Class of building / structure		
	RESIDENTAL	CLASS 1A		
(C				
M	<u> </u>			
2 m				
M				
4. Description of somponentis certified	Custom Orb Roof Sheet			
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the	Metal Fascia and Gutter			
steel roof bearry.	Metal Battens			
	Apron Flashings, Barge and Parpet Capping Colorbond Steel			
	Apron ribanings, barge and rapper capping coloridated			

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Form to communed		
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	In Accordance with A.S 1562.1	
standards, codes of practice and other publications, were relied upon.		
6. Reference documentation Clearly identify any relevant documentation, e.g_numbered structural engineering plans.		107
 Building certifier reference number and development approval number 	Building certifier reference number D	evelopment seproval number
8. Building Certifier, competent person or QBSA licensee details	Name (<i>in full</i>) Steven Wyndham	
A competent person must be assessed as competent before carrying out the inspection.	Company name <i>if applicable</i>	Contact person
The builder for the work cannot give a stage certificate of inspection.	Wyndham Metal Roofing	Steven wyndham
A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and	Phone no. business hours Mobile ng. 07 5563 2621 0421 67 255	Fax no. 07 5563 2631
specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or	Email address admin@wmroofing.com.au	
licensed under a law applying in the State to practice the aspect.	Postal address Unit 9/14 Activity Crescent,	
If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate	Molendinar	Postcode 4214
experience, qualifications or skills to be able to give the help.		cence number 1100181
If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Date approval to inspect received from building certifie	er
9. Signature of building certifier, competent person or QBSA licensee	(hz)	Date
Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.	Signature	27/06/2014
M	$\mathbf{\mathcal{D}}$	
0,00		
$\langle \rangle \rangle \rangle$		

Version 4 - March 2013

NOTE	This form is to be used for the purposes of section 10(c) and sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation</i> 20	d 239 of the <i>Building Act</i> 197 5 a nd/or 006.
. Indicate the type of certificate	Inspection Certificate for	107
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single detached class 1a or cla (indicate the stage) Aspect of building work (indicate the aspect)	ass 10/building of structure)
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the license class under the Queern Regulation 2003 for the aspect being certified, e.g. scope of work waterproofing materials or systems for preventing moleture pene include "wet area sealing to showers".	k for a waterproofing license is "installing
	INSTALLATION OF INSULATION TO WALLS AND CEILINGS	
	907	
 2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details. 	Street address (Include no., street, suburb / locality & postcode) LOT 40 FINUCAN ROAD - BLD 3 - UNITS 7, 8, 9 & 10 ALEXANDRA HILLS	
	Lot & plac details (Attach list if necessary)	
	An which local government area is the land situated?	
3. Building/structure description	Building/structure description	Class of building / structure
	A single dwelling being a detached house or one or	1A
	more attached dwellings	
	2	
LOCAL GOVERNMENT USE ONLY		
DATE RECEIVED	REFERENCE NUMBER/S	
The <i>Building Act 1975</i> is Department of Housing		Queensland Government

		and the second
1 Description of a survey with a settle of		
4. Description of component/s certified Clearly describe the extent of work covered by		
this certificate, e.g. all structural aspects of the steel roof beams.		
	VAPOUR PERM, WRAP TO EX	TERNAL WALLS INCLUDING GABLES
	R1.5 INSULATION BATTS TO E	
		INTERNAL WALLS AS PER PLAN
	14kg – 75 mm INSULATION TO	
	R2.5 INSULATION TO CEILING	
		S BETWEEN UNITS AS PER PLAN
6. Reference documentation	The above product meets the curren	t BCA, Australian Standards AS/NZS 4859.1
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.		10-
7. Building certifier reference number and development approval number	Building certifier reference number	Development approval number
and development approval number		
8. Building Certifier, competent person	Name (in full)	
or QBSA licensee details	ACCESS INSULATION PTY LTD	
A competent person must be assessed as competent before carrying out the inspection.	Company name if applicable	Contact person
The builder for the work cannot give a stage	Access Insulation Pty Ltd	David Comerford (Director)
certificate of inspection. A competent person is assessed by the		Fax no.
building certifier for the work as competent to practice in an aspect of the building and	07 3809 0000	8 222 377 07 3809 0777
specification design, because of the individual's	Email address	
skill, experience and qualifications. The competent person must be registered or	info@accessinsulation.com.au	
licensed under a law applying in the State to practice the aspect.	Postal address	
If no relevant law requires the individual to be licensed or registered, the certifier must assess	BROWNS PLAINS	Postcode 4118
the individual as having appropriate		
experience, qualifications or skills to be able to give the help.	Licence class	Licence number BSA 743951
If the chief executive issues any guidelines for	Installation	
assessing a competent person, the building certifier must use the guidelines when	Date approval to inspect received from b	building certifier
assessing the person.		
9. Signature of building certifier,		
competent person or QBSA licensee Note: A building certifier must sign this form for	Signature	Date
temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.		
		09/04/2014
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\square		in this a
The Building Act 1975 is	administered by the	Queenslan
Department of Housing	and Public Works	Governmen

Page 126 of 490

NOTE	This form is to be used for the purposes of section 1 sections 32, 35B, 43, 44 and 47 of the <i>Building Regu</i>	
. Indicate the type of certificate	Inspection Certificate for	(TDF
he stages of assessable building work re listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the uilding certifier. In aspect of building work is part of a tage (e.g. waterproofing).	Stage of building work (for single detached class (indicate the stage) Aspect of building work (indicate the aspect) Drywall – Interna	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Regulation 2003</i> for the aspect being certified, e.g. scop waterproofing materials or systems for preventing moist include "wet area sealing to showers".	e of work for a waterproofing licence is "insta pe penetration". An aspect being certified m
	Drywall Installation THIS IS NOT A FIRE WALL CERTIFICATE-	
	Sound rated walls and ceilings as required in scope of works	
	Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)	
Property description the description must identify all land the ubject of the application. The lot & plan details (eg. SP / RP) are hown on title documents or a rates notice. If the plan is not registered by title, provide revious lot and plan details.	Street address (Include no. street, suburb / locality & postco Lot 156 Finucane Ro, Alexandra Hills Lot & plat details (Attach list if necessary) Lot 40 In which local government area is the land situated? Redland City Council	de) Postcode 4161
		Class of building / structure
Building/structure description	Building/structure description New Buildings – 10 Units Development	
4. Description of components certified Clearly describe the extent of work covered by his certificate, e.g. all structural aspects of the steel roof beams	Supply and install 2 layers of Firerated plasterboard insulation to Ground floor units 1, 3, 4, 7 and 8 ceiling	
	Supply and install 1 layer of Firerated plasterboard (* insulation to units partiwalls 3 to10	16mm FYRCHEK) board with R2.5

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Form 16 continued	
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other	Installed R2.5 insulation and 2-layers of Firerated plasterboard (13mm FYRCHEK) to complete CSR System CSR 814 to achieve required RW (RW+ CTR) 50 (42)
publications, were relied upon.	Installed R2.5 insulation and 1-layer of Firerated plasterboard (16mm FYRCHEK) to both sides of internal Partiwalls to complete CSR System CSR555 achieve required RW (FW+CLR) 55 (46) Insulation Installed to AS/NZS4859.1-2002 Wall and Ceiling Materials used on building comply with the BSA specification C1 10a
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	CSR System CSR 814 (Acoustic Opinion PKA-056) CSR System CSR555 (Acoustic Opinion PKA-051) Approved plans from builder Purchase order from builder
7. Building certifier reference number and development approval number	Building certifier reference number Development approval number
 8. Building Certifier, competent person or QBSA licensee details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage 	Name (in full) Company name if applicable CRA Internal Linings Pty Ltd Simon Souris
certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to	Phone no. <i>business hours</i> 07 5522 8177 Email address info@crainternallinings.com.at Postal address
practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	PO Box 2796 Nerang BC OLD Postcode 4211 Licence class Licence class Licence number 1138960 Date approva to inspect received from building certifier
 Signature of building certifier, competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4. 	Signature Date Victor Wang 14/05/2014
The <i>Building Act 1975</i> is adr the Department of Local Go	

NOTE	This is to be used for the purposes of section the <i>Building Regulation</i> 2006.	10(c) of the Building Act 1975 and/or section 47 of	
I. Indicate the type of certificate	Inspection Certificate for	(ID-7	
	Stage of building w structure) (indicate the stage)	NORK (for single detached class to or class 10 building or	
	Aspect of building (indicate the aspe	\sim	
	Regulation 2003 for the aspect being certified, eg	ate oder the Queensland Building Services Authority scope of work for a waterproofing licence is "installing moisture penetration". An aspect being certified may	
	80% Energy Efficient Lighting		
	Installed and tested to A.S. 3786		
	(107		
. Property description he description must identify all land the ubject of the application.	Street address (Include nor, street, subjirb / locality & postcode) 156 Building 3 (U7-10), Finecane Road ALEXANDRA HILLS		
he lot & plan details (eg. SP / RP) are hown on title documents or a rates notice.	Postcode: 4161		
the plan is not registered by title, provide revious lot and plan details.	Lot & plan details (Altach list if necessary) Lot: 40 SP:		
	In which local government area is the land situated?		
	Redland City Council		
. Building description	Building description	Class of building / structure	
	Dwelling	1a	
((
M			
\sim	5		
M			
. Description of component's serviced learly describe the extent of work covered by his certificate, e.g. all structural aspects of the	80% Energy Efficient Lighting		
teel roof beams.	Installed and tested to A.S. 3786		
\wedge	1		

Form	16	continued
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1 OINI TO CONTINUCU		
5. Basis of certification	Building was constructed as per Energy Efficiency Report	1
Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	In accordance with the National Construction Code	
standards, codes of practice and other publications, were relied upon.		
publications, were relied upon.		$(\sqrt{3})$
		$-(\checkmark)$
6. Reference documentation		
Clearly identify any relevant documentation,		
e.g. numbered structural engineering plans.		\langle / \rangle
7. Building certifier reference number	Building certifier reference number Development approval	number
and development approval number		
8. Building Certifier or competent	Name (in full)	
person details	Craig Robert Fitzgerald	
A competent person must be assessed as competent before carrying out the inspection.	Company name if applicable	
The builder for the work cannot give a stage	SandSky Developments Pty Ltd 🔨 () Lauren Threlfall	
certificate of inspection.	Phone no. business hours Mobile no. Fax r	10.
A competent person is assessed by the building certifier for the work as competent to		0 655 230
practice in an aspect of the building and	Email address	
specification design, because of the individual's skill, experience and qualifications. The	admin@sandsky.com.au	
competent person must be registered or	Postal address	
licensed under a law applying in the State to practice the aspect.	PO BOX 3353	
If no relevant law requires the individual to be		stcode: 4212.
licensed or registered, the certifier must assess the individual as having appropriate		acoue. 4212.
experience, qualifications or skills to be able to	Licence class	
give the help.	Builders 1014147	
If the chief executive issues any guidelines for assessing a competent person, the building	Date approval to inspect received from building certifier	
certifier must use the guidelines when assessing the person.		
9. Signature of building certifier, competent person or QBSA licensee	pspection Certificate for stage or aspect	
	QBSA Licensee Aspect Certificate	
$(\epsilon$		
M	A person who may under s43 give a QBSA licensee certificate for the	aspect if it complies with the
	requirements for self assessable building work under the Building Reg	julation 2000 544.
\sim		
Salar I	Signature Date	
	27/06/20	14
$\langle \langle \rangle \rangle$		
10		
\sim		
\rightarrow		
The Building Act 1975 is admini Department of Infrastructure and	d Disposing	sland Government
Department of initastructure diff	Department of De	of Infrastructure and Planning

OTE	This is to be used for the purposes of section the <i>Building Regulation</i> 2006.	10(c) of the Building Act 1975 and or section 47 c
Indicate the type of certificate	Inspection Certificate for	
	Stage of building v	vork (for single detached class a ecclass 49 building or
	(indicate the stage)	
	Aspect of building	work
	(indicate the aspe	ct) Electridal
	Regulation 2003 for the aspect being certified, eg	nder the Queensland Building Services Authority recove of work for a waterproofing licence is "installing moisture penetration". An aspect being certified ma
	Smoke Detectors x 2	
	80% Energy Efficient Lighting	
	Installed and tested to A.S. 3766	
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	Street address (Include of steet, suburb / locality & 156 Building 3 (U7-10), Finucane Road ALEXA	
the plan is not registered by title, provide revious lot and plan details.	Lot & plan de airs (Attach list if necessary)	
	SP:	
	In which local government area is the land situated?	
	Redhand-City Council	
		Close of building (structure
Building description	Building description	Class of building / structure
$\sum_{i=1}^{n}$		
M		
2 m		
$\langle \langle \rangle \rangle$		
Description of component/s certified		
early describe the extent of work covered by s certificate, e.s. all structural aspects of the		
eel roof beams.	80% Energy Efficient Lighting	
	Installed and tested to A.S. 3786	
$\langle \rangle$		

5. Basis of certification		
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	In accordance with the National Construction Code	
5. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.		
7. Building certifier reference number		nt approval number
and development approval number	Building certifier reference number Developme	
8. Building Certifier or competent person details A competent person must be assessed as	Name (in full) A & N Contracts	•
competent before carrying out the inspection. The builder for the work cannot give a stage pertificate of inspection.	A & N Electrical Andre	t person w Brown
A competent person is assessed by the uilding certifier for the work as competent to rractice in an aspect of the building and pecification design, because of the individual's kill, experience and qualifications. The competent person must be registered or censed under a law applying in the State to	Phone no. <i>business hours</i> 5596 6221 Email address andrew@ancontracts.com.au Postal address	Fax no. 5596 6516
Aractice the aspect. If no relevant law requires the individual to be icensed or registered, the certifier must assess he individual as having appropriate experience, qualifications or skills to be able to	PO BOX 425 Nerang Licence class	Postcode: 4221
the help. f the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Electrical Contractors 666639 Date approval to inspect received from building certifier	
 Signature of building certifier, competent person or QBSA licensee 	Inspection Certificate for stage or aspect QBSA Licensee Aspect Certificate	
EZ C	A person who may under s43 give a QBSA licensee certific requirements for self assessable building work under the E	cate for the aspect if it complies with Building Regulation 2006 s44.
	Signature	Date

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Queensland Government Department of Infrastructure and Planning

Version 4 – March 2013 Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect

Certificat	8	(Q/s)
NOTE	This form is to be used for the purposes of section 10(c) and 239 sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	of the Building Act 1975 and/or
 Indicate the type of certificate The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing). 	Inspection Certificate for Stage of building work (for single detached class 1a or class 10 (indicate the stage) Aspect of building work (indicate the aspect) WATERPROOFING	building on (structure)
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queersland Regulation 2003 for the aspect being certified, e.g. scope of work for waterproofing materials or systems for preventing moisture penetration include "wet area sealing to showers". Waterproofing to 4 Shower Trays Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, M Balconies	a waterproofing licence is "installing on". An aspect being certified may
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (include no. street, suburb / locality & postcode) Lot 40, 156 Building 3 (VZ-10) Finucane Road Alexandra Hills Lot & plan betaks (Attack list if necessary) In which local government area is the land situated?	Postcode
3. Building/structure description	Building/structure description Bwelling	Class of building / structure
LOCAL GOVERNMENT USE ONLY DATE RECEIVED	REFERENCE NUMBER/S	
The <i>Building Act 1975</i> is Department of Housing		Queensland Government

and the second second		A DE CONTRACTOR	3
A Description of a second second second second			
4. Description of component/s certified Clearly describe the extent of work covered by	Waterproofing to 4 Shower Trays		
this certificate, e.g. all structural aspects of the steel roof beams.	Wet Area Perimeter Flashing & Floor	Areas to Bathroom, Ensuite, WC & Laundry	
	Balconies		(\checkmark)
			R
			(\mathcal{O})
			2.
		(<i>y</i>	$\left(O \right)^{2}$
5. Basis of certification			
Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	In accordance with A.S. 3740, A.S. 44	858 and A.S. 4654 parts 1 & 2	
standards, codes of practice and other	B.C.A. 2006 3.8.1.1.		
publications, were relied upon.		$(\overline{O}/\overline{O})^{\vee}$	
		05	
6. Reference documentation		\rightarrow	
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.			
		$\mathcal{O}(\mathbb{O})$	
7. Building certifier reference number	Puilding confider reference number	Development approval number	
and development approval number	Building certifier reference number		
8. Building Certifier, competent person	Name (in full)	(07	
or QBSA licensee details A competent person must be assessed as	Paul Cain	×	
competent before carrying out the inspection.	Company name if applicable	Contact person	
The builder for the work cannot give a stage certificate of inspection.	P C WATERPROOFING SERVICES	Paul Cain	
A competent person is assessed by the		bile no. Fax no.	
building certifier for the work as competent to practice in an aspect of the building and		407119950	
specification design, because of the individual's	Email address		
skill, experience and qualifications. The competent person must be registered or	pcwaterproofing@outlook.com		
licensed under a law applying in the State to	Postal address		
practice the aspect. If no relevant law requires the individual to be	128 Cabarita Road		
licensed or registered, the certifier must assess	Gabarita Beach, NSW	Postcode 24	88
the individual as having appropriate experience, qualifications or skills to be able to	Licence class	Licence number	
give the help.	Waterproofing	1258436	
If the chief executive issues any guidelines for assessing a competent person, the building	Date approval to inspect received from	n building certifier	
certifier must use the guidelines when assessing the person.	×		
9. Signature of building certifier,	9		
competent person or QBSA licensee		Date	
Note: A building certifier must sign this form for	Signature	12/5/14	
temporary swimming peol teacing under section 4 of Schedule 1 of GDC MP 3.4.	p.ul ,	12014	
(O)			
$\langle \rangle \rangle$			
		*治健居	
The Building Act 1975 is	s administered by the		Queensland
Department of Housing	and Public Works	King (Government
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Version 4 - March 2013
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Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect

Certificat		
NOTE	This form is to be used for the purposes sections 32, 35B, 43, 44 and 47 of the <i>Bu</i>	of section 10(c) and 239 of the <i>Building Act</i> 1975 and/o <i>iilding Regulation 2006</i> .
1. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	(indicate the stage) Aspect of building work (indicate the aspect) BI QBSA Licensee Aspect Cel Scope of the work Scope of the work covered by the licence of Regulation 2003 for the aspect being certified waterproofing materials or systems for previ include "wet area sealing to showers". I hereby certify that we have set ou construction at the below mentioner plans supplied and instructed by Sa The set out has been placed and mentioner plans supplied and instructed by Sa The set out has been placed and mentioner we accept no responsibility for any misprints or discrepancies in the builts	ass under the Queensland Building Services Authority ed. e.g. scope of work for a waterproofing licence is "installing enting moisture penetration". An aspect being certified may at the footings for the buildings under disite in accordance with the site and building andsky Developments on 12/02/2014. harked exclusively for the alignment of the ound floor of the proposed dwelling. construction works in relation to mistakes, uilding plans. checked by the builder for any signs of
2. Property description The description must identify all land the subject of the application. The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (Include no., street, suburb / loc 156 Finucane Road ALEXANDRA HILLS OLD Lot & plan details (Attach list if necessary) Lot 40 on RP79330 In which local government area is the land s Brisbane City Council	Postcode 4161 situated?
3. Building/structure description	Building/structure description Triplex	Class of building / structure
LOCAL GOVERNMENT USE ONLY	REFE	RENCE NUMBER/S
The <i>Building Act 1975</i> is Department of Housing a		Queensland Governmen

4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Building set out in relation to setbacks to boundaries & building footprint.
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	In accordance with Architectural Building Plans;
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	John Marsson & Associates Pty Ltd, Building Plans for Job # 12-08 Revision: A (Our Job # 7061)
7. Building certifier reference number and development approval number	Building certifier reference number Development approval number
 8. Building Certifier, competent person or QBSA licensee details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier, competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4. 	Name (in full) Andrew Vincent Corfield Company name if applicable Contact person All Points Surveys Pty Ltd Andrew Corfield Phone no. business hours Mobile no Fax no. 0426 487 928
A A A A A A A A A A A A A A A A A A A	
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Version 3 - March 2013

Form 15—Compliance Certificate for building Design or Specification

NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 46 of Building Regulation 2006.
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about wheth building work complies with the BCA or a provision of the QDC. A building certifier (Class B) c not give a certificate regarding QDC boundary clearance and site cover provisions.
1. Property description This section need only be completed if	Street address (include no., street, suburb / locality & postcode)
letails of street address and property description are applicable.	ALEXANDRA HILLS Postcode
G. In the case of (standard/generic)	Lot & plan details (attach list if necessary)
ool design/shell manufacture and/or atio and carport systems this section	
nay not be applicable.	In which local government area is the land situated?
he description must identify all land the ubject of the application.	
he lot & plan details (e.g. SP / RP) are nown on title documents or a rates notice.	\sim
the plan is not registered by title, provide revious lot and plan details	
. Description of component/s certified learly describe the extent of work covered by	TIMBER ROOF TRUSS SYSTEM - Supply only
his certificate, e.g. all structural aspects of the teel roof beams.	All products are to be installed, fixed and braced in accordance with the specification published by
	Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004
	General Property Design Details
	Wind Class : N2 Truss Centres : 600mm
	Roof Material : Metal Sheet Roof Pitch : 7.5 Deg
	Ceiling Material : 10mm Supa Ceil Direct
. Basis of certification	The prefabricated timber roof trusses supplied to property are manufactured and designed under
etail the basis for giving the certificate and the tent to which tests, specifications, rules,	licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design
andards, codes of practice and other iblications, were relied upon.	software programs. The roof truss design assumes the supporting structure is stable in its own
	right before the installation of the roof trusses.
	Alk designed trusses and roof members utilize the following codes:
	As/NZS1770.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS/NZS1720.1-2010 AS1649-2001
. Reference documentation	ROOF TRUSS LAYOUTS
early identify any relevant documentation, g. numbered structural engineering plans.	
	TIE DOWN REPORT
	BUILDING AUTHORITY ROOF TRUSS CERTIFICATION
	All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated
	Trusses
	1103555
$- \phi_{A}(O_{A})$	
OCAL COVERNMENT USE ONLY	
Date received	Reference Number/s
15	
The Building Act 1975 is a	administered by the
Department of Housing a	

1	Building certifier reference number
	(γ)
6. Competent person details	
competent person for building work, means a	Name (in full) Leigh Walker
erson who is assessed by the building certifier or the work as competent to practice in an	
spect of the building and specification design,	Company name (<i>if applicable</i>) Contact person
of the building work because of the individual's skill, experience and qualifications in the	TRUSSCORP PTY LTD Jason Cochrane
spect. The competent person must also be	Phone no. business hours Mobile no.
egistered or licensed under a law applying in he State to practice the aspect.	(07) 33819566
f no relevant law requires the individual to be	Email address
icensed or registered to be able to give the	sales@trusscorp.com.au
help, the certifier must assess the individual as having appropriate experience, qualifications or	Postal address
skills to be able to give the help.	P.O Box 6194
f the chief executive issues any guidelines for	Yatala Postcode 4207
assessing a competent person, the building certifier must use the guidelines when	Licence or registration number (<i>if applicable</i>)
assessing the person.	
7. Signature of competent person	Signature Date
This certificate must be signed by the individual	
assessed by the building certifier as competent.	07 huns 2014
	27 June 2014
K.	

Department of Housing and Public Works



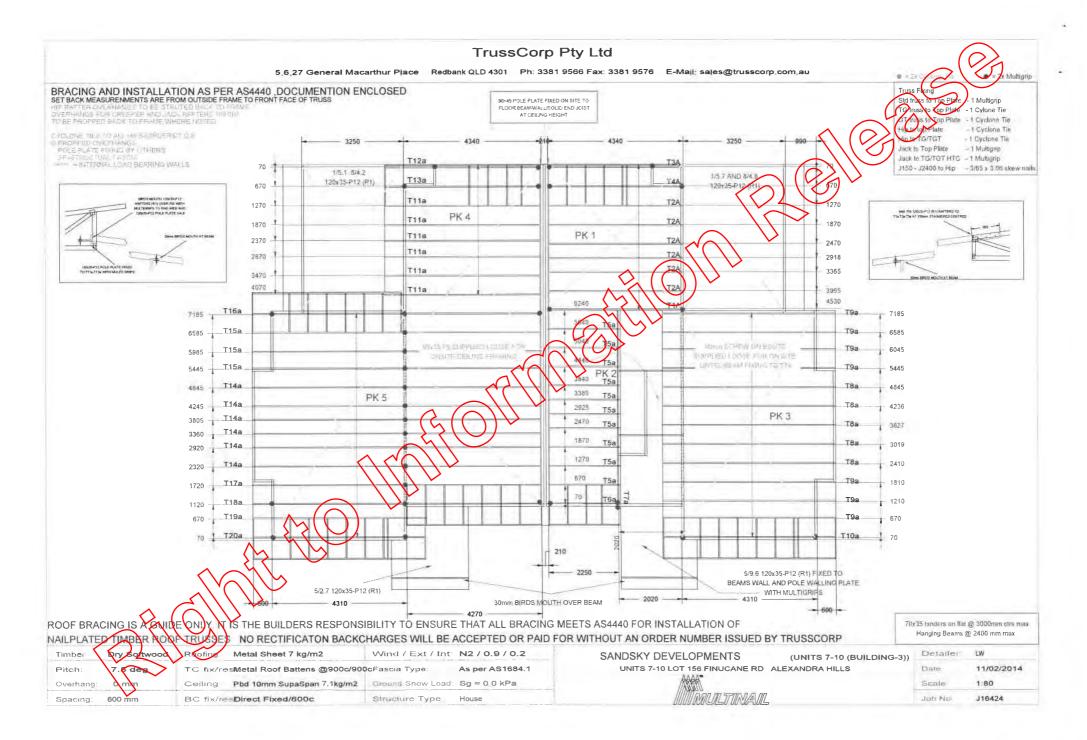
TrussCorp Pty Ltd		DATE: 27/06/2014
5,6,27 General Macarthur Place Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@	Dtrusscorp.com.au	
BUILDING AUTHORITY F	OOF TRUSS CER	
PROJECT IDENTIFICATION		907
Quote Number: J16424 Customer: SANDSKY DEVELOPMENTS	Site Address: Structure Type:	UNITS 7-TO LOT 156 FINUCANE RE ALEXANDRA HILLS UNITS 7-TO (BUILDING-3) House
This is to certify that the prefabricated timber roof tru above project were manufactured using MULTINAIL truss design programs, as per the Building Code of A The roof truss design and detailing assumes the sup its own right before the installation of the roof trusses The specifications used in the design of the trusses	metal connectors and o Australia (ABCB Volume porting structure is stat	detailed using MULTINAIL computer = 2-2012).
ROOF SHAPE:StandardTIMBER:Dry SoftwoodSPACING:600 mmFASCIA TYPE:As per AS1684.1WIND / EXT / INT:N2 / 0.9 / 0.2	ROOFING : TC Pixing/Restraint : CEILING : BC Fixing/Restraint : PHTCH : OVERHANG :	Metal Sheet 7 kg/m2 Metal Roof Battens @900c/900c Pbd 10mm SupaSpan 7.1kg/m2 Direct Fixed/600c 7.5 / 7.5 deg 0 / 0
All designed trusses and pre-cut members utilizatine AS/NZS 1170.0-2002: Structural Design Actions F AS/NZS 1170.1-2002: Structural Design Actions F AS/NZS 1170.2-2002: Structural Design Actions F AS/NZS 1170.3-2003: Structural Design Actions F AS 1720.1-2010: Timber structures Part 1: D AS 1649-2001: Timber-Methods of test for AS 4100-1998: Steel Structures AS/NZS 4600-2005: Cold-formed steel structures	art 0: General principle Part 1: Permanent, impor- Part 2: Wind actions Part 3: Snow and ice act esign methods mechanical fasteners a	ised and other actions ions and connectors
All trusses must be braced and erected in accordance trusses, in conjunction with all local building authority SIGNATURE :	requirements, and any	
	TAILER	
For detailed load Information, including AC, Solar, Ta Submission reports and Roof Layout.		refer to the detailed Engineering and

russ	SCorp Pty L	_td					DATE: 2	7/06/2014
	neral MacarthRedbank		81 9566 Fax: 33	31 9576 E-M	lail: sales@trus	scorp.com.a	u	
		REAC	FION REPO	DRT (Lin	nit State D	esign)		
	Number: J16424 Sustomer: SANDS		MENTS		te Address: icture Type:	ALEXAN UNITS 7	-10 LOT 156 FIN IDRA HILLS -10 (BUILDING-3	~J
TRUS	S DESCRIPTION		SUPPORT			L + WL	TIEDOWN	BEARING
	(Note: Tie down capad	(mm) city based on JD5.	(mm) Bearing capacit	(kN) ty based on ti	(kN) mber propertie	(kN) s of the mem	Required ber onto support, and	Member/Supp SD7 for suppo
T1A	LeftHalf Stand	(4340)					$\left(\frac{\sqrt{3}}{\sqrt{3}} \right)^{2}$	
S1	Lettinali Otaria	(4040)	0	1.3	2.4	25	1 Multi Grip	Ok / Ok
S2			4340	1.3	2.5	56	Z Multi Grips	Ok / Ok
T2A	LeftHalf Stand	(4340)	1010	1.0	2.0			
S1		(.0.0)	0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2	i I		4340	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
ТЗА	LeftHalf Outer	(3390)				\mathbf{N}	·	
S1		× ,	70	0.4	(1.0)	-1.1	1 Multi Grip	Ok / Ok
S2			3415	0.3	0.6	-0.7	1 Multi Grip	Ok / Ok
T4A	LeftHalf Inner	(4340)		\sim	2			
S1		. ,	70	0.4	9.8	-0.9	1 Multi Grip	Ok / Ok
S2			4365	0.47r	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a	LeftHalf Stand	(2215)		\sim	グ			
S1			0	0.8	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			2215	0.2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a	LeftHalf Outer	(2215)		$\mathbf{S}^{\mathbf{i}}$				
S1			70	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2			2248	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a	Girder SC0	(6240) 🤇						
S1		2	70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2			6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a	LeftHalf Stand	(4910)	\sim					
S1			> 0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		\sim	4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a	LeftHalf Stand	(4310)						
S1	\sim		0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	\sim	4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a	LeftHalf Outer	(4310)						
S1	2		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2	\sim		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a	LeftHalf Stand	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2 T12a	LettHall Øuter	(3390)	4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
25	Ĭ							
ULTINA	IL TrusSource ver	sion 8.1.9/0			27/06/201	4 12:42:06 P	M	

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	S DESCRIPTION	SPAN (mm)	SUPPORT (mm)	(kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Supp
	(Note: Tie down capaci	ty based on JD5	. Bearing capacit	y based on t	imber proper	ties of the merr	ber onto support, and	SD7 for suppo
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok/Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	(QR/39k
T13a	LeftHalf Inner	(4340)						7
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Øk / Ok
T14a	LeftHalf Stand	(9180)					V/D	7
S1			0	0.3	0.6	-0.6	1 Multi Cirip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Emps	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Molti Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)					$(\overline{\partial})$	
S1			0	0.3	0.6	-0.6	1 Nulti Grip	Ok / Ok
S2			4339	1.0	2.1	(-2.4)	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)		-				
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)			$\sim (C)$))		
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)	_	<u> </u>	7			
S1			0	03	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	-(1.8)	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)	23	\searrow				
S1			0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		(1010)		0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)			0.0	0.4	4 Marildi Onim	Ok / Ok
S1 S2			70 4310	0.6 0.6	2.0 2.0	-2.4 -2.7	1 Multi Grip 2 Multi Grips	Ok / Ok Ok / Ok
52			4310	0.0	2.0	-2.1		
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		\smile						
$\langle \langle \rangle$	7							
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NOTE	This form is to be used for the purposes of section 10(sections 32, 35B, 43, 44 and 47 of the <i>Building Regulat</i>	c) and 239 of the Building Act 1975 and/or ion 2006.
1. Indicate the type of certificate	Inspection Certificate for	907
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single detached class 1a (indicate the stage) Aspect of building work (indicate the aspect)	a or class 10 building or structure)
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Regulation 2003</i> for the aspect being certified e.g. scope of waterproofing materials or systems for preventing moisture include "wet area sealing to showers".	of work for a waterproofing licence is "installing
	Installing HomeGuard termite management systems	
	(907	
2. Property description The description must identify all land the	Street address (Include no., street, suburb / locality & postcode))
subject of the application.	U 7 - 10 156 Finicane Rd	Destando 41(1
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	ALEXANDRAHILLS	Postcode 4161
If the plan is not registered by title, provide previous lot and plan details.	Lot & plan optimis (Attach list if necessary)	
previous for and plan details.		
	In which is a government area is the land situated?	
3. Building/structure description	Building/structure description	Class of building / structure
(New House	
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2~~~~	2	
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2/1		
\sim		
LOCAL GOVERNMENT USE ONLY		

DATE RECEIVED	REFERENCE NUMBER/S	Approved form (f) Veneon 3, (1)(1)	

16

Form 16 continued		
 Description of component/s certified Clearly describe the extent of work covered by his certificate, e.g. all structural aspects of the steel roof beams. 	HomeGuard Termite Barrier to: Retaining Wall,	
steer roor beams.		(JA
	-	
	Not applicable for: Dwellings with a zero boun inspection zone can be gained by ladder look	ndary. Clear visible access of the HomeGuard ing down during annual inspections which are
	mandatory in order to maintain manufactures	warranty.
5. Basis of certification		
Detail the basis for giving the certificate and the	CSIRO Appraisal 216 & 255	
extent to which tests, specifications, rules, standards, codes of practice and other	Building Code of Australia As 3660.1-2000	
publications, were relied upon.		
6. Reference documentation	BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 2	65-the Development Permit (Building)
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.		
	(C)
7. Building certifier reference number	Building certifier reference number	Development approval number
and development approval number		
8. Building Certifier, competent person or QBSA licensee details	Name (in full)	
A competent person must be assessed as		
competent before carrying out the inspection.	Company name if applicable	Contact person
The builder for the work cannot give a stage certificate of inspection.	All Purpose Pest Control South East QLD	
A competent person is assessed by the	Phone no. business hours Mobile no.	Fax no.
building certifier for the work as competent to practice in an aspect of the building and	07 3382 7378	07 3382 0333
specification design, because of the individual's skill, experience and gualifications. The	Email address	
competent person must be registered or	jessica@allpurposepest.com.au	
licensed under a law applying in the State to practice the aspect.	Postal address Unit 10 / 42 Burnside Road,	
If no relevant law requires the individual to be		Postcode 4207
licensed or registered, the certifier must assess the individual as having appropriate	KATALA	
experience, qualifications or skills to be able to give the help.	Licence class	Licence number PMT-O-11133 (HomeGuard 0020)
If the chief executive issues any guidelines or	BSA License	518431 / 1188012
assessing a competent person, the building certifier must use the guidelines when	Date approval to inspect received from building ce	rtifier
assessing the person.		
9. Signature of building certifier,		
competent person or QBSA licensee	Signature	Date
Note: A building certifier dust sign this form for temporary swimming pool fencing under		12/02/2014
section 4 of Schedule For QDC MP 3.4.	Altro	
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$\bigcirc \lor \checkmark$	\sim	
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Page 144 of 490

Compliance Certificate for building Design or Specification

Compliance	e Certificate for building Design or Specification	5
NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or sect Building Regulation 2006.	ion 46 of the
	RESTRICTION: A building certifier (class B) can only give a compliance certificate ab building work complies with the BCA or a provision of the QDC. A building certifier (C not give a certificate regarding QDC boundary clearance and site cover provisions.	out whether lass B) can
1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.	Street address (include no., street, suburb / locality & postcode) FINUCANE RD 156 U7-10 ALEXANDRA HILLS QLD 4161 Lot & plan details (attach list if necessary)	
The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	In which local government area is the land situated?	
2. Description of component/s certified Clearly describe the extent of work covered by this cartificate, e.g. all structural aspects of the steel roof beams.	Supply & Install Shower Screens, Mirrors & Wardrobe Doors	
3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Mapufactured to and glazed with 'A Grade Safety Glass In accordance with the National Construction Code.	
LOCAL GOVERNMENT USE ONLY	Reference Number/s	Approved form 15

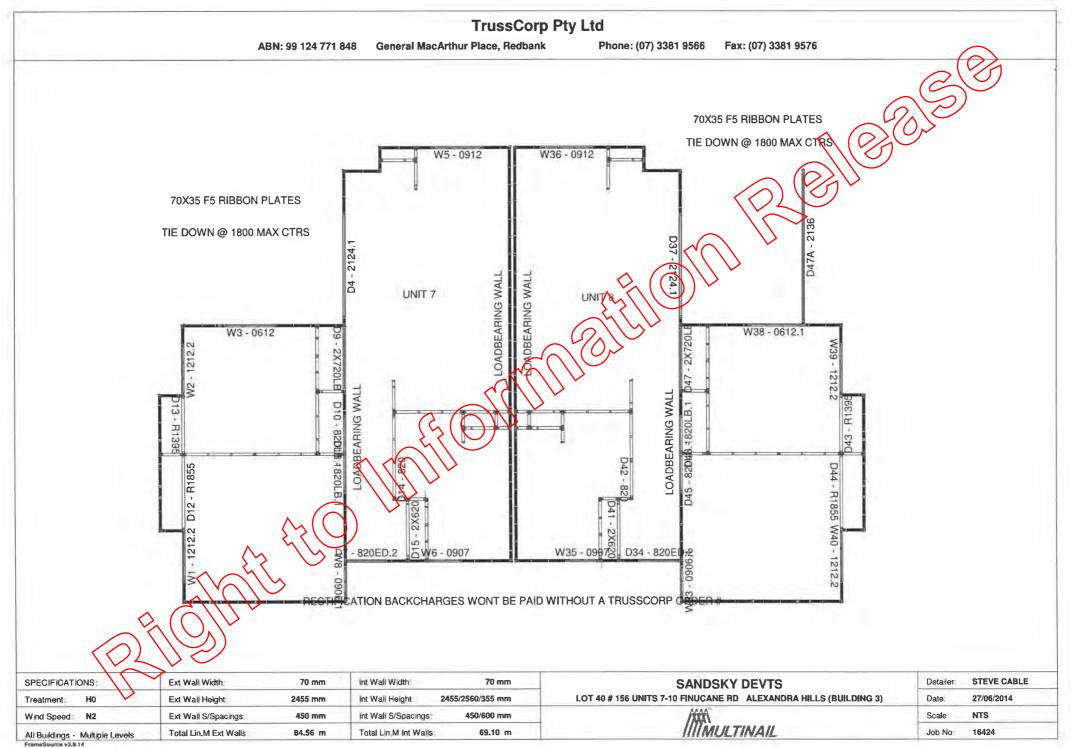
Form 15 continued	
learly identify any relevant documentation,	As per construction drawings provided
g. numbered structural engineering plans.	
. Building certifier reference number	Building certifier reference number
Competent person details	Name (in full)
competent person for building work, means a arrow who is assessed by the building certifier	
r the work as competent to practise in an	DENNIS PARSONS
spect of the building and specification design,	· · · · · · · · · · · · · · · · · · ·
I the bulkding work because of the individual's dll, experience and qualifications in the	Company name (if applicable) Contact person
spect. The competent person must also be	BRADNAMS WINDOW & DOORS
gistered or licensed under a law applying in	Phone no. business hours Mobile no. Fax no.
e State to practice the aspect.	(07) 3131 3777 (07) 3131 3888
no relevant law requires the Individual to be cansed or registered to be able to give the	Email address
elp, the certifier must assess the individual as	
aving appropriate experience, qualifications or	brisbanesales@bradnams.com.au
tilis to be able to give the help.	Postal address
the chief executive issues any guidelines for	136 ZILLMERE ROAD
ssessing a competent person, the building entities when	BOONDALL Postcode 4030
ssessing the person.	BOOND/ LE
	Licence or registration number (if applicable)
	58885
	Data
. Signature of competent person	Signature Date
his certificate must be signed by the individual ssessed by the building certifler as competent.	01/05/2014
ssessed by the building centilier as competent.	and all all and all a second and a second a se
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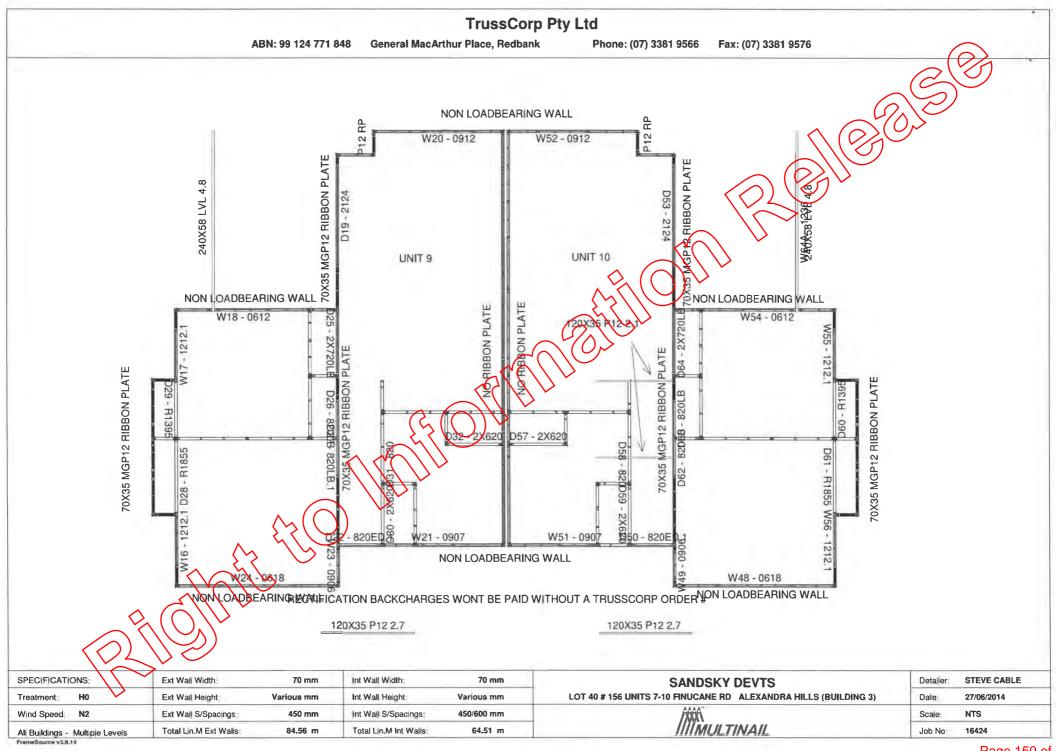
Version 3 – March 2013

# Form 15—Compliance Certificate for building Design or Specification

NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 46 of the Building Regulation 2006.			
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about whethe building work complies with the BCA or a provision of the QDC. A building certifier (Class B) ca not give a certificate regarding QDC boundary clearance and site cover provisions.			
1. Property description	Street address (include no., street, suburb / locality & postcode)			
his section need only be completed if	Lot 40 Finucane Road			
etails of street address and property escription are applicable.	Alexander Hills			
G. In the case of (standard/generic)	Lot & plan details (attach list if necessary)			
ool design/shell manufacture and/or atio and carport systems this section	Building 3 Units 7-10			
ay not be applicable.	In which local government area is the land situated?			
he description must identify all land the ubject of the application.				
he lot & plan details (eg. SP / RP) are				
hown on title documents or a rates notice. the plan is not registered by title, provide revious lot and plan details.	$\langle \bigcirc$			
. Description of component/s certified	TIMBER PREFABRICATED FRAMING PANELS AND MEMBERS - Supply only			
learly describe the extent of work covered by is certificate, e.g. all structural aspects of the	All products are to be installed, fixed and braced in accordance with the specification published in			
teel roof beams.	AS1684-2010 Residential Timber Framed Construction			
	Canadal Branath's Design Dataille			
	General Property Design Details			
	Wind Class : N2 Truss Centres : 600mm			
	Roof Material : Sheet Metal Roof Pitch : 7.5 Deg			
	Ceiling Material : 10mm Supa Ceil Direct Wall Height : Various			
. Basis of certification	The prefabricated framing panels and members supplied to property have been designed utilizing			
etail the basis for giving the certificate and the ktent to which tests, specifications, rules,	Design in Hype and pr Multinail Beam design software programs or the like.			
andards, codes of practice and other				
ublications, were relied upon.	All designed prefabricated framing panels and members utilize the following codes:			
	AS/NZS1170-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010.			
	The prefabricated framing panels and member design assumes any supporting structure is braced			
	and stable in its own right before the installation of the framing panels or members.			
	The requirements for building practice, procedures and the selection, placement and fixing of			
	structural members to be in accordance with AS1684.2-2010			
. Reference documentation	PREFABRICATED FRAMING PANELS AND MEMBERS LAYOUT			
learly identify any relevant documentation,				
g. numbered structural engineering plans.	MEMBER DESIGN REPORTS			
Sin and a second				
$\sim \sim \sim$				
$\mathcal{A}(\mathcal{O}\mathcal{A})$				
OCAL SOVERNMENT USE ONLY				
Date recoved	Reference Number/s			
$\rightarrow$				
The Duilding Actions is	administered by the			
The Building Act 1975 is a	administered by the <b>Queensland</b> and Public Works Governmen			

	Building certifier reference number
6. Competent person details A competent person for building work, means a	Name (in full)
person who is assessed by the building certifier	Steve Cable
or the work as competent to practice in an aspect of the building and specification design,	Company name (if applicable) Contact person
of the building work because of the individual's skill, experience and qualifications in the	TRUSSCORP PTY LTD Jason Cochrane
aspect. The competent person must also be	Phone no. business hours Mobile no.
egistered or licensed under a law applying in he State to practice the aspect.	(07) 33819566
f no relevant law requires the individual to be	Email address
licensed or registered to be able to give the help, the certifier must assess the individual as	sales@trusscorp.com.au
having appropriate experience, qualifications or	Postal address
skills to be able to give the help.	P.O Box 6194
If the chief executive issues any guidelines for assessing a competent person, the building	Yatala Postcode 4207
certifier must use the guidelines when assessing the person.	Licence or registration number (if applicable)
assessing the person.	
7. Signature of competent person This certificate must be signed by the individual	Signature Date
assessed by the building certifier as competent.	27/06/14
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The Building Act 1975 is a Department of Housing at	





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FrameSource v3.9.14

# Form 15—Compliance Certificate for building Design or Specification

NOTE	This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 46 of the Building Regulation 2006.		
	RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.		
1. Property description	Street address (include no., street, suburb / locality & postcode)		
This section need only be completed if	UNITS 7 - 10, 156 FINUCANE ROAD,		
details of street address and property description are applicable.	ALEXANDRIA HILLS, QLD. Postcode: 4161		
EG. In the case of (standard/generic)	Lot & plan details (attach list if necessary)		
ool design/shell manufacture and/or patio and carport systems this section			
nay not be applicable.	In which local government area is the land situated?		
The description must identify all land the			
subject of the application. The lot & plan details (eg. SP / RP) are			
shown on title documents or a rates notice.			
If the plan is not registered by title, provide previous lot and plan details.			
2. Description of component/s certified	Supply only Windows & Doors		
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the			
steel roof beams.			
	V/07		
3. Basis of certification	Manufactured & Qtazed in accordance with the National Construction Code.		
Detail the basis for giving the certificate and the extent to which tests, specifications, rules,	Manufactured & Glazed in accordance with the National Construction Code.		
standards, codes of practice and other			
publications, were relied upon.	Building Class Housing		
	Serviceability: 1000 pa		
	Ultimate: 1500 pa		
	Water Renetration: 150 pa		
4. Reference documentation Clearly identify any relevant documentation,	As per construction drawings provided		
e.g. numbered structural engineering plans			
	>		
$\mathcal{M}$			
$\langle \langle \rangle \rangle$			
LOCAL GOVERNMENT USE ONLY			
Date received	Reforence Number/s		
15			
	"别意思"		
The Building Act 1975 is	administered by the Queensland		
Department of Housing a	and Public Works Government		

5. Building certifier reference number	Building contifier reference number	
	Building certifier reference number	$\frown$
6. Competent person details	Name (in full)	
A competent person for building work, means a person who is assessed by the building certifier	DENNIS PARSONS	
for the work as competent to practise in an	Company name (if applicable)	Contact person
aspect of the building and specification design, of the building work because of the individual's	BRADNAMS WINDOWS & DOORS	
skill, experience and qualifications in the	Phone no. business hours Mobile no.	Fax 10
aspect. The competent person must also be registered or licensed under a law applying in	(07) 3131 3777	(07) 3121 8888
the State to practice the aspect.	Email address	
If no relevant law requires the individual to be licensed or registered to be able to give the	brisbanesales@bradnams.com.au	
help, the certifier must assess the individual as	Postal address	
having appropriate experience, qualifications or skills to be able to give the help.	136 ZILLMERE ROAD	10-
If the chief executive issues any guidelines for	BOONDALL	Postcode 4034
assessing a competent person, the building	Li	
certifier must use the guidelines when assessing the person.	Licence or registration number ( <i>if applicable</i> )	
	58885	$\searrow$
7. Signature of competent person	Signature	Date
This certificate must be signed by the individual		
assessed by the building certifier as competent.	10 Paracel	14/02/14
	$\square$	

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-	ertificate / Aspect censee Aspect Co		^{BSA} 16
NOTE	This form is to be used for th sections 32, 35B, 43, 44 and 4		and 239 of the <i>Building</i> Act 1975 and/or 2006.
1. Indicate the type of certificate	Inspection Certific	ate for	907
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building (indicate the stage Aspect of building (indicate the aspe	work	class 10 building (or structure)
	Scope of the work Scope of the work covered by the Regulation 2003 for the aspect	being certified, e.g. scope of w ems for preventing maisture pe	vensland Building Services Authority ork for a waterproofing licence is "installing netration". An aspect being certified may
	Installing HomeGuard termite management systems		
2. Property description		$\rightarrow$	
The description must identify all land the subject of the application.	Street address (Include no., street U 7 - 10 156 Finucane Rd		Postcode 4161
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	ALEXANDRA HILLS     Postcode 4161       Lot & pandetails (Attach list if necessary)       L 40 BLUDDING 3		
	In which local government area Redlands Shire	is the land situated?	
3. Building/structure description	Building structure description		Class of building / structure
	New House		
M			
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M.			
LOCAL GOVERNMENT USE ONLY			
DATE RECEIVED	an a	REFERENCE NUMBER/S	Approved form 18 Version 3-11/11

HomeGuard Termite Barrier to: Slab Penetration	ns, Cold Joint,
	(7)
	(\mathcal{O})
Not applicable for: Dwellings with a zero bour	ndary Clear visible access of the HomeGuard
inspection zone can be gained by ladder look mandatory in order to maintain manufactures	ing down during annual inspections which are
CSIRO Appraisal 216 & 255	
BCA A S 3660 1-2000 CSIRO Appraisal 216 & 2	the Development Permit (Building)
	pp, and Development Permit (Demening)
Building certifier reference number	Development approval number
Name (in full)	
	Contest some
	Contact person
	Fax no.
	07 3382 0355
	Postcode 4207
	Licence number
	PMT-O-11133 (HomeGuard 0020)
BSA License	518431 / 1188012
Date approval to inspect received from building ce	rtifier
Signature	Date
	13/02/2014
Arton	
<u> </u>	
L	
	Not applicable for: Dwellings with a zero bou inspection zone can be gained by ladder look mandatory in order to maintain manufactures CSIRO Appraisal 216 & 255 Building Code of Australia As 3660.1-2000 BCA, A S 3660.1-2000 CSIRO Appraisal 216 & Building certifier reference number Name (in full) Name (in full) Company name if applicable All Purpose Pest Control South East QLI Phone no. busipess hours Mobile no. 07 3382 7378 Email address jessical all purposepest.com.au Postal (address Unit 10 / 42 Burnside Road, YATALA Licence class ermite Management Physical & Chemical BSA License

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Version 4 – March 2013 Form 16—Inspection Certificate / Aspect Certificate / OBSA Licensee Aspect

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect

Certificat	3	$(\mathcal{O}/\mathcal{S})$	
NOTE	This form is to be used for the purposes of sections 32, 35B, 43, 44 and 47 of the Build	f section 10(c) and 239 of the Building Act 1975 and/or ding Regulation 2006.	
 Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing). 	(indicate the stage)	letached class 1a or class 10 pullsing or skur/u/e) MATERPRODFING	
	Scope of the work covered by the licence clas Regulation 2003 for the aspect being certified,	is under the Queensland Building Services Authority e.g. scope of work for a waterproofing licence is "installing ting musture penetration". An aspect being certified may	
2. Property description The description must identify all land the subject of the application.	Street address (incluse is sireet, suburb / local	lity & postcode)	
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details	Alexand Hils Postcode Lot & plan details (Attach list if necessary)		
	Revenue to the land siture of th	uated?	
3. Building/structure description	Building/structure description	Class of building / structure	
EX.	Dyvelling	1a	
LOCAL GOVERVITIENT USE ONLY	REFEREN	NCE NUMBER/S	
The <i>Building Act 1975</i> is Department of Housing	*	Queensland Government	

	and the second	
A Departmention of common on the contribut		
4. Description of component/s certified Clearly describe the extent of work covered by	Waterproofing to Retaining Walls	
this certificate, e.g. all structural aspects of the steel roof beams.		
		$(\sqrt{3})$
		(\bigcirc)
	1	
5. Basis of certification		(0)
Detail the basis for giving the certificate and the	In accordance with A.S. 3740, A.S. 4858 and A.S.	6. 4654 parts 1 & 2
extent to which tests, specifications, rules, standards, codes of practice and other	B.C.A. 2006 3.8.1.1.	(0)
publications, were relied upon.		$\langle \langle \rangle \rangle$
		$(\overline{O})^{N}$
		$\sim (\vee)$
6. Reference documentation		
Clearly identify any relevant documentation,		
e.g. numbered structural engineering plans.		\checkmark
		\bigvee
7. Building certifier reference number	Building certifier reference number	Development approval number
and development approval number	Demang continer reference number	
8. Building Certifier, competent person	Name (in full)	
or QBSA licensee details	Paul Cain On T	
A competent person must be assessed as competent before carrying out the inspection		Contrast narrann
The builder for the work cannot give a stage	Company name if applicable P C WATERPROOFING SERVICES	Contact person Paul Cain
certificate of inspection.		
A competent person is assessed by the	Phone no. business hours Mobile no.	Fax no.
building certifier for the work as competent to practice in an aspect of the building and	0407119950	
specification design, because of the individual's	Email address	and a mark and an
skill, experience and qualifications. The competent person must be registered or	pcwaterprogring@outlook.com	
licensed under a law applying in the State to	Postal adsress	and a second second second second life life the second second second second second second second second second
practice the aspect.	128 Casarita Road	
If no relevant law requires the individual to be licensed or registered, the certifier must assess	Calignita Beach, NSW	Postcode 2488
the individual as having appropriate		
experience, qualifications or skills to be able to give the help.	Liberibe class	
If the chief executive issues any guidelines for	Waterproofing	1258436
assessing a competent person, the building	Date approval to inspect received from building ce	rtifier
certifier must use the guidelines when assessing the person.		
		арадаа уу унаандаа калаан салаан сарадаа ининин инин сарадаа уу сарадаа жалаан сарадаа жалаан сарадаа жалаан сарадаа ининин инин сарадаа уу сарадаа жалаан сарадаа жалаан сарадаа жалаан сарадаа жалаан сарадаа сарадаа жалаан сарад
9. Signature of building certifies competent person or QBSA licensee		
Note: A building certifier must sign this form for	Signature	Date
temporary swimming pool fending under section 4 of Schedule 1 of QDC MR 3.4.	p***1	12/5/14
section 4 of Schedule 1 of QDC WR 3.4.		Alexandre Defension
$\langle \langle \rangle \rangle$		
\square		
		- 3. A.M.S
The Building Act 1975 is a		Queensland
Department of Housing a	nd Public Works	Government

Page 156 of 490

-	ertificate / Aspect Certificate censee Aspect Certificate	16 QBSA	
NOTE	This form is to be used for the purposes of section sections 32, 35B, 43, 44 and 47 of the Building Reg		
1. Indicate the type of certificate	Inspection Certificate for	907	
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	Stage of building work (for single detached of (indicate the stage) Aspect of building work (indicate the aspect) Sustainable E	dass 1a or class 10 building or structure) Building Options	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under <i>Regulation 2003</i> for the aspect being certified, e.g. sc waterproofing materials or systems for preventing mo include "wet area sealing to showers"	ope of work for a waterproofing licence is "installin	
	Sustainable Building Options and Water Savings Ta	rget	
2. Property description The description must identify all land the	Street address (Include no., street, suburb / locality & postcode) 156 Building 3 (UT-10), Finucane Road ALEXANDRA HILLS		
subject of the application.	Postcode: 4161		
The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.	Lot & plarvoetails (Attach list if necessary)		
If the plan is not registered by title, provide previous lot and plan details.	Lot: 40		
	SP		
	In which local government area is the land situated? Redland City Council		
3. Building/structure description	Building structure description	Class of building / structure	
s. Building/structure description	New Dwelling		
)))		
\sim			
2 m			
4. Description of componentis certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Lighting, Plumbing Fixtures and Rainwater Tanks		
\searrow			
LOCAL GOVERNMENT USE ONLY	REFERENCE NUMBER'S	Approved form	

Form 16 continued		
5. Basis of certification Detail the basis for giving the certificate and the	QDC MP4.1 and 4.2	
extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	In accordance with the National Construction	Code
		(7)
		(\mathcal{C})
6. Reference documentation	Architectural Plans	(/07
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.		
7. Building certifier reference number	Building certifier reference number	Development approval number
and development approval number		
8. Building Certifier, competent person	Name (in full)	
or QBSA licensee details	Craig Robert Fitzgerald	\frown
A competent person must be assessed as competent before carrying out the inspection.	Company name <i>if applicable</i>	Contact person
The builder for the work cannot give a stage	SandSky Developments Pty Ltd	Lauren Threlfall
A competent person is assessed by the	Phone no. business hours Mobile no.	Fax no.
building certifier for the work as competent to practice in an aspect of the building and	1300 655 210	1300 655 230
specification design, because of the individual's skill, experience and qualifications. The	Email address	>
competent person must be registered or		
licensed under a law applying in the State to practice the aspect.	Postal address	
If no relevant law requires the individual to be licensed or registered, the certifier must assess	Helensvale TC	Postcode 4212
the individual as having appropriate	Licence class	Licence number
experience, qualifications or skills to be able to give the help.	Builders	1014147
If the chief executive issues any guidelines for assessing a competent person, the building	Date approval to inspect received from building	
certifier must use the guidelines when	Date approval a motor your of motor barranty	
assessing the person. 9. Signature of building certifier,		
competent person or QBSA licensee		Dete
Note: A building certifier must sign this form for temporary swimming pool fencing under	Signature	Date
section 239(2)(b) of the <i>Building Act</i> 1975.		
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No starter		
\checkmark		
The Building Act 1975 is adminis Department of Infrastructure and		Queensland Government
separation of innastracture and		Department of Infrastructure and Planning

-	ertificate / Aspect Certificate / QBS censee Aspect Certificate	^A 16	
NOTE	This form is to be used for the purposes of section 10(c) and 2 sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation</i> 2006		
1. Indicate the type of certificate	Inspection Certificate for	907	
The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier.	Stage of building work (for single detached class 1a or class (indicate the stage)	10-building or structure)	
An aspect of building work is part of a stage (e.g. waterproofing).	(indicate the aspect) Drywall – Internal Linings	7	
	QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queensla Regulation 2003 for the aspect being certified, e.g. scope of work for waterproofing materials or systems for preventing moisture penetral include "wet area sealing to showers"	or a waterproofing licence is "installing	
	Drywall Installation THIS IS NOT A FIRE WALL CERTIFICATE-		
	Sound rated walls and ceilings as required in scope of works		
	Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)		
2. Property description	Street address (Include no., street, suburb / locality & postcode)		
The description must identify all land the subject of the application.	Lot 156 Finucane Rd.		
The lot & plan details (eg. SP / RP) are	Alexandra Hills Postcode 4161		
shown on title documents or a rates notice. If the plan is not registered by title, provide	Lot & plan details (Attach list if necessary)		
previous lot and plan details.	Lot 40		
	In which local government area is the land situated?		
	Redland City Council		
3. Building/structure description	Building structure description	Class of building / structure	
	New Buildings – 10 Units Development	1A	
M			
~~~~	7		
4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Supply and install 2 layers of <b>Firerated plasterboard</b> (13mm FYF <b>insulation</b> to Ground floor units 1, 3, 4, 7 and 8 ceilings.	RCHEK) board with <b>R2.5</b>	
	Supply and install 1 layer of Firerated plasterboard (16mm FYR insulation to units partiwalls 3 to10	CHEK) board with R2.5	

LOCAL GOVERNME	NT USE ONLY		
DATE RECEIVED		REFERENCE NUMBER/S	Approved to mit R Version 1 11 1

Form 16 continued	
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Installed R2.5 insulation and 2-layers of Firerated plasterboard (13mm FYRCHEK) to complete CSR System CSR 814 to achieve required RW (RW+ CTR) 50 (42) Installed R2.5 insulation and 1-layer of Firerated plasterboard (16mm FYRCHEK) to both sides of internal Partiwalls to complete CSR System CSR555 achieve required RW (RW+ CTR) 55 (46) Insulation Installed to AS/NZS4859.1-2002 Wall and Californ Materials used on building complete the RSA specification (10 a
	Wall and Ceiling Materials used on building comply with the BSA specification C 10a
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	CSR System CSR 814 (Acoustic Opinion PKA-056)         CSR System CSR555 (Acoustic Opinion PKA-051)         Approved plans from builder         Purchase order from builder
7. Building certifier reference number and development approval number	Building certifier reference number Development approval number
<ul> <li>8. Building Certifier, competent person or QBSA licensee details</li> <li>A competent person must be assessed as competent before carrying out the inspection.</li> <li>The builder for the work cannot give a stage certificate of inspection.</li> <li>A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.</li> <li>If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.</li> <li>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</li> <li>9. Signature of building certifier, competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.</li> </ul>	Name (in full)         Company name if applicable         Contact person         CRA Internal Linings Pty Ltd         Simon Souris         Phone no. business hours         Mobile no         Fax no.         07 5522 8177         0420 989 811         Email address         info@crainternallinings.com.all         Postal address         PO Box 2796 Nerang BC QLD         Postal address         Plastering Drowell         Licence class         Licence received from building certifier         Signature       Date         Victor Wang       Date
The Building Act 1975 is adm the Department of Local Gov	

Version 4 – March 2013

#### Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

Gentificat		$(\sqrt{3})$
IOTE	This form is to be used for the purposes of section 10(c) and 239 of the Buildin sections 32, 35B, 43, 44 and 47 of the Building Regulation 2006.	gAct 1975 and/o
<b>1. Indicate the type of certificate</b> The stages of assessable building work are listed in section 24 of the <i>Building</i> <i>Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	✓       Inspection Certificate for         □       Stage of building work (for single detached class 1a or class 10 foliding or structure (indicate the stage)         ✓       Aspect of building work       Bored Pier Footings and Monolithit Slab on G (indicate the aspect)         ØBSA Licensee Aspect Certificate       Buildings 1 – 3 inclusive.         ØBSA Licensee Aspect Certificate       Scope of the work         Scope of the work       Scope of the aspect being certified, e.g. scope of work for a waterproofing materials or systems for preventing molecture penetration". An aspect beinclude "wet area sealing to showers".         Not Applicable	ces Authority licence is "installi
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (Include to., street, suburb / locality & postcode)  156 Finucane Rd, Atexandra Hills, Queensland.  Postcode 416 Lot & plan details (Attach list if necessary) In which local government area is the land situated? Restand City Council.	j1
3. Building/structure description	Building/structure description Class of buil	ding / structure
E C	Townhouse Development Class 1a	
LOCAL GOVERAMENT USE ONLY		
DATE RECEIVED	REFERENCE NUMBER/S	
	A A A A A A A A A A A A A A A A A A A	



4. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.	Certification of Bored Piers –Excavations inspected on 7 February 2014 (Engineering Inspection Report No. 19045) and 26 February 2014 (Engineering Inspection Report No. 19424) prior to Placement of Concrete. Certification of Monolithic Slab on Ground to: Building 1 – Inspected on 12th February 2014 (Engineering Inspection Report No. 19048); Building 2 – Inspected on 14th February 2014 (Engineering Inspection Report No. 19050); and Building 3 – Inspected on 10th March 2014 (Engineering Inspection Report No. 23232) Excavation, Preparation and Steel Reinforcement were inspected prior to any concrete pagement				
<b>5. Basis of certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	The Building Code of Australia and all relevant Australian Standards including AS/NZ8 /17/0 Parts 0, 1-2002;         AS2870 – 1996; AS3600 – 2009 and AS4055-2010 as required.         We certify that the constructed structural elements listed in Item 4 above generally conformed with the engineering drawings, engineering inspection reports and other correspondence listed in section 6 below as issued during course of the work.         This certification has been issued on the basis that the head contractor has completed all instructed works listed with the Engineering Inspection Report nominated below in Section 6.         By issuing this certification it shall not be construed as relieving any other party of their responsibilities to complete the works in accordance with the documents and instructions listed in section 6 below an the Building Code of Australia.				
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Job Number: 30421-13CS including any Form 15s, reports & drawings prepared by Structerre Consulting Engineers. Refer to Engineering Inspection Reports 19045, 19048, 19050, 19424 and 23232 as prepared by Structerre Consulting Engineers. Geotechnical Report by Soil Survey Engineering Rty Ltd Report Ref No. 1-15345, 2013-06-14, LR Rev 0 dated 14 June 2014. Refer to Architectural Drawings Ref No. 12-05-08 as prepared by John Marrson & Associates Pty Ltd. Refer to Statutory Declaration dated 87 June 2014 as prepared by Mr. Justin Loewe in relation to the Pier and Footing Constructions.				
7. Building certifier reference number and development approval number	Building certifier reference number Development approval number				
8. Building Certifier, competent person or QBSA licensee details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage	Name (in full)       Greg Anderson       Company name if applicable       Structeve Consulting Engineers   Greg Anderson				
certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to	Phone mo-business hours     Mobile no.     Fax no.       (07) 3807-8308     (07) 3307-8301       Email address     brisbane@structerre.com.au				
give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the building assessing the person.	FIEAust CPEng RPEQ 1359           Date approval to inspect received from building certifier				
9. Signature of building cectifier, competent person or QBSA licensee Note: A building certifier must sligh this form for temporary swimming pool fencing under section 4 of Schedule Pof QDC MP 3.4.	Signature     Date       Grey Androw     30 June 2014				

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# COMPLIANCE CERTIFICATE

**Owners** Copy

Home Town Villas Ltd PO Box 276 CLEVELAND QLD 4163

Dear Sir / Madam

File Number	PD230906	$\rightarrow$	
Inspection Type	Waste Rough-In Inspection	on/	
Inspection Result	Pass M	$\overline{}$	

The installation for Plumbing and Drainage Approval Number PD230906 at the Premises owned by Home Town Villas Lto and located at 156 Finucane Road Alexandra Hills QLD 4161 has been inspected in accordance with the Plumbing and Drainage Act, The Standard Riumbing and Drainage Regulation and relevant Australian Standards.

Date: 21/03/2014 12:00:00 AM

Inspector: Delwyn Enkera

This Compliance Certificate is issued under the provisions of the Plumbing and Drainage Act and relevant Australian standards. It is the responsible person as defined under the Plumbing and Drainage Regulation in charge of the installations responsibility to ensure the requirements of the standard Plumbing and Drainage Regulation are achieved. The role of Council's Plumbing and Drainage Inspector is one of auditing and monitoring only. The standard of finish/quality of workmanship is a matter between the Plumber/Drainer and the Owner. Most Inspections are conducted on a visual (only) basis.