

Karin Spackman

From:
Sent:
To:
Cc:
Subject:
Attachments:

Lauren Threlfall <lauren@sandsky.com.au>
Wednesday, 2 July 2014 10:20 AM
Marcus Horne
Claire Panos
Certificates for Lot 40 Finucane Building 3
Form 16 Slab - Lot 40 Finucane Road.pdf; Form 16 Sound Rating - Lot 40
Finucane.pdf; Form 16 Sustainable Building - Lot 40 Finucane Rd Building 3.pdf;
Form 16 Tanking - Lot 40 Finucane Rd.pdf; Form 16 Termite Slab - Lot 40 - Building
3 Finucane.pdf; Form 15 Glazing - Lot 40 Finucane Bldg 3.pdf; Form 15 Prenail - Lot
40 Finucane Building 3.pdf; Form 15 Shower Screen - Lot 40 Finucane Building
3.pdf; Form 15 Termite Retaining Wall - Lot 40 Finucane Bldg 3.pdf; Form 15 Truss -
Lot 40 Finucane Building 3.pdf; Form 16 Building Set out - Lot 40 Finucane.pdf;
Form 16 - Waterproofing Lot 40 Finucane U7-10.pdf; Form 16 Electrical - Lot 40
Finucane Rd Building 3.pdf; Form 16 Energy Efficiency - Lot 40 Finucane Rd Building
3.pdf; Form 16 Firewall - Lot 40 Finucane Building 3.pdf; Form 16 Insulation - Lot 40
Finucane Building 3.pdf; Form 16 Metal Roof - Lot 40 Finucane Road Building 3.pdf;
Form 16 Mud Map & Termite - Lot 40 Finucane Rd Building 3.pdf; Form 16 Post
Connction - Lot 40 Finucane Road.pdf; Form 16 Shower screen - Lot 40 Finucane
Building 3.pdf

REDLAND CITY COUNCIL

DATE RECEIVED

29 SEP 2014

CUSTOMER SERVICE

Hi Marcus

Please find attached all certificates relating to building three.

Kind Regards,

Lauren Threlfall

Construction Administration | SandSky Development

A. PO Box 3353 | Helensvale TC | QLD 4212 | Australia

T. 1300 855 210 | F. 1300 855 230

E. lauren@sandsky.com.au | W. www.sandsky.com.au

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- 1 OCT 2014

RMU FROM
CUST SERVICE

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Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work <u>Bored Pier Footings and Monolithic Slab on Ground to</u> (indicate the aspect) <u>Buildings 1 – 3 inclusive</u></p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Not Applicable</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>156 Finucane Rd, Alexandra Hills, Queensland.</p> <p>Postcode 4161</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>Redland City Council.</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Townhouse Development</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>Class 1a</p> <p>_____</p> <p>_____</p>

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4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Certification of Bored Piers –Excavations inspected on 7 February 2014 (Engineering Inspection Report No. 19045) and 26 February 2014 (Engineering Inspection Report No. 19424) prior to Placement of Concrete.

Certification of Monolithic Slab on Ground to:

Building 1 – Inspected on 12th February 2014 (Engineering Inspection Report No. 19048);

Building 2 – Inspected on 14th February 2014 (Engineering Inspection Report No. 19050); and

Building 3 – Inspected on 10th March 2014 (Engineering Inspection Report No. 23232).

Excavation. Preparation and Steel Reinforcement were inspected prior to any concrete placement.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The Building Code of Australia and all relevant Australian Standards including AS/NZS 1170 Parts 0, 1-2002; AS2870 – 1996; AS3600 – 2009 and AS4055-2010 as required.

We certify that the constructed structural elements listed in Item 4 above generally conformed with the engineering drawings, engineering inspection reports and other correspondence listed in section 6 below as issued during course of the work.

This certification has been issued on the basis that the head contractor has completed all instructed works listed with the Engineering Inspection Report nominated below in section 6.

By issuing this certification it shall not be construed as relieving any other party of their responsibilities to complete the works in accordance with the documents and instructions listed in section 6 below an the Building Code of Australia.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Job Number: 30421-13CS including any Form 15s, reports & drawings prepared by Structerre Consulting Engineers.

Refer to Engineering Inspection Reports 19045, 19048, 19050, 19424 and 23232 as prepared by Structerre Consulting Engineers.

Geotechnical Report by Soil Survey Engineering Pty Ltd. Report Ref No. 1-15345, 2013-06-14, LR Rev 0 dated 14 June 2014.

Refer to Architectural Drawings Ref No. 12-05-01 – 12-05-08 as prepared by John Marrson & Associates Pty Ltd.

Refer to Statutory Declaration dated 8th June 2014 as prepared by Mr. Justin Loewe in relation to the Pier and Footing Constructions.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Greg Anderson

Company name (if applicable)

Structerre Consulting Engineers

Contact person

Greg Anderson

Phone no. business hours

(07) 3307-8300

Mobile no.

Fax no.

(07) 3307-8301

Email address

brisbane@structerre.com.au

Postal address

PO Box 621

HAMILTON

Postcode 4007

Licence class

Licence number

FIEAust CPEng RPEQ 1359

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

30 June 2014

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier</p> <p>An aspect of building work is part of a stage (e.g. waterproofing)</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) <u>WATERPROOFING</u></p> <p><input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Waterproofing to Retaining Walls</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice if the plan is not registered by title, provide previous lot and plan details</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40 Finucane Road</p> <p>Alexandra Hills Postcode</p> <p>Lot & plan details (Attach list if necessary)</p> <p>In which local government area is the land situated?</p> <p>G.C.C.C.</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Dwelling</p>	<p>Class of building / structure</p> <p>1a</p>

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REFERENCE NUMBER/S

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Waterproofing to Retaining Walls

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2
B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans

7. Building certifier reference number and development approval number

Building certifier reference number Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

Fax no.

0407119950

Email address

pcwaterproofing@outlook.com

Postal address

128 Cabarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

<p>NOTE</p>	<p>This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i>.</p>	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<div style="display: flex; flex-direction: column;"> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Inspection Certificate for </div> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____ </div> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Aspect of building work (indicate the aspect) _____ </div> <hr/> <div style="margin-bottom: 10px;"> <input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate </div> <div> <p>Scope of the work</p> <p>Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"</p> <div style="border: 1px solid black; padding: 5px; min-height: 100px;"> Installing HomeGuard termite management systems </div> </div> </div>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <div style="border: 1px solid black; padding: 2px;"> U 7 - 10 156 Finucane Rd </div> <div style="border: 1px solid black; padding: 2px; display: flex; justify-content: space-between;"> ALEXANDRA HILLS Postcode 4161 </div> <p>Lot & plan details (Attach list if necessary)</p> <div style="border: 1px solid black; padding: 2px;"> L 40 BUILDING 3 </div> <p>In which local government area is the land situated?</p> <div style="border: 1px solid black; padding: 2px;"> Redlands Shire </div>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <div style="border: 1px solid black; padding: 2px; min-height: 100px;"> New House </div>	<p>Class of building / structure</p> <div style="border: 1px solid black; padding: 2px; min-height: 100px;"> </div>

LOCAL GOVERNMENT USE ONLY

INTERPRETER	REFERENCE NUMBERS	APPROVED
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4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Slab Penetrations, Cold Joint,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255

Building Code of Australia As 3660.1-2000

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical

BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)

518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

13/02/2014



Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>UNITS 7 - 10, 156 FINUCANE ROAD, ALEXANDRIA HILLS, QLD. Postcode: 4161</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated?</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Supply only Windows & Doors</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Manufactured & Glazed in accordance with the National Construction Code.</p> <p>Building Class: Housing</p> <p>Serviceability: 1000 pa</p> <p>Ultimate: 1500 pa</p> <p>Water Penetration: 150 pa</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>As per construction drawings provided</p>

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (*in full*)

DENNIS PARSONS

Company name (*if applicable*)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. *business hours*

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4034

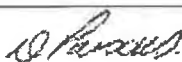
Licence or registration number (*if applicable*)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

14/02/14

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 40 Finucane Road

Alexander Hills

Lot & plan details (attach list if necessary)

Building 3 Units 7-10

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER PREFABRICATED FRAMING PANELS AND MEMBERS – Supply only

All products are to be installed, fixed and braced in accordance with the specification published in AS1684-2010 Residential Timber Framed Construction

General Property Design Details

Wind Class : N2

Truss Centres : 600mm

Roof Material : Sheet Metal

Roof Pitch : 7.5 Deg

Ceiling Material : 10mm Supa Ceil Direct

Wall Height : Various

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The prefabricated framing panels and members supplied to property have been designed utilizing Design in Hyne and/or Multinail Beam design software programs or the like.

All designed prefabricated framing panels and members utilize the following codes:

AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010.

The prefabricated framing panels and member design assumes any supporting structure is braced and stable in its own right before the installation of the framing panels or members.

The requirements for building practice, procedures and the selection, placement and fixing of structural members to be in accordance with AS1684.2-2010

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

PREFABRICATED FRAMING PANELS AND MEMBERS LAYOUT

MEMBER DESIGN REPORTS

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
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5. Building certifier reference number

Building certifier reference number

6. Competent person details

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If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steve Cable

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. business hours

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

27/06/14

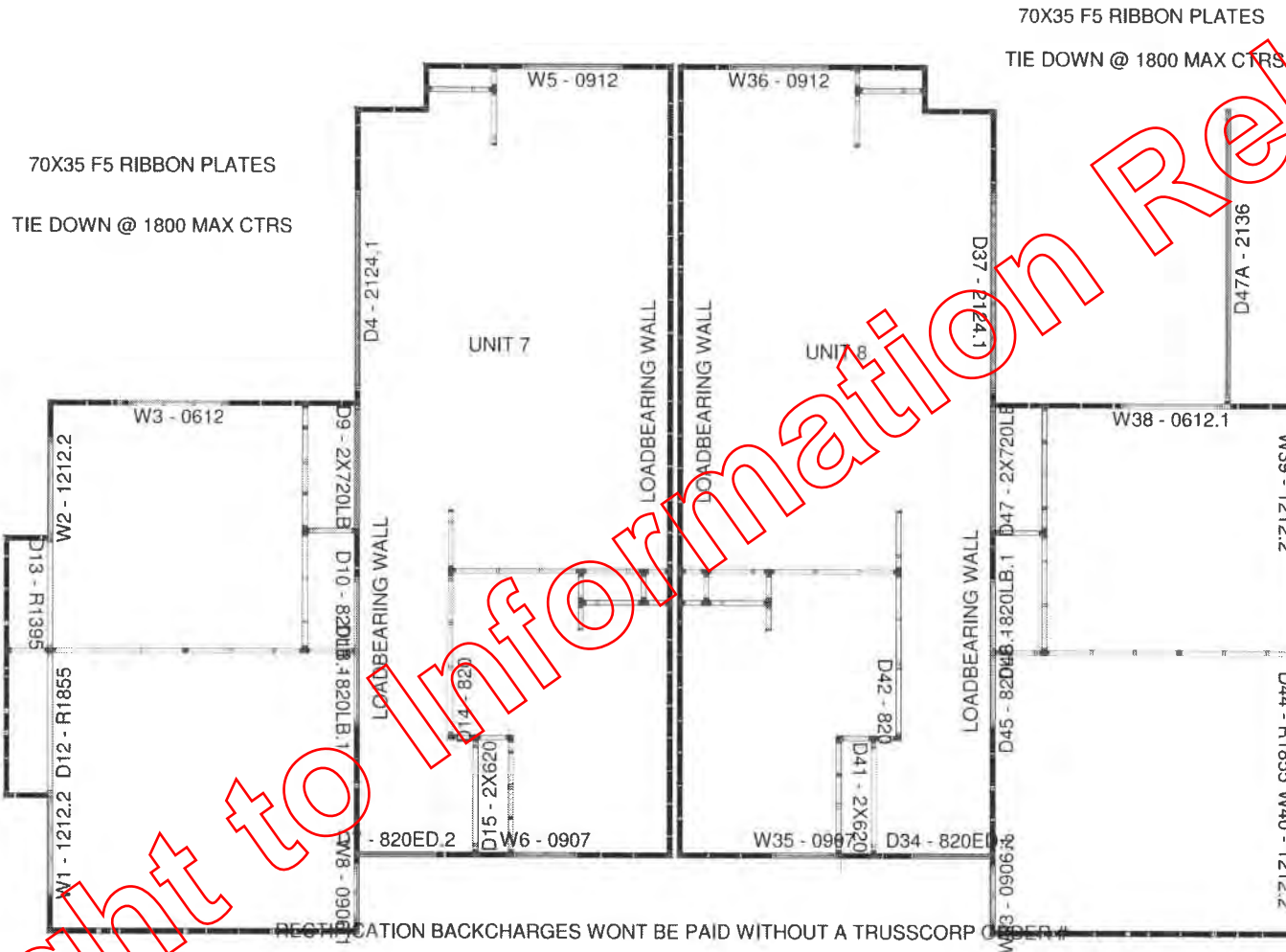
TrussCorp Pty Ltd

ABN: 99 124 771 848

General MacArthur Place, Redbank

Phone: (07) 3381 9566

Fax: (07) 3381 9576



SPECIFICATIONS:

Treatment: H0

Wind Speed: N2

All Buildings - Multiple Levels

Ext Wall Width: 70 mm

Ext Wall Height: 2455 mm

Ext Wall S/Spacings: 450 mm

Total Lin.M Ext Walls: 84.56 m

Int Wall Width: 70 mm

Int Wall Height: 2455/2560/355 mm

Int Wall S/Spacings: 450/600 mm

Total Lin.M Int Walls: 69.10 m

SANDSKY DEVTS

LOT 40 # 156 UNITS 7-10 FINUCANE RD ALEXANDRA HILLS (BUILDING 3)



Detailer: STEVE CABLE

Date: 27/06/2014

Scale: NTS

Job No: 16424

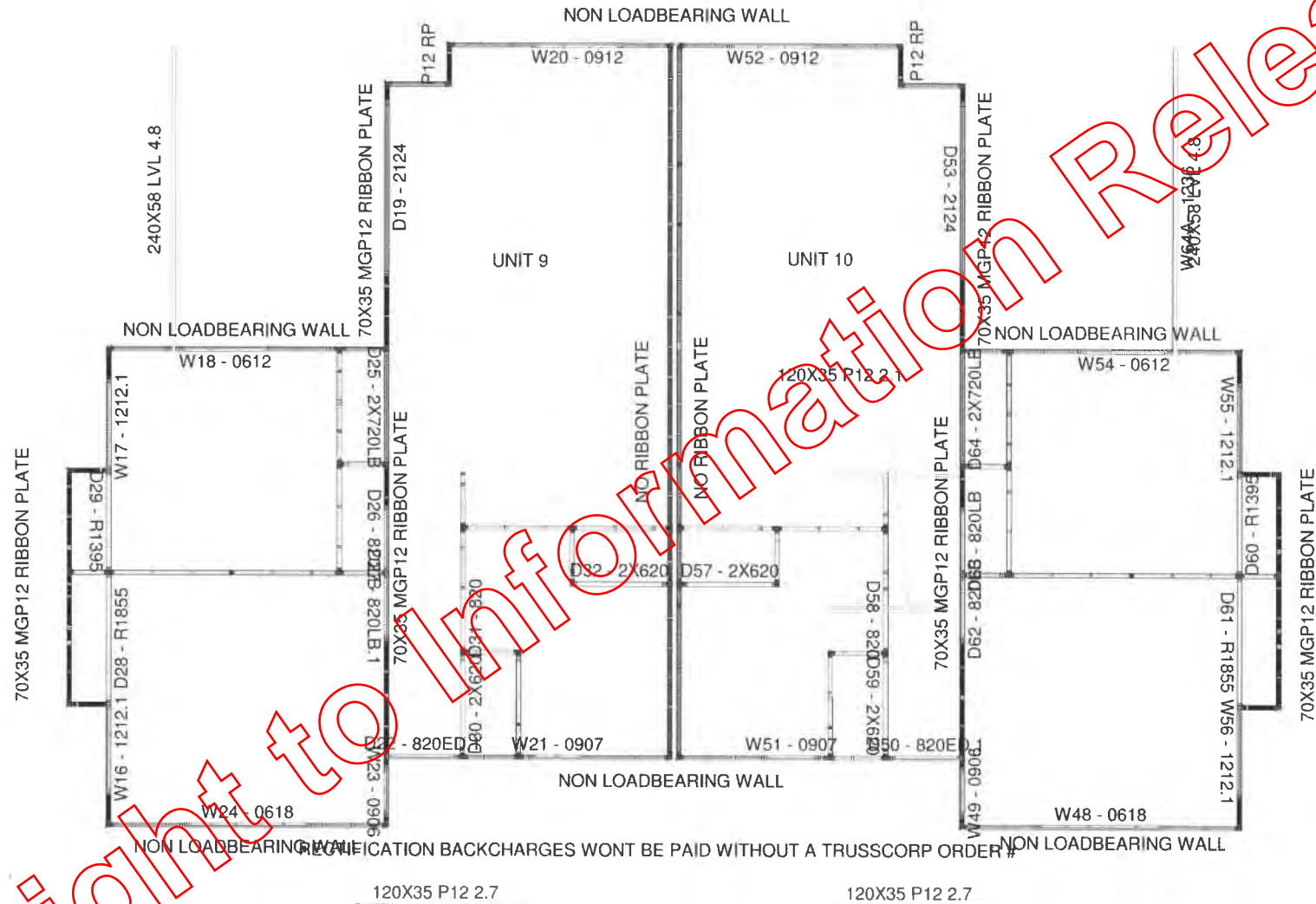
TrussCorp Pty Ltd

ABN: 99 124 771 848

General MacArthur Place, Redbank

Phone: (07) 3381 9566

Fax: (07) 3381 9576



SPECIFICATIONS:

Ext Wall Width:	70 mm	Int Wall Width:	70 mm
Treatment:	H0	Ext Wall Height:	Various mm
Wind Speed:	N2	Int Wall Height:	Various mm
		Ext Wall S/Spacings:	450 mm
		Int Wall S/Spacings:	450/600 mm
All Buildings - Multiple Levels		Total Lin.M Ext Walls:	84.56 m
		Total Lin.M Int Walls:	64.51 m

FrameSource v3.9.14

SANDSKY DEVTS

LOT 40 # 156 UNITS 7-10 FINUCANE RD ALEXANDRA HILLS (BUILDING 3)



Detailer: STEVE CABLE

Date: 27/06/2014

Scale: NTS

Job No: 16424

Compliance Certificate for building Design or Specification

15

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

FINUCANE RD 156 U7-10

ALEXANDRA HILLS QLD 4161

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply & Install Shower Screens, Mirrors & Wardrobe Doors

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Manufactured to and glazed with

'A' Grade Safety Glass

In accordance with the National Construction Code.

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

Approved form 15
Version 2 02/08

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As per construction drawings provided

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOW & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4030

Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

[Handwritten Signature]

Date

01/05/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 7 - 10 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 3

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

LOCAL GOVERNMENT USE ONLY

NOTE RECEIVED

REFERENCE NUMBERS

DATE

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Retaining Wall,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255

Building Code of Australia As 3660.1-2000

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/02/2014



Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

UNITS 7-10 LOT 156 FINUCANE ROAD

ALEXANDRA HILLS

Postcode

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER ROOF TRUSS SYSTEM – Supply only

All products are to be installed, fixed and braced in accordance with the specification published by Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004

General Property Design Details:

Wind Class : N2

Truss Centres : 600mm

Roof Material : Metal Sheet

Roof Pitch : 7.5 Deg

Ceiling Material : 10mm Supa Ceil Direct

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The prefabricated timber roof trusses supplied to property are manufactured and designed under licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design software programs. The roof truss design assumes the supporting structure is stable in its own right before the installation of the roof trusses.

All designed trusses and roof members utilize the following codes:

AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

ROOF TRUSS LAYOUTS

ENGINEERING REPORT

TIE DOWN REPORT

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated Trusses

LOCAL GOVERNMENT USE ONLY

Date received

Reference Numbers

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Leigh Walker

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. business hours

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

27 June 2014

TrussCorp Pty Ltd

5,6,27 General Macarthur Place

Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

DATE: 27/06/2014

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

PROJECT IDENTIFICATION

Quote Number: **J16424**

Customer: **SANDSKY DEVELOPMENTS**

Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**

Structure Type: **House**

This is to certify that the prefabricated timber roof trusses and pre-cut hip end members supplied to the above project were manufactured using MULTINAIL metal connectors and detailed using MULTINAIL computer truss design programs, as per the Building Code of Australia (ASCB Volume 2-2012).

The roof truss design and detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses.

The specifications used in the design of the trusses were as follows:

ROOF SHAPE	: Standard	ROOFING	: Metal Sheet 7 kg/m2
TIMBER	: Dry Softwood	TC Fixing/Restraint	: Metal Roof Battens @900c/900c
SPACING	: 600 mm	CEILING	: Pbd 10mm SupaSpan 7.1kg/m2
FASCIA TYPE	: As per AS1684.1	BC Fixing/Restraint	: Direct Fixed/600c
WIND / EXT / INT	: N2 / 0.9 / 0.2	PITCH	: 7.5 / 7.5 deg
		OVERHANG	: 0 / 0

All designed trusses and pre-cut members utilize the following codes:

- AS/NZS 1170.0-2002: Structural Design Actions Part 0: General principles
- AS/NZS 1170.1-2002: Structural Design Actions Part 1: Permanent, imposed and other actions
- AS/NZS 1170.2-2002: Structural Design Actions Part 2: Wind actions
- AS/NZS 1170.3-2003: Structural Design Actions Part 3: Snow and ice actions
- AS 1720.1-2010: Timber structures Part 1: Design methods
- AS 1649-2001: Timber-Methods of test for mechanical fasteners and connectors
- AS 4100-1998: Steel Structures
- AS/NZS 4600-2005: Cold-formed steel structures

All trusses must be braced and erected in accordance with AS4440, Installation of nailplated timber trusses, in conjunction with all local building authority requirements, and any other supplied details.

SIGNATURE : 

NAME : **LEIGH WALKER**

POSITION : **DETAILER**

DATE : **27/06/2014**

For detailed load information, including AC, Solar, Tank and Storage loads, refer to the detailed Engineering and Submission reports and Roof Layout.

TrussCorp Pty Ltd

5.6.27 General Macarthur Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

REACTION REPORT (Limit State Design)Quote Number: **J16424**
Customer: **SANDSKY DEVELOPMENTS**Site Address: **UNITS 7-10 LOT 156 FINJUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**
Structure Type: **House**

TRUSS DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)							

T1A	LeftHalf Stand	(4340)					
S1		0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2		4340	1.3	2.5	-2.6	2 Multi Grips	Ok / Ok
T2A	LeftHalf Stand	(4340)					
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T3A	LeftHalf Outer	(3390)					
S1		70	0.4	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		3415	0.3	0.6	-0.7	1 Multi Grip	Ok / Ok
T4A	LeftHalf Inner	(4340)					
S1		70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4365	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a	LeftHalf Stand	(2215)					
S1		0	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2		2215	0.2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a	LeftHalf Outer	(2215)					
S1		70	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a	Girder SC0	(6240)					
S1		70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2		6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a	LeftHalf Stand	(4910)					
S1		0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a	LeftHalf Stand	(4310)					
S1		0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a	LeftHalf Outer	(4310)					
S1		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a	LeftHalf Stand	(4340)					
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T12a	LeftHalf Outer	(3390)					

TRUSS DESCRIPTION		SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)								
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	Ok / Ok
T13a	LeftHalf Inner	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Ok / Ok
T14a	LeftHalf Stand	(9180)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Grips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)						
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)						
S1			0	0.3	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	1.3	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)						
S1			0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)						
S1			70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok

TrussCorp Pty Ltd

5,6,27 General Macarthur Place Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

BRACING AND INSTALLATION AS PER AS4440, DOCUMENTATION ENCLOSED

SET BACK MEASUREMENTS ARE FROM OUTSIDE FRAME TO FRONT FACE OF TRUSS

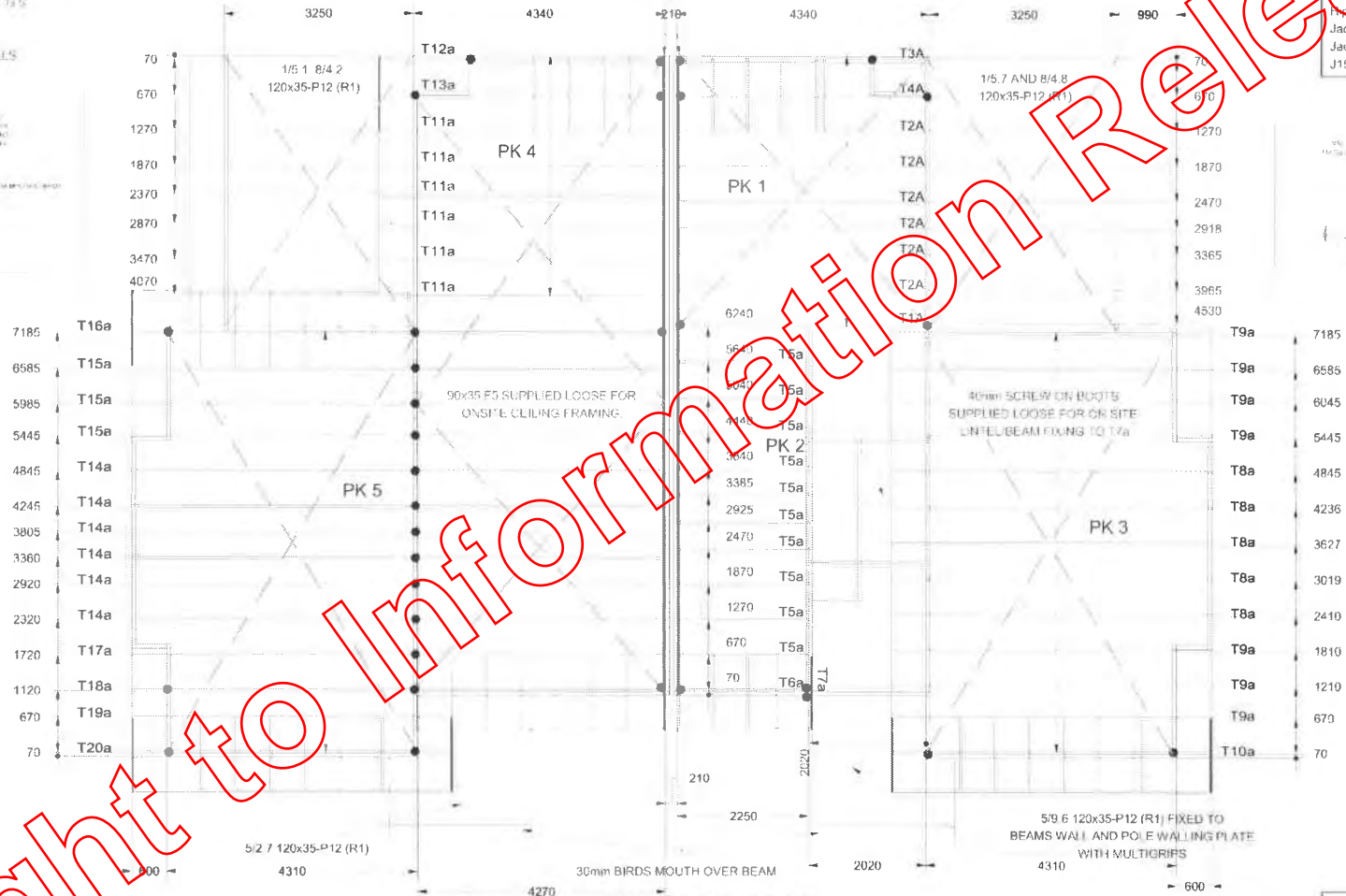
11P RAFTER OVERHANGS TO BE STRUTTED BACK TO FRAME
OVERHANGS FOR CREEPER AND JACK RAFTERS 1000mm
TO BE PROPPED BACK TO FRAME WHERE NOTED

CYCLONE TIES TO ALL PERPENDICULARS
PROPPED OVERHANGS
POLE PLATE FIXING BY OTHERS
INTERNAL LOAD BEARING WALLS

90x35 POLE PLATE FIXED ON SITE TO
FLOOR BEAMS WALL RIGID END JOIST
AT CEILING HEIGHT

● = 2x Fastenings
● = 4x Multigrip

Truss Fixing
Std truss to Top Plate = 1 Multigrip
T/G truss to Top Plate = 1 Cyclone Tie
Std truss to Top Plate = 1 Cyclone Tie
Hip to Top Plate = 1 Cyclone Tie
Hip to T/G/TGT = 1 Cyclone Tie
Jack to Top Plate = 1 Multigrip
Jack to T/G/TGT HTC = 1 Multigrip
J150 - J2400 to Hip = 3/55 x 3.0m skew nails



ROOF BRACING IS A GUIDE ONLY. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL BRACING MEETS AS4440 FOR INSTALLATION OF
NAILPLATED TIMBER ROOF TRUSSES NO RECTIFICATION BACKCHARGES WILL BE ACCEPTED OR PAID FOR WITHOUT AN ORDER NUMBER ISSUED BY TRUSSCORP

70x35 briders on flat @ 3000mm ctrs max.
Hanging Beams @ 2400 mm max

Timber:	Dry Softwood	Roofing:	Metal Sheet 7 kg/m2	Wind / Ext / Int:	N2 / 0.9 / 0.2
Pitch:	7.5 deg	TC fix/res:	Metal Roof Battens @900c/900cFascia Type:	As per AS1684.1	
Overhang:	0 mm	Ceiling:	Pbd 10mm SupaSpan 7.1kg/m2	Ground Snow Load:	Sg = 0.0 kPa
Spacing:	600mm	BC fix/res:	Direct Fixed/600c	Structure Type:	House

SANDSKY DEVELOPMENTS

UNITS 7-10 LOT 156 FINUCANE RD ALEXANDRA HILLS

(UNITS 7-10 (BUILDING-3))

Detailer: LW
Date: 11/02/2014
Scale: 1:80
Job No: J16424

Form 15—Compliance Certificate for building Design or Specification

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details

Street address (include no., street, suburb / locality & postcode)

UNITS 7-10 LOT 156 FINUCANE ROAD

ALEXANDRA HILLS

Postcode

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER ROOF TRUSS SYSTEM – Supply only

All products are to be installed, fixed and braced in accordance with the specification published by Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004

General Property Design Details:

Wind Class : N2

Truss Centres : 600mm

Roof Material : Metal Sheet

Roof Pitch : 7.5 Deg

Ceiling Material : 10mm Supa Ceil Direct

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The prefabricated timber roof trusses supplied to property are manufactured and designed under licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design software programs. The roof truss design assumes the supporting structure is stable in its own right before the installation of the roof trusses.

All designed trusses and roof members utilize the following codes:

AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

ROOF TRUSS LAYOUTS

ENGINEERING REPORT

TIE DOWN REPORT

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated Trusses

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Leigh Walker

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. business hours

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

Date

27 June 2014

Right to Information Request

TrussCorp Pty Ltd

5,6,27 General Macarthur Place

Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

DATE: 27/06/2014

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

PROJECT IDENTIFICATION

Quote Number: **J16424**

Customer: **SANDSKY DEVELOPMENTS**

Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**

Structure Type: **House**

This is to certify that the prefabricated timber roof trusses and pre-cut hip end members supplied to the above project were manufactured using MULTINAIL metal connectors and detailed using MULTINAIL computer truss design programs, as per the Building Code of Australia (ASCB Volume 2-2012).

The roof truss design and detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses.

The specifications used in the design of the trusses were as follows:

ROOF SHAPE	: Standard	ROOFING	: Metal Sheet 7 kg/m2
TIMBER	: Dry Softwood	TC Fixing/Restraint	: Metal Roof Battens @900c/900c
SPACING	: 600 mm	CEILING	: Pbd 10mm SupaSpan 7.1kg/m2
FASCIA TYPE	: As per AS1684.1	BC Fixing/Restraint	: Direct Fixed/600c
WIND / EXT / INT	: N2 / 0.9 / 0.2	PITCH	: 7.5 / 7.5 deg
		OVERHANG	: 0 / 0

All designed trusses and pre-cut members utilize the following codes:

- AS/NZS 1170.0-2002: Structural Design Actions Part 0: General principles
- AS/NZS 1170.1-2002: Structural Design Actions Part 1: Permanent, imposed and other actions
- AS/NZS 1170.2-2002: Structural Design Actions Part 2: Wind actions
- AS/NZS 1170.3-2003: Structural Design Actions Part 3: Snow and ice actions
- AS 1720.1-2010: Timber structures Part 1: Design methods
- AS 1649-2001: Timber-Methods of test for mechanical fasteners and connectors
- AS 4100-1998: Steel Structures
- AS/NZS 4600-2005: Cold-formed steel structures

All trusses must be braced and erected in accordance with AS4440, Installation of nailplated timber trusses, in conjunction with all local building authority requirements, and any other supplied details.

SIGNATURE

NAME

POSITION

DATE

: **LEIGH WALKER**

: **DETAILER**

: **27/06/2014**

For detailed load information, including AC, Solar, Tank and Storage loads, refer to the detailed Engineering and Submission reports and Roof Layout.

TrussCorp Pty Ltd

DATE: 27/06/2014

5.6.27 General Macarth:Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

REACTION REPORT (Limit State Design)Quote Number: **J16424**
Customer: **SANDSKY DEVELOPMENTS**Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**
Structure Type: **House**

TRUSS DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)							

T1A	LeftHalf Stand	(4340)					
S1		0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2		4340	1.3	2.5	-2.6	2 Multi Grips	Ok / Ok
T2A	LeftHalf Stand	(4340)					
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T3A	LeftHalf Outer	(3390)					
S1		70	0.4	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		3415	0.3	0.6	-0.7	1 Multi Grip	Ok / Ok
T4A	LeftHalf Inner	(4340)					
S1		70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4365	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a	LeftHalf Stand	(2215)					
S1		0	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2		2215	0.2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a	LeftHalf Outer	(2215)					
S1		70	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a	Girder SC0	(6240)					
S1		70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2		6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a	LeftHalf Stand	(4910)					
S1		0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a	LeftHalf Stand	(4310)					
S1		0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a	LeftHalf Outer	(4310)					
S1		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a	LeftHalf Stand	(4340)					
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T12a	LeftHalf Outer	(3390)					

TRUSS DESCRIPTION		SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)								
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	Ok / Ok
T13a	LeftHalf Inner	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Ok / Ok
T14a	LeftHalf Stand	(9180)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Grips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)						
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)						
S1			0	0.3	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	1.3	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)						
S1			0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)						
S1			70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok

TrussCorp Pty Ltd

5,6,27 General Macarthur Place Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

BRACING AND INSTALLATION AS PER AS4440, DOCUMENTATION ENCLOSED

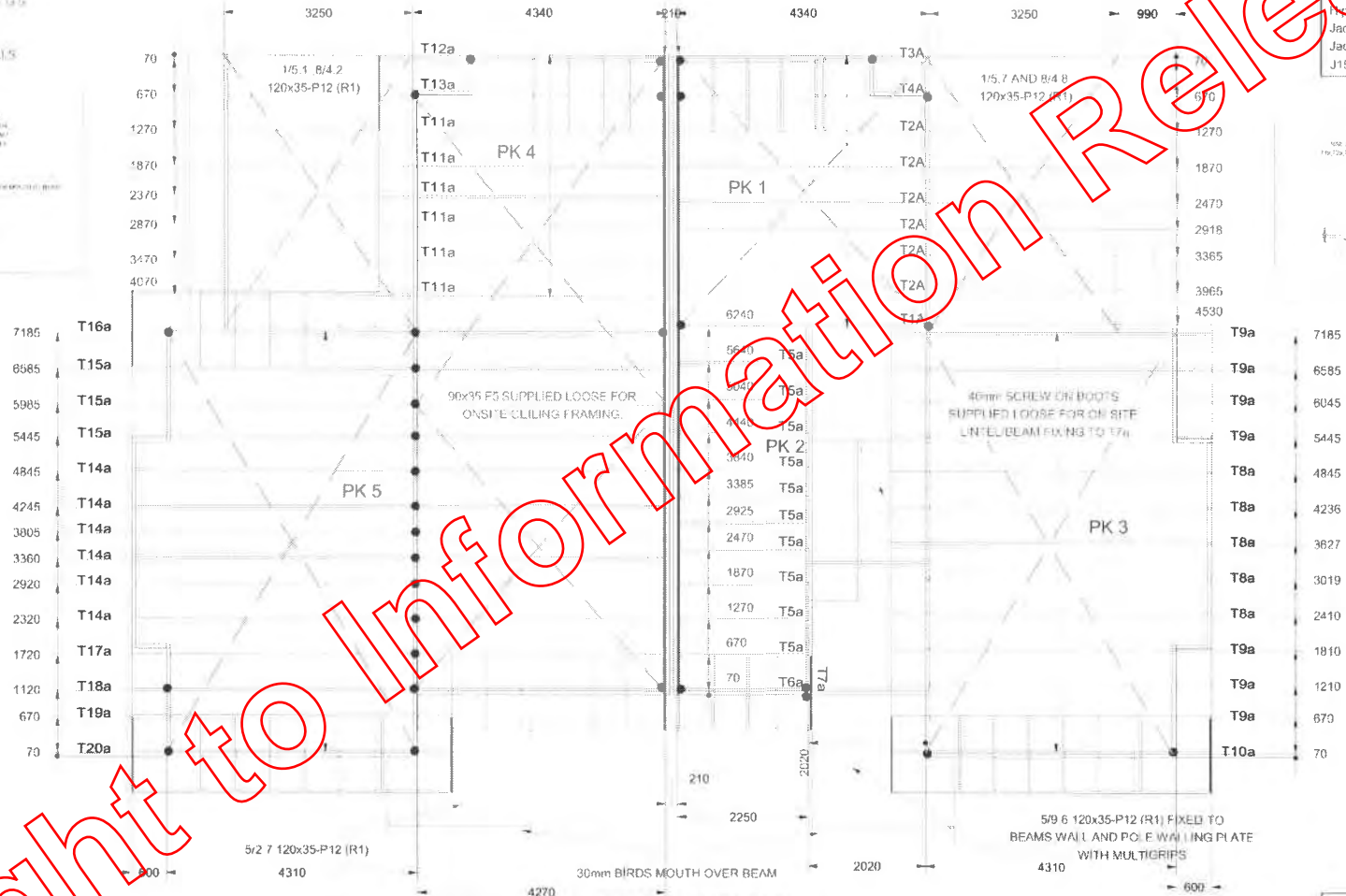
SET BACK MEASUREMENTS ARE FROM OUTSIDE FRAME TO FRONT FACE OF TRUSS

HIP RAFTER OVERHANGS TO BE STRUTTED BACK TO FRAME
OVERHANGS FOR CHIMNEY AND JACK RAFTERS 1000mm
TO BE PROPPED BACK TO FRAME WHERE NOTED

● CYCLONE TIES TO ALL HIP RAFTERS T/GT
● PROPPED OVER SHANGS
● POLE PLATE FIXINGS BY OTHERS
● SPECTRUM TIE PASMA
● = INTERNAL LOAD BEARING WALLS

85x85 POLE PLATE FIXED ON SITE TO
EACH BEAM WALL SOLID END JUST
AT CEILING HEIGHT

Truss Fixing
Std truss to Top Plate - 1 Multigrip
T/GT truss to Top Plate - 1 Cyclone Tie
T/GT truss to Top Plate - 1 Cyclone Tie
Hip to Top Plate - 1 Cyclone Tie
Hip to T/GT - 1 Cyclone Tie
Jack to Top Plate - 1 Multigrip
Jack to T/GT - 1 Multigrip
J150 - J2400 to H.p - 3/85 x 3.06 skew nails



ROOF BRACING IS A GUIDE ONLY. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL BRACING MEETS AS4440 FOR INSTALLATION OF
NAILPLATED TIMBER ROOF TRUSSES NO RECTIFICATION BACKCHARGES WILL BE ACCEPTED OR PAID FOR WITHOUT AN ORDER NUMBER ISSUED BY TRUSSCORP

Timber	Dry Softwood	Roofing	Metal Sheet 7 kg/m2	Wind / Ext / Int	N2 / 0.9 / 0.2
Pitch	7.5 deg	TC fix/res	Metal Roof Battens @900c/900c Fascia Type	As per AS1684.1	
Overhang	0 mm	Ceiling	Pbd 10mm SupaSpan 7.1kg/m2	Ground Snow Load	Sg = 0.0 kPa
Spacing	600 mm	BC fix/res	Direct Fixed/600c	Structure Type	House

SANDSKY DEVELOPMENTS (UNITS 7-10 (BUILDING-3))
UNITS 7-10 LOT 156 FINUCANE RD ALEXANDRA HILLS

70x35 briders on flat @ 3000mm c/c max
Hanging Beams @ 2400 mm max

Detailer: LW
Date: 11/02/2014
Scale: 1:80
Job No: J16424

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>UNITS 7-10 LOT 156 FINUCANE ROAD</p> <p>ALEXANDRA HILLS</p> <p>Postcode</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated?</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>TIMBER ROOF TRUSS SYSTEM – Supply only</p> <p>All products are to be installed, fixed and braced in accordance with the specification published by Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004</p> <p>General Property Design Details:</p> <p>Wind Class : N2 Truss Centres : 600mm</p> <p>Roof Material : Metal Sheet Roof Pitch : 7.5 Deg</p> <p>Ceiling Material : 10mm Supa Ceil Direct</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>The prefabricated timber roof trusses supplied to property are manufactured and designed under licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design software programs. The roof truss design assumes the supporting structure is stable in its own right before the installation of the roof trusses.</p> <p>All designed trusses and roof members utilize the following codes:</p> <p>AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>ROOF TRUSS LAYOUTS</p> <p>ENGINEERING REPORT</p> <p>TIE DOWN REPORT</p> <p>BUILDING AUTHORITY ROOF TRUSS CERTIFICATION</p> <p>All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated Trusses</p>

LOCAL GOVERNMENT USE ONLY

Name (Required)

Reference Number

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Leigh Walker

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. *business hours*

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

27 June 2014

TrussCorp Pty Ltd

5,6,27 General Macarthur Place

Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

DATE: 27/06/2014

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

PROJECT IDENTIFICATION

Quote Number: **J16424**

Customer: **SANDSKY DEVELOPMENTS**

Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**

Structure Type: **House**

This is to certify that the prefabricated timber roof trusses and pre-cut hip end members supplied to the above project were manufactured using MULTINAIL metal connectors and detailed using MULTINAIL computer truss design programs, as per the Building Code of Australia (ASCB Volume 2-2012).

The roof truss design and detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses.

The specifications used in the design of the trusses were as follows:

ROOF SHAPE	: Standard	ROOFING	: Metal Sheet 7 kg/m2
TIMBER	: Dry Softwood	TC Fixing/Restraint	: Metal Roof Battens @900c/900c
SPACING	: 600 mm	CEILING	: Pbd 10mm SupaSpan 7.1kg/m2
FASCIA TYPE	: As per AS1684.1	BC Fixing/Restraint	: Direct Fixed/600c
WIND / EXT / INT	: N2 / 0.9 / 0.2	PITCH	: 7.5 / 7.5 deg
		OVERHANG	: 0 / 0

All designed trusses and pre-cut members utilize the following codes:

- AS/NZS 1170.0-2002: Structural Design Actions Part 0: General principles
- AS/NZS 1170.1-2002: Structural Design Actions Part 1: Permanent, imposed and other actions
- AS/NZS 1170.2-2002: Structural Design Actions Part 2: Wind actions
- AS/NZS 1170.3-2003: Structural Design Actions Part 3: Snow and ice actions
- AS 1720.1-2010: Timber structures Part 1: Design methods
- AS 1649-2001: Timber-Methods of test for mechanical fasteners and connectors
- AS 4100-1998: Steel Structures
- AS/NZS 4600-2005: Cold-formed steel structures

All trusses must be braced and erected in accordance with AS4440, Installation of nailplated timber trusses, in conjunction with all local building authority requirements, and any other supplied details.

SIGNATURE : 

NAME : **LEIGH WALKER**

POSITION : **DETAILER**

DATE : **27/06/2014**

For detailed load information, including AC, Solar, Tank and Storage loads, refer to the detailed Engineering and Submission reports and Roof Layout.

TrussCorp Pty Ltd

DATE: 27/06/2014

5.6.27 General MacarthRedbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

REACTION REPORT (Limit State Design)Quote Number: **J16424**
Customer: **SANDSKY DEVELOPMENTS**Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**
Structure Type: **House**

TRUSS DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)							
T1A LeftHalf Stand (4340)							
S1		0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2		4340	1.3	2.5	-2.6	2 Multi Grips	Ok / Ok
T2A LeftHalf Stand (4340)							
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T3A LeftHalf Outer (3390)							
S1		70	0.4	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		3415	0.3	0.6	-0.7	1 Multi Grip	Ok / Ok
T4A LeftHalf Inner (4340)							
S1		70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4365	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a LeftHalf Stand (2215)							
S1		0	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2		2215	0.2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a LeftHalf Outer (2215)							
S1		70	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a Girder SC0 (6240)							
S1		70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2		6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a LeftHalf Stand (4910)							
S1		0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a LeftHalf Stand (4310)							
S1		0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a LeftHalf Outer (4310)							
S1		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a LeftHalf Stand (4340)							
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T12a LeftHalf Outer (3390)							

TRUSS DESCRIPTION		SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)								
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	Ok / Ok
T13a	LeftHalf Inner	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Ok / Ok
T14a	LeftHalf Stand	(9180)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Grips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)						
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)						
S1			0	0.3	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	1.3	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)						
S1			0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)						
S1			70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok

TrussCorp Pty Ltd

5,6,27 General Macarthur Place Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

BRACING AND INSTALLATION AS PER AS4440, DOCUMENTATION ENCLOSED

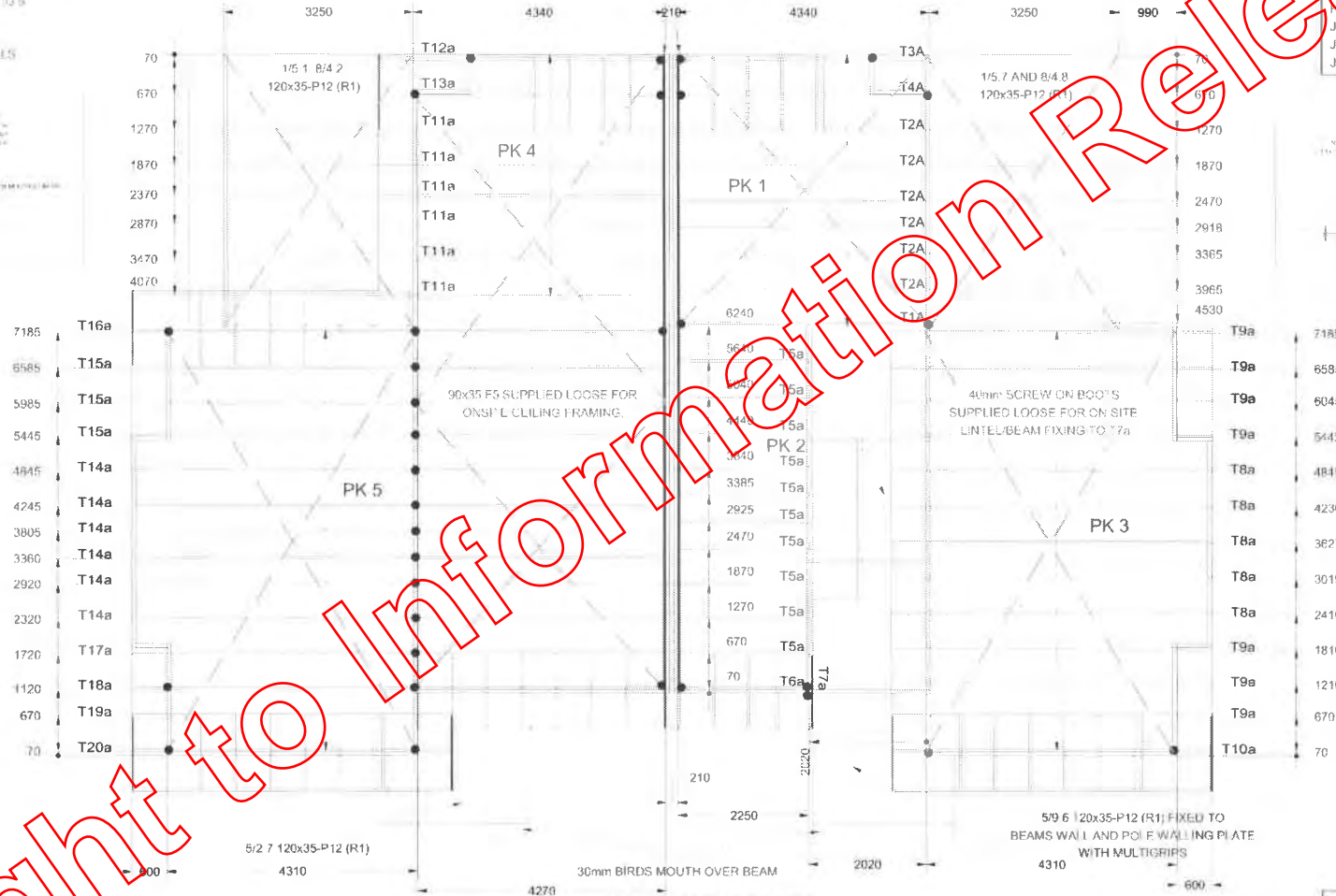
SET BACK MEASUREMENTS ARE FROM OUTSIDE FRAME TO FRONT FACE OF TRUSS

HIP RAFTER OVERHANGS TO BE STRUTTED BACK TO FRAME OVERHANGS FOR CREEPER AND JACK RAFTERS 100000 TO BE PROPPED BACK TO FRAME WHERE TIED

CYCLONE TIES TO ALL HIP SIDINGERS
PROPPED OVERHANGS
POLE PLATE FIXING BY OTHERS
SECTIONS TO FASCIA
INTERNAL LOAD BEARING WALLS

40x45 POLE PLATE FIXED ON SITE TO FLOOR BEAM WALLS BOLD END JOIST AT CEILING HEIGHT

● = 2 x 4 Multigrip
● = 2 x 4 Multigrip
Truss Fixing
Std Truss to Top Plate - 1 Multigrip
1/3 Truss to Top Plate - 1 Cyclone Tie
1/2 Truss to Top Plate - 1 Cyclone Tie
Hip to Top Plate - 1 Cyclone Tie
Hip to TG/IGT - 1 Cyclone Tie
Jack to Top Plate - 1 Multigrip
Jack to TG/IGT HTC - 1 Multigrip
J150 - J2400 to Hip - 3/8" x 3.06 skew nails



ROOF BRACING IS A GUIDE ONLY. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL BRACING MEETS AS4440 FOR INSTALLATION OF NAILPLATED TIMBER ROOF TRUSSES NO RECTIFICATION BACKCHARGES WILL BE ACCEPTED OR PAID FOR WITHOUT AN ORDER NUMBER ISSUED BY TRUSSCORP

Timber:	Dry Softwood	Roofing:	Metal Sheet 7 kg/m2	Wind / Ext / Int:	N2 / 0.9 / 0.2
Pitch:	7.5 deg	TC fix/res:	Metal Roof Battens @900c/900c	Fascia Type:	As per AS1684.1
Overhang:	0 mm	Ceiling:	Pbd 10mm SupaSpan 7.1kg/m2	Ground Snow Load:	Sg = 0.0 kPa
Spacing:	600 mm	BC fix/res:	Direct Fixed/600c	Structure Type:	House

SANDSKY DEVELOPMENTS (UNITS 7-10 (BUILDING-3))
UNITS 7-10 LOT 156 FINUCANE RD ALEXANDRA HILLS

Detailer: LW
Date: 11/02/2014
Scale: 1:80
Job No: J16424

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) BUILDING SET OUT</p>	<p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified (e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>I hereby certify that we have set out the footings for the buildings under construction at the below mentioned site in accordance with the site and building plans supplied and instructed by Sandsky Developments on 12/02/2014. The set out has been placed and marked exclusively for the alignment of the external face of brickwork of the ground floor of the proposed dwelling. We accept no responsibility for any construction works in relation to mistakes, misprints or discrepancies in the building plans. It is understood that the set out is checked by the builder for any signs of disturbance or discrepancy prior to construction.</p>
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>156 Finucane Road</p> <p>ALEXANDRA HILLS</p> <p>QLD Postcode 4161</p> <p>Lot & plan details (Attach list if necessary)</p> <p>Lot 40 on RP79330</p> <p>In which local government area is the land situated?</p> <p>Brisbane City Council</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Triplex</p>	<p>Class of building / structure</p> <p>2</p>

LOCAL GOVERNMENT USE ONLY

REFERENCE NUMBERS

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Building set out in relation to setbacks to boundaries & building footprint.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with Architectural Building Plans;

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

John Marsson & Associates Pty Ltd, Building Plans for Job # 12-05

Revision: A

(Our Job # 7061)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (*in full*)

Andrew Vincent Corfield

Company name *if applicable*

All Points Surveys Pty Ltd

Contact person

Andrew Corfield

Phone no. *business hours*

Mobile no.

Fax no.

0428 487 928

Email address

andrew@allpointssurveys.com.au

Postal address

PO Box 1046

Beenleigh Qld

Postcode 4207

Licence class

Licence number

Graduate Surveyor (B A Sc - Surv)

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

28/02/2014

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .						
1. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input checked="" type="checkbox"/> Inspection Certificate for <input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____ <input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____ WATERPROOFING _____ </div> <div style="width: 50%; text-align: right;"> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers". </div> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Waterproofing to 4 Shower Trays</td></tr> <tr><td>Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry</td></tr> <tr><td>Balconies</td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>		Waterproofing to 4 Shower Trays	Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry	Balconies		
Waterproofing to 4 Shower Trays							
Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry							
Balconies							
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (include no., street, suburb / locality & postcode) Lot 40, 156 Building 3 (U7-10) Finucane Road Alexandra Hills Postcode Lot & plan details (Attach list if necessary) _____ In which local government area is the land situated? G.C.C.C.						
3. Building/structure description	Building/structure description Dwelling _____ _____ _____ _____	Class of building / structure 1a _____ _____ _____ _____					
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;">LOCAL GOVERNMENT USE ONLY</td> <td style="width: 60%;"></td> </tr> <tr> <td>DATE RECEIVED</td> <td>REFERENCE NUMBER/S</td> </tr> </table>			LOCAL GOVERNMENT USE ONLY		DATE RECEIVED	REFERENCE NUMBER/S	
LOCAL GOVERNMENT USE ONLY							
DATE RECEIVED	REFERENCE NUMBER/S						

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate. e.g. all structural aspects of the steel roof beams.

Waterproofing to 4 Shower Trays

Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry

Balconies

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2

B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

0407119950

Fax no.

Email address

pcwaterproofing@outlook.com

Postal address

128 Cabarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of SDC MP 3.4.

Signature

Date

12/5/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Electrical

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Smoke Detectors x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 3 (U7-16) Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a + 10

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Smoke Detectors – Mains Wired x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

A & N Contracts

Company name if applicable

A & N Electrical

Contact person

Andrew Brown

Phone no. business hours

5596 6221

Mobile no.

9433 412 040

Fax no.

5596 6516

Email address

andrew@ancontracts.com.au

Postal address

PO BOX 425

Nerang

Postcode: 4221

Licence class

Electrical Contractors

Licence number

66639

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Andrew Brown

Date



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Electrical

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Smoke Detectors x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

156 Building 3 (U7-10) Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a + 10

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Smoke Detectors – Mains Wired x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER

ADMINISTRATIVE

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

A & N Contracts

Company name if applicable

A & N Electrical

Contact person

Andrew Brown

Phone no. business hours

5596 6221

Mobile no.

0433 412 040

Fax no.

5596 6516

Email address

andrew@ancontracts.com.au

Postal address

PO BOX 425

Nerang

Postcode: 4221

Licence class

Electrical Contractors

Licence number

66639

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Andrew Brown

Date



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Energy Efficiency

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE ISSUED

REFERENCE NUMBERS

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Building was constructed as per Energy Efficiency Report

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

0413 519 163

Fax no.

1300 655 230

Email address

admin@sandsky.com.au

Postal address

PO BOX 3353

Helensvale TC QLD

Postcode: 4212.

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Date

27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) **Drywall – Internal Linings**

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd,

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to 10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required RW (RW+ CTR) 50 (42)

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required RW (RW+ CTR) 55 (46)

Insulation Installed to **AS/NZS4859.1-2002**

Wall and Ceiling Materials used on building comply with the BSA specification C1.10a

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .						
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input type="checkbox"/> Aspect of building work (indicate the aspect) _____</p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the license class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing license is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <table border="1" data-bbox="502 952 1444 1176"> <tr><td>INSTALLATION OF INSULATION TO WALLS AND CEILINGS</td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>		INSTALLATION OF INSULATION TO WALLS AND CEILINGS				
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<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (Include no., street, suburb / locality & postcode)</p> <table border="1" data-bbox="502 1243 1444 1332"> <tr><td>LOT 40 FINUCAN ROAD – BLD 3 – UNITS 7, 8, 9 & 10</td></tr> <tr><td>ALEXANDRA HILLS</td></tr> </table> <p>Lot & plan details (Attach list if necessary)</p> <table border="1" data-bbox="502 1366 1444 1411"> <tr><td> </td></tr> </table> <p>In which local government area is the land situated?</p> <table border="1" data-bbox="502 1444 1444 1489"> <tr><td> </td></tr> </table>		LOT 40 FINUCAN ROAD – BLD 3 – UNITS 7, 8, 9 & 10	ALEXANDRA HILLS			
LOT 40 FINUCAN ROAD – BLD 3 – UNITS 7, 8, 9 & 10							
ALEXANDRA HILLS							
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Building/structure description	Class of building / structure						
<input type="checkbox"/> A single dwelling being a detached house or one or more attached dwellings <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> 	1A <hr/> <hr/> <hr/> <hr/>						

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER IS

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

VAPOUR PERM. WRAP TO EXTERNAL WALLS INCLUDING GABLES
R1.5 INSULATION BATTS TO EXTERNAL WALLS
14kg – 50mm INSULATION TO INTERNAL WALLS AS PER PLAN
14kg – 75 mm INSULATION TO DUCTS AS PER PLAN
R2.5 INSULATION TO CEILINGS AS PER PLAN
R2.5 INSULATION TO CEILINGS BETWEEN UNITS AS PER PLAN

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

The above product meets the current BCA, Australian Standards AS/NZS 4859.1

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

ACCESS INSULATION PTY LTD

Company name if applicable

Access Insulation Pty Ltd

Contact person

David Comerford (Director)

Phone no. business hours

07 3809 0000

Mobile no.

0438 222 377

Fax no.

07 3809 0777

Email address

info@accessinsulation.com.au

Postal address

UNIT 1/62 EASTERN ROAD

BROWNS PLAINS

Postcode 4118

Licence class

Insulation, Ventilation & Skylight Installation

Licence number

BSA 743951

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

David Comerford

Date

09/04/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier

An aspect of building work is part of a stage (e.g. waterproofing)

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____

☒ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Install Metal Roof Sheetting.

Install Fascia & Gutter

Install Flashings

2. Property description

The description must identify all land the subject of the application

The lot & plan details (eg SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details

Street address (include no., street, suburb / locality & postcode)

Lot 40 / 156 Finucane Road / Building 3

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

In which local government area is the land situated?

Brisbane

3. Building/structure description

Building/structure description

RESIDENTIAL

Class of building / structure

CLASS 1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Custom Orb Roof Sheet

Metal Fascia and Gutter

Metal Battens

Apron Flashings, Barge and Parpet Capping Colorbond Steel

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER

Signature of Building Certifier

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In Accordance with A.S 1562.1

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steven Wyndham

Company name if applicable

Wyndham Metal Roofing

Contact person

Steven wyndham

Phone no. business hours

07 5563 2621

Mobile no.

0421 673 258

Fax no.

07 5563 2631

Email address

admin@wmroofing.com.au

Postal address

Unit 9/14 Activity Crescent

Molendinar

Postcode 4214

Licence class

Roof and Wall Cladding

Licence number

1100181

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

27/06/2014





ALL PURPOSE PEST CONTROL PTY LTD
10/42 Burnside Rd, Yatala 4207
Po Box 254, Beenleigh 4207
ABN 14 320 866 516 - ACN 130 494 389
Ph: 3382 7378 Fax: 3382 0355

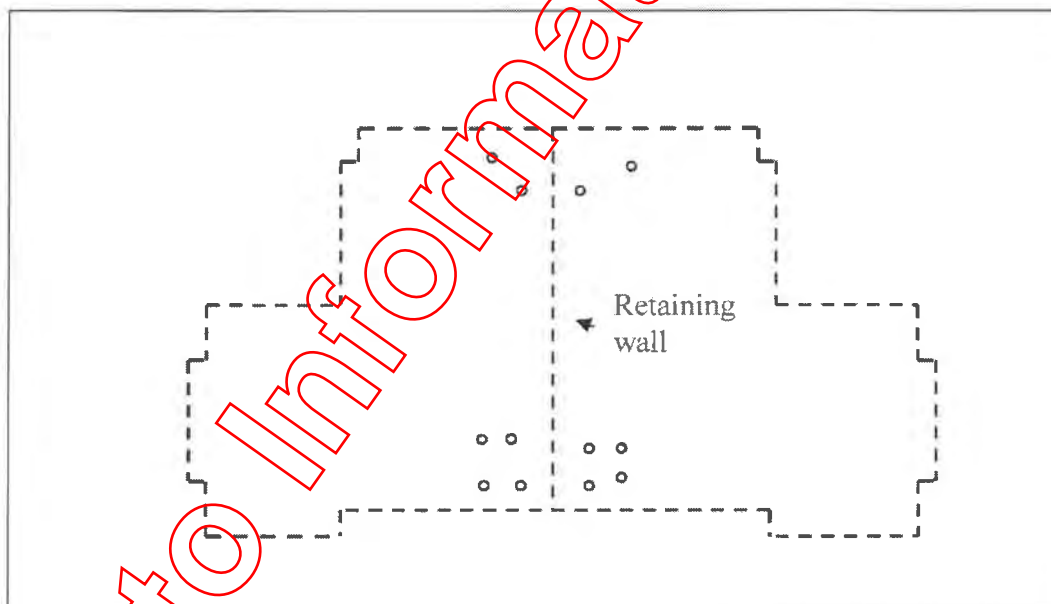
Certificate of Application / Completion of Termite Control Agent in accordance with Australian Standard AS 3660.1

Builders Name: Sandsky Developments **Property Address:** Units 7, 8, 9 & 10 Lot 40 #156 (Building 3) Finucane Rd, Alexandra Hills

Type of property: New Home: ☒ Extension / Renovation: ☐ Other: ☐

PERIMETER		PENETRATIONS		OTHER	
HomeGuard TMB .2mm		HomeGuard Strips		Brick Pier 350 X 350	
Home Guard Blue. 25mm	65	HomeGuard 100mm	12	Brick Pier 350 X 390	
HomeGuard DPC .5mm		HomeGuard 80mm		Retaining Wall	12 sq M
		HomeGuard 40mm			

Plan of Building Showing Treated Areas (Not to Scale)
Legend: — = Perimeter Treated ○ = Penetrations Treated □ = Treated Brick Piers



I certify that the above application of a termite control agent has been applied in accordance with AS 3660.1.

Warranty / Certificate Number #
032014B7SJ

Date Completed: 12.03.2014

Installers Name: Warren O'Dare

Signature:



Terms and Conditions

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this Certificate whether in whole or in part does so at their own risk.

1. A Termite Protection Program is dependent upon the provision of a complete treated soil barrier around the structure(s) using approved Termite Control Agents. If this treated soil barrier is in any way disturbed then re-entry by subterranean termites is possible.
2. With Pre-Construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS 3660.1 before the treatment is commenced.
3. The Australian Standard AS 3660 highly recommends inspections at intervals not exceeding 12 months. Where the termite risk is high or the building type is susceptible to termite attack, more frequent inspection (3-6 months) should be undertaken. Termites can build around barriers but they can then be detected more readily during routine inspections.
4. No liability is accepted for any treatment failure unless all treatment requirements have been completed and a Certificate of Completion issued.
5. This treatment only applies to the protection of the structure(s) detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against any other pests. In particular it does not provide any protection against "drywood termites", FAMILY: KALODIPTERMITIDAE.
6. No responsibility is accepted, or warranty implied, for any timber damage that may occur as the result of past, current or future termite activity.
7. This termite protection program can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awnings, verandahs, etc), introducing infested materials, disturbing external gardens, pathways, etc adjacent to the areas protected and through establishing lawns &/or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the termite protection barrier). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the soil barrier is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered up by garden materials eg soil, pine bark or similar. Also air vents or weep holes must never be blocked.
9. Do not use untreated timbers for garden beds or retaining walls as they may attract termites.
10. In the event of any controversy or claim arising out of, or relating to this Certificate, it will be settled by arbitration in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

VERY IMPORTANT

The completion of this Certificate does not in itself certify that the structure treated overleaf has been protected in accordance with AS 3660.

A Certificate of Completion must be provided confirming that all elements of the Termite Treatment Program in accordance with AS 3660 have been completed.

IMPORTANT INFORMATION: The Australian Standard AS 3660 *Protection of buildings from subterranean termites* provides for minimising the risks to buildings from termite attack, and methods for treatment to control termite infestations. The provision of a complete termite barrier will impede concealed termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections.

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details

Street address (include no., street, suburb / locality & postcode)

U 7 - 10 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 3

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams

HomeGuard Termite Barrier to: Perimeter, Pole Plate,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255

Building Code of Australia As 3660.1-2000

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 4 of QDC MP 3.4

Signature

Date

18/03/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 1b building or

(indicate the stage) Practical Completion

☒

Aspect of building work

(indicate the aspect)

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 FINUCANE ROAD

ALEXANDRA HILLS QLD

Postcode: 4161

Lot & plan details (Attach list if necessary)

LOT: 40

RP: 79330

In which local government area is the land situated?

REDLAND CITY COUNCIL

3. Building description

Lift off hinges installed

Building description

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with National Construction Code

AS1720 TIMBER STRUCTURES CODE

AS1684 TIMBER FRAMING CODE

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

MATTHEW YOURELL

Company name if applicable

NEWPORT CONSULTING ENGINEERS

Contact person

MATTHEW YOURELL

Phone no. business hours

(07) 3252 9822

Mobile no.

0490 782 677

Fax no.

(07) 3252 9844

Email address

myourell@dnce.com.au

Postal address

208 CONSTANCE STREET

FORTITUDE VALLEY

Postcode: 4006

Licence class

RPEQ

Licence number

8295

Date approval to inspect received from building certifier

09.06.2014

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Matthew Yourell

Date

27/06/14



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or section 32,35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .		
1. Indicate the type of certificate. The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	<input checked="" type="checkbox"/> Inspection Certificate for Stage of building work - Section 24 (4) <input checked="" type="checkbox"/> Inspection Certificate for Aspect of building work - Shower Screen Products <input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers". Supply & fix shower products		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address Sandsky Developments Pty Ltd FINUCANE RD 156 (UNITS 7-10) TJ 0434 688 630 ALEXANDRA HILLS QLD 4161 Lot & plan details (attach is necessary) In which local government area is the land		
3. Building /structure description	Building/structure description	House	Class of building/structure Class 1
4. Description of component/s certified. Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof beams.	Supply & fix showers, mirrors and mirror robe doors.		
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Glazed as per AS1288		
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.			
7. Building certifier reference number and development approval number	Building certifier reference number	Development approval number	
8. Building Certifier or competent person details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) DENNIS PARSONS Company name (if applicable) BRADNAMS WINDOWS & DOORS Contact person Phone no. business hours Mobile no. Fax no. (07) 3131 3777 (07) 3131 3888 Email address brisbanesales@bradnams.com.au Postal address 136 ZILLMERE ROAD BOONDALL Postcode 4034 Licence class Licence number Date approval to inspect received from building certifier Glass Glazing & Aluminium 58885		
9. Signature of building certifier, competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC of MP 3.4.	Signature Date  30/06/14		

LOCAL GOVERNMENT USE ONLY

Date Received	Reference Number/s	Version 4 March 2013
The Building Act 1975 is administered by the Department of Housing and Public Works		



**Queensland
Government**

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____

Sustainable Building Options _____

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Sustainable Building Options and Water Savings Target

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Dwelling

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Lighting, Plumbing Fixtures and Rainwater Tanks

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

QDC MP4.1 and 4.2

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Architectural Plans

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

Fax no.

1300 655 230

Email address

Postal address

PO Box 3353

Helensvale TC

Postcode 4212

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the *Building Act 1975*.

Signature

Date

27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd,

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBERS

ISSUED BY

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required **RW (RW+ CTR) 50 (42)**

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required **RW (RW+ CTR) 55 (46)**

Insulation Installed to AS/NZS4859.1-2002

Wall and Ceiling Materials used on building comply with the BSA specification C1-10a

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans,

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014



Inspection Certificate /Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the Building Act 1975 and/or section 32,35B, 43, 44 and 47 of the Building Regulation 2006.		
1. Indicate the type of certificate. The stages of assessable building work are listed in section 24 of the Building Regulation 2006 or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	<input checked="" type="checkbox"/> Inspection Certificate for Stage of building work - Section 24 (4) <input checked="" type="checkbox"/> Inspection Certificate for Aspect of building work - Shower Screen Products <input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the Queensland Building Services Authority Regulation 2003 for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers". Supply & fix shower products		
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address Sandsky Developments Pty Ltd FINUCANE RD 156 (UNITS 7-10) TJ 0434 688 630 ALEXANDRA HILLS QLD 4161 Lot & plan details (attach is necessary) In which local government area is the land		
3. Building /structure description	Building/structure description	House	Class of building/structure Class 1
4. Description of component/s certified. Clearly describe the extent of work covered by this certificate e.g. all structural aspects of the steel roof beams.	Supply & fix showers, mirrors and mirror robe doors.		
5. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Glazed as per AS1288		
6. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.			
7. Building certifier reference number and development approval number	Building certifier reference number	Development approval number	
8. Building Certifier or competent person details A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection. A competent person is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) DENNIS PARSONS Company name (if applicable) BRADNAMS WINDOWS & DOORS Contact person Phone no. business hours (07) 3131 3777 Mobile no. Fax no. (07) 3131 3888 Email address brisbanesales@bradnams.com.au Postal address 136 ZILLMERE ROAD BOONDALL Postcode 4034 Licence class Glass Glazing & Aluminium Licence number 58885 Date approval to inspect received from building certifier		
9. Signature of building certifier, competent person or QBSA licensee Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC of MP 3.4.	Signature  Date 30/06/14		

LOCAL GOVERNMENT USE ONLY

Date Received

Reference Number/s

Version 4
March 2013

The Building Act 1975 is administered by the
Department of Housing and Public Works



Queensland
Government

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

Practical Completion

☒

Aspect of building work

(indicate the aspect)

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

156 FINUCANE ROAD

ALEXANDRA HILLS QLD

Postcode: 4161

Lot & plan details (Attach list if necessary)

LOT: 40

RP: 79390

In which local government area is the land situated?

REDLAND CITY COUNCIL

3. Building description

Lift off hinges installed

Building description

Class of building / structure

1A

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

TIMBER BEAM TO STEEL POST CONNECTIONS ON ALL DECKS ARE AS PER STANDARD

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 1/0
Version 2: 02/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with National Construction Code

AS1720 TIMBER STRUCTURES CODE

AS1684 TIMBER FRAMING CODE

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

MATTHEW YOURELL

Company name if applicable

NEWPORT CONSULTING ENGINEERS

Contact person

MATTHEW YOURELL

Phone no. business hours

(07) 3252 9822

Mobile no.

0400 782 677

Fax no.

(07) 3252 9844

Email address

myourell@dnce.com.au

Postal address

208 CONSTANCE STREET

FORTITUDE VALLEY

Postcode: 4006

Licence class

RPEQ

Licence number

8295

Date approval to inspect received from building certifier

09.06.2014

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Matthew Yourell

Date

27/06/14





PEST - CONTROL

Certificate of Application / Completion of Termite Control Agent in accordance with Australian Standard AS 3660.1

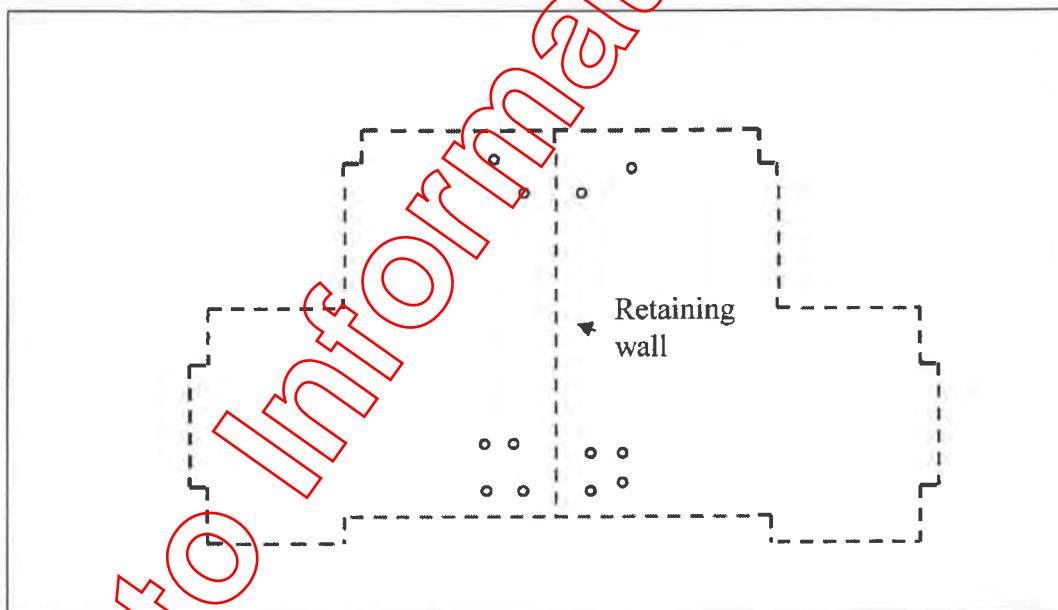
ALL PURPOSE PEST CONTROL PTY LTD
10/42 Burnside Rd, Yatala 4207
Po Box 254, Beenleigh 4207
ABN 14 320 866 516 - ACN 130 494 389
Ph: 3382 7378 Fax: 3382 0355

Builders Name: Sandsky Developments **Property Address:** Units 7, 8, 9 & 10 Lot 40 #156 (Building 3) Finucane Rd, Alexandra Hills

Type of property: New Home: ☒ Extension / Renovation: ☐ Other: ☐

PERIMETER		PENETRATIONS		OTHER	
HomeGuard TMB .2mm		HomeGuard Strips		Brick Pier 350 X 350	
Home Guard Blue. 25mm	65	HomeGuard 100mm	12	Brick Pier 350 X 390	
HomeGuard DPC .5mm		HomeGuard 80mm		Retaining Wall	12 sq M
		HomeGuard 40mm			

Plan of Building Showing Treated Areas (Not to Scale)
Legend: -- = Perimeter Treated ○ = Penetrations Treated □ = Treated Brick Piers



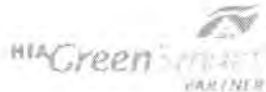
I certify that the above application of a termite control agent has been applied in accordance with AS 3660.1.

Installers Name: Warren O'Dare

Warranty / Certificate Number #
032014B7SJ

Date Completed: 12.03.2014

Signature:



Terms and Conditions

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this Certificate whether in whole or in part does so at their own risk.

1. A Termite Protection Program is dependent upon the provision of a complete, treated soil barrier around the structure(s) using approved Termite Control Agents. If this treated soil barrier is in any way disturbed then re-entry by subterranean termites is possible.
2. With Pre-Construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS 3660.1 before the treatment is commenced.
3. The Australian Standard AS 3660 highly recommends inspections at intervals not exceeding 12 months. Where the termite risk is high or the building type is susceptible to termite attack, more frequent inspection (3-6 months) should be undertaken. Termites can build around barriers but they can then be detected more readily during routine inspections.
4. No liability is accepted for any treatment failure unless all the treatment requirements have been completed and a Certificate of Completion issued.
5. This treatment only applies to the protection of the structure(s) as detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against any other pests. In particular it does not provide any protection against 'drywood termites', FAMILY: KALOTERMITIDAE.
6. **No responsibility is accepted, or warranty implied, for any timber damage that may occur as the result of past, current or future termite activity.**
7. This termite protection program can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awnings, verandahs, etc), introducing infested materials, disturbing external gardens, pathways, etc adjacent to the areas protected and through establishing lawns &/or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the termite protection barrier). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the soil barrier is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered up by garden materials eg soil, pine bark or similar. Also air vents or weep holes must never be blocked.
9. Do not use untreated timbers for garden beds or retaining walls as they may attract termites.
10. In the event of any controversy or claim arising out of, or relating to this Certificate, it will be settled by arbitration, in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

VERY IMPORTANT

The completion of this Certificate does not in itself certify that the structure treated overleaf has been protected in compliance with AS 3660.

A Certificate of Completion must be provided confirming that all elements of the Termite Treatment Program in accord with AS 3660 have been completed.

IMPORTANT INFORMATION: The Australian Standard AS 3660 *Protection of buildings from subterranean termites* provides details for minimising the risks to buildings from termite attack, and methods for treatment to control termite infestations. The provision of a complete termite barrier will impede concealed termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspection.

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 7 - 10 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 3

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Perimeter, Pole Plate,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

18/03/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____

☒ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Install Metal Roof Sheetting,

Install Fascia & Gutter

Install Flashings

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

Lot 40 /156 Finucane Road, Building 3

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

In which local government area is the land situated?

Brisbane

3. Building/structure description

Building/structure description

RESIDENTIAL

Class of building / structure

CLASS 1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Custom Orb Roof Sheet

Metal Fascia and Gutter

Metal Battens

Apron Flashings, Barge and Parpet Capping Colorbond Steel

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 12
Version 3 11/11

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In Accordance with A.S 1562.1

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steven Wyndham

Company name if applicable

Wyndham Metal Roofing

Contact person

Steven wyndham

Phone no. business hours

07 5563 2621

Mobile no.

0421 678 255

Fax no.

07 5563 2631

Email address

admin@wmroofing.com.au

Postal address

Unit 9/14 Activity Crescent,

Molendinar

Postcode 4214

Licence class

Roof and Wall Cladding

Licence number

1100181

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

27/06/2014



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input type="checkbox"/> Aspect of building work (indicate the aspect) _____</p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the license class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing license is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>INSTALLATION OF INSULATION TO WALLS AND CEILINGS</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>LOT 40 FINUCAN ROAD – BLD 3 – UNITS 7, 8, 9 & 10</p> <p>ALEXANDRA HILLS</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>_____</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>A single dwelling being a detached house or one or more attached dwellings</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Class of building / structure</p> <p>1A</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED		REFERENCE NUMBER/S	
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The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

VAPOUR PERM. WRAP TO EXTERNAL WALLS INCLUDING GABLES
R1.5 INSULATION BATTS TO EXTERNAL WALLS
14kg – 50mm INSULATION TO INTERNAL WALLS AS PER PLAN
14kg – 75 mm INSULATION TO DUCTS AS PER PLAN
R2.5 INSULATION TO CEILINGS AS PER PLAN
R2.5 INSULATION TO CEILINGS BETWEEN UNITS AS PER PLAN

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

The above product meets the current BCA, Australian Standards AS/NZS 4859.1

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A **competent person** must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

ACCESS INSULATION PTY LTD

Company name if applicable

Access Insulation Pty Ltd

Contact person

David Comerford (Director)

Phone no. business hours

07 3809 0000

Mobile no.

0438 222 377

Fax no.

07 3809 0777

Email address

info@accessinsulation.com.au

Postal address

UNIT 1/62 EASTERN ROAD

BROWNS PLAINS

Postcode 4118

Licence class

Insulation, Ventilation & Skylight Installation

Licence number

BSA 743951

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

David Comerford

Date

09/04/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd.

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of components certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to 10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3.1 (11)

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required RW (RW+ CTR) 50 (42)

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required RW (RW+ CTR) 55 (46)

Insulation Installed to **AS/NZS4859.1-2002**

Wall and Ceiling Materials used on building comply with the BSA specification C1.10a

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Energy Efficiency

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2.02/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Building was constructed as per Energy Efficiency Report
In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

9413 519 163

Fax no.

1300 655 230

Email address

admin@sandsky.com.au

Postal address

PO BOX 3353

Helensvale TC QLD

Postcode: 4212.

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee
☒ **Inspection Certificate for stage or aspect**
☐ **QBSA Licensee Aspect Certificate**

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Date

27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This is to be used for the purposes of section 10(c) of the *Building Act 1975* and/or section 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

☐

Inspection Certificate for

☐

structure)

Stage of building work (for single detached class 1a or class 10 building or

(indicate the stage)

☒

Aspect of building work

(indicate the aspect)

Electrical

☐

QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, eg scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Smoke Detectors x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building description

Building description

Dwelling

Class of building / structure

1a + 10

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Smoke Detectors – Mains Wired x 2

80% Energy Efficient Lighting

Installed and tested to A.S. 3786

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 2.12/08

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier or competent person details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

A & N Contracts

Company name if applicable

A & N Electrical

Contact person

Andrew Brown

Phone no. business hours

5596 6221

Mobile no.

0433 412 040

Fax no.

5596 6516

Email address

andrew@ancontracts.com.au

Postal address

PO BOX 425

Nerang

Postcode: 4221

Licence class

Electrical Contractors

Licence number

66639

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

☒ Inspection Certificate for stage or aspect

☐ QBSA Licensee Aspect Certificate

☐ A person who may under s43 give a QBSA licensee certificate for the aspect if it complies with the requirements for self assessable building work under the *Building Regulation 2006* s44.

Signature

Date



Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .													
1. Indicate the type of certificate The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier. An aspect of building work is part of a stage (e.g. waterproofing).	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input checked="" type="checkbox"/> Inspection Certificate for <input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____ <input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) <u>WATERPROOFING</u> </div> <div style="width: 50%; text-align: right;">  </div> </div> <input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers". <table border="1" style="width: 100%; margin-top: 10px;"> <tr><td>Waterproofing to 4 Shower Trays</td></tr> <tr><td>Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry</td></tr> <tr><td>Balconies</td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>		Waterproofing to 4 Shower Trays	Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry	Balconies									
Waterproofing to 4 Shower Trays														
Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry														
Balconies														
2. Property description The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.	Street address (include no., street, suburb / locality & postcode) <table border="1" style="width: 100%; margin-bottom: 5px;"> <tr><td colspan="2">Lot 40, 156 Building 3 (U7-10) Finucane Road</td></tr> <tr> <td style="width: 60%;">Alexandra Hills</td> <td style="width: 40%;">Postcode</td> </tr> </table> Lot & plan details (Attach list if necessary) <table border="1" style="width: 100%; margin-bottom: 5px;"> <tr><td> </td></tr> </table> In which local government area is the land situated? <table border="1" style="width: 100%; margin-bottom: 5px;"> <tr><td>G.C.C.C.</td></tr> </table>		Lot 40, 156 Building 3 (U7-10) Finucane Road		Alexandra Hills	Postcode		G.C.C.C.						
Lot 40, 156 Building 3 (U7-10) Finucane Road														
Alexandra Hills	Postcode													
G.C.C.C.														
3. Building/structure description	<table border="1" style="width: 100%;"> <thead> <tr> <th style="width: 70%;">Building/structure description</th> <th style="width: 30%;">Class of building / structure</th> </tr> </thead> <tbody> <tr> <td>Dwelling</td> <td>1a</td> </tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>		Building/structure description	Class of building / structure	Dwelling	1a								
Building/structure description	Class of building / structure													
Dwelling	1a													
LOCAL GOVERNMENT USE ONLY <table border="1" style="width: 100%;"> <tr> <td style="width: 40%;">DATE RECEIVED</td> <td style="width: 60%;">REFERENCE NUMBER/S</td> </tr> <tr> <td> </td> <td> </td> </tr> </table>			DATE RECEIVED	REFERENCE NUMBER/S										
DATE RECEIVED	REFERENCE NUMBER/S													

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Waterproofing to 4 Shower Trays

Wet Area Perimeter Flashing & Floor Areas to Bathroom, Ensuite, WC & Laundry

Balconies

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2

B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

Fax no.

0407119950

Email address

pcwaterproofing@outlook.com

Postal address

128 Cabarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14

The Building Act 1975 is administered by the
Department of Housing and Public Works



Queensland
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Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .					
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) BUILDING SET OUT</p> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <div style="border: 1px solid black; padding: 5px;"> <p>I hereby certify that we have set out the footings for the buildings under construction at the below mentioned site in accordance with the site and building plans supplied and instructed by Sandsky Developments on 12/02/2014. The set out has been placed and marked exclusively for the alignment of the external face of brickwork of the ground floor of the proposed dwelling. We accept no responsibility for any construction works in relation to mistakes, misprints or discrepancies in the building plans. It is understood that the set out is checked by the builder for any signs of disturbance or discrepancy prior to construction.</p> </div>					
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>156 Finucane Road ALEXANDRA HILLS QLD Postcode 4161</p> <p>Lot & plan details (Attach list if necessary)</p> <p>Lot 40 on RP79330</p> <p>In which local government area is the land situated?</p> <p>Brisbane City Council</p>					
<p>3. Building/structure description</p>	<table border="1"> <tr> <td data-bbox="467 1630 1150 1765">Building/structure description</td> <td data-bbox="1150 1630 1484 1765">Class of building / structure</td> </tr> <tr> <td data-bbox="467 1765 1150 1910">Triplex</td> <td data-bbox="1150 1765 1484 1910">2</td> </tr> </table>		Building/structure description	Class of building / structure	Triplex	2
Building/structure description	Class of building / structure					
Triplex	2					

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Building set out in relation to setbacks to boundaries & building footprint.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with Architectural Building Plans;

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

John Marsson & Associates Pty Ltd, Building Plans for Job # 12-05

Revision: A

(Our Job # 7061)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Andrew Vincent Corfield

Company name if applicable

All Points Surveys Pty Ltd

Contact person

Andrew Corfield

Phone no. business hours

Mobile no.

Fax no.

0428 487 928

Email address

andrew@allpointssurveys.com.au

Postal address

PO Box 1046

Beenleigh Qld

Postcode 4207

Licence class

Graduate Surveyor (B A Sc - Surv)

Licence number

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

28/02/2014

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (e.g. SP / RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>UNITS 7-10 LOT 156 FINUCANE ROAD</p> <p>ALEXANDRA HILLS</p> <p>Postcode</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated?</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>TIMBER ROOF TRUSS SYSTEM – Supply only</p> <p>All products are to be installed, fixed and braced in accordance with the specification published by Multinail Australia Ltd and in accordance with the Australian Standard AS4440-2004</p> <p>General Property Design Details:</p> <p>Wind Class : N2 Truss Centres : 600mm</p> <p>Roof Material : Metal Sheet Roof Pitch : 7.5 Deg</p> <p>Ceiling Material : 10mm Supa Cell Direct</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>The prefabricated timber roof trusses supplied to property are manufactured and designed under licence and in accordance with Multinail Australia Ltd specifications, utilizing Multinail truss design software programs. The roof truss design assumes the supporting structure is stable in its own right before the installation of the roof trusses.</p> <p>All designed trusses and roof members utilize the following codes:</p> <p>AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010 AS1649-2001</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>ROOF TRUSS LAYOUTS</p> <p>ENGINEERING REPORT</p> <p>TIE DOWN REPORT</p> <p>BUILDING AUTHORITY ROOF TRUSS CERTIFICATION</p> <p>All trusses must be braced and erected in accordance with AS4440-2004 Installation of Nailplated Trusses</p>

LOCAL GOVERNMENT USE ONLY

Date received	Reference Number/s
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The *Building Act 1975* is administered by the
 Department of Housing and Public Works



**Queensland
 Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Leigh Walker

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason CochranePhone no. *business hours*

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

27 June 2014

TrussCorp Pty Ltd

5,6,27 General Macarthur Place

Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

DATE: 27/06/2014

BUILDING AUTHORITY ROOF TRUSS CERTIFICATION

PROJECT IDENTIFICATION

Quote Number: **J16424**

Customer: **SANDSKY DEVELOPMENTS**

Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**

Structure Type: **House**

This is to certify that the prefabricated timber roof trusses and pre-cut hip end members supplied to the above project were manufactured using MULTINAIL metal connectors and detailed using MULTINAIL computer truss design programs, as per the Building Code of Australia (ASCB Volume 2-2012).
The roof truss design and detailing assumes the supporting structure is stable within its own right before the installation of the roof trusses.

The specifications used in the design of the trusses were as follows:

ROOF SHAPE	: Standard	ROOFING	: Metal Sheet 7 kg/m2
TIMBER	: Dry Softwood	TC Fixing/Restraint	: Metal Roof Battens @900c/900c
SPACING	: 600 mm	CEILING	: Pbd 10mm SupaSpan 7.1kg/m2
FASCIA TYPE	: As per AS1684.1	BC Fixing/Restraint	: Direct Fixed/600c
WIND / EXT / INT	: N2 / 0.9 / 0.2	PITCH	: 7.5 / 7.5 deg
		OVERHANG	: 0 / 0

All designed trusses and pre-cut members utilize the following codes:

- AS/NZS 1170.0-2002: Structural Design Actions Part 0: General principles
- AS/NZS 1170.1-2002: Structural Design Actions Part 1: Permanent, imposed and other actions
- AS/NZS 1170.2-2002: Structural Design Actions Part 2: Wind actions
- AS/NZS 1170.3-2003: Structural Design Actions Part 3: Snow and ice actions
- AS 1720.1-2010: Timber structures Part 1: Design methods
- AS 1649-2001: Timber-Methods of test for mechanical fasteners and connectors
- AS 4100-1998: Steel Structures
- AS/NZS 4600-2005: Cold-formed steel structures

All trusses must be braced and erected in accordance with AS4440, Installation of nailplated timber trusses, in conjunction with all local building authority requirements, and any other supplied details.

SIGNATURE : _____
NAME : LEIGH WALKER
POSITION : DETAILER
DATE : 27/06/2014

For detailed load information, including AC, Solar, Tank and Storage loads, refer to the detailed Engineering and Submission reports and Roof Layout.

TrussCorp Pty Ltd

5,6,27 General Macarthur Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

REACTION REPORT (Limit State Design)Quote Number: **J16424**
Customer: **SANDSKY DEVELOPMENTS**Site Address: **UNITS 7-10 LOT 156 FINUCANE RD
ALEXANDRA HILLS
UNITS 7-10 (BUILDING-3)**
Structure Type: **House**

TRUSS DESCRIPTION	SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)							

T1A LeftHalf Stand	(4340)						
S1		0	1.3	2.4	-2.5	1 Multi Grip	Ok / Ok
S2		4340	1.3	2.5	-2.6	2 Multi Grips	Ok / Ok
T2A LeftHalf Stand	(4340)						
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T3A LeftHalf Outer	(3390)						
S1		70	0.4	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		3415	0.3	0.6	-0.7	1 Multi Grip	Ok / Ok
T4A LeftHalf Inner	(4340)						
S1		70	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4365	0.4	0.8	-1.0	1 Multi Grip	Ok / Ok
T5a LeftHalf Stand	(2215)						
S1		0	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2		2215	0.2	0.4	-0.6	1 Multi Grip	Ok / Ok
T6a LeftHalf Outer	(2215)						
S1		70	0.3	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		2240	0.3	0.8	-1.1	1 Multi Grip	Ok / Ok
T7a Girder SC0	(6240)						
S1		70	1.5	3.4	-4.1	2 Multi Grips	Ok / Ok
S2		6240	1.3	2.9	-3.5	2 Multi Grips	Ok / Ok
T8a LeftHalf Stand	(4910)						
S1		0	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
S2		4910	0.6	1.2	-1.4	1 Multi Grip	Ok / Ok
T9a LeftHalf Stand	(4310)						
S1		0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2		4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T10a LeftHalf Outer	(4310)						
S1		70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2		4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok
T11a LeftHalf Stand	(4340)						
S1		0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2		4340	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T12a LeftHalf Outer	(3390)						

TRUSS DESCRIPTION		SPAN (mm)	SUPPORT (mm)	DL (kN)	DL + LL (kN)	DL + WL (kN)	TIE DOWN Required	BEARING Member/Support
(Note: Tie down capacity based on JD5. Bearing capacity based on timber properties of the member onto support, and SD7 for support.)								
S1			70	0.2	0.5	-0.5	1 Multi Grip	Ok / Ok
S2			3390	0.5	1.3	-1.5	1 Multi Grip	Ok / Ok
T13a	LeftHalf Inner	(4340)						
S1			0	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
S2			4340	0.5	1.1	-1.2	1 Multi Grip	Ok / Ok
T14a	LeftHalf Stand	(9180)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4340	1.0	2.2	-2.6	2 Multi Grips	Ok / Ok
S3			9180	0.4	0.8	-0.9	1 Multi Grip	Ok / Ok
T15a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4339	1.0	2.1	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T16a	LeftHalf Outer	(8580)						
S1			0	0.4	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4270	1.3	3.9	-5.1	1 Cyclone Tie	Ok / Ok
S3			8580	0.5	1.6	-2.2	1 Multi Grip	Ok / Ok
T17a	LeftHalf Stand	(8580)						
S1			0	0.3	0.6	-0.6	1 Multi Grip	Ok / Ok
S2			4270	1.0	2.0	-2.4	1 Multi Grip	Ok / Ok
S3			8580	0.4	0.9	-1.0	1 Multi Grip	Ok / Ok
T18a	LeftHalf Outer	(8580)						
S1			0	0.3	1.1	-1.3	1 Multi Grip	Ok / Ok
S2			4200	1.3	4.0	-5.3	1 Cyclone Tie	Ok / Ok
S3			8580	0.7	2.3	-3.0	2 Multi Grips	Ok / Ok
T19a	LeftHalf Stand	(4310)						
S1			0	0.5	1.0	-1.1	1 Multi Grip	Ok / Ok
S2			4310	0.5	1.1	-1.3	1 Multi Grip	Ok / Ok
T20a	LeftHalf Outer	(4310)						
S1			70	0.6	2.0	-2.4	1 Multi Grip	Ok / Ok
S2			4310	0.6	2.0	-2.7	2 Multi Grips	Ok / Ok

TrussCorp Pty Ltd

5,6,27 General Macarthur Place Redbank QLD 4301 Ph: 3381 9566 Fax: 3381 9576 E-Mail: sales@trusscorp.com.au

BRACING AND INSTALLATION AS PER AS4440, DOCUMENTATION ENCLOSED

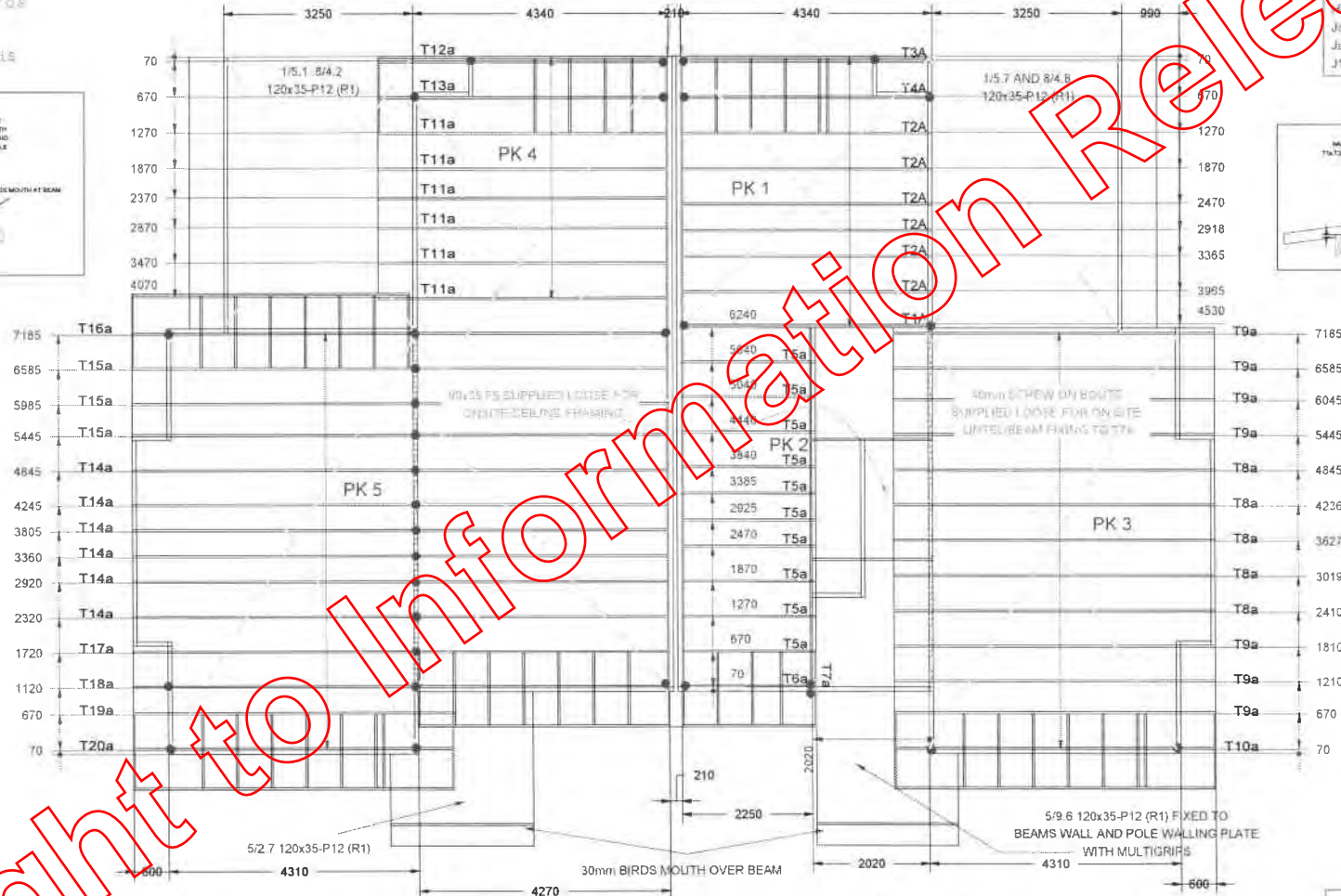
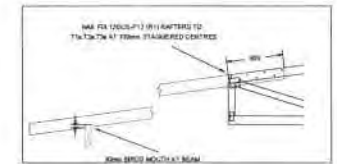
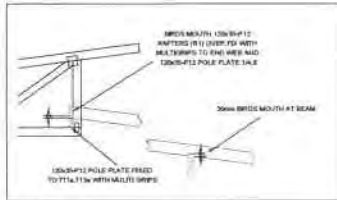
SET BACK MEASUREMENTS ARE FROM OUTSIDE FRAME TO FRONT FACE OF TRUSS

HIP Rafter overhangs to be struted back to frame
overhangs for gables and jack rafters to be
to be propped back to frame where noted

Cyclone ties to all hips/gables etc
B PROPPED OVERHANGS
POLE PLATE FIXING BY OTHERS
SE-STRUT TIAL TUBES
INTERNAL LOAD BEARING WALLS

90x45 POLE PLATE FIXED ON SITE TO
FLOOR BEAM/WALL/CEILING END JOIST
AT CEILING HEIGHT

Truss Fixing
Std truss to Top Plate - 1 Multigrip
Truss to Top Plate - 1 Cyclone Tie
Std truss to Top Plate - 1 Cyclone Tie
Hip to Top Plate - 1 Cyclone Tie
Hip to TG/TGT - 1 Cyclone Tie
Jack to Top Plate - 1 Multigrip
Jack to TG/TGT HTG - 1 Multigrip
J150 - J2400 to Hip - 3/8" x 3.0" skew nails



ROOF BRACING IS A GUIDE ONLY. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL BRACING MEETS AS4440 FOR INSTALLATION OF
NAILPLATED TIMBER ROOF TRUSSES. NO RECTIFICATION BACKCHARGES WILL BE ACCEPTED OR PAID FOR WITHOUT AN ORDER NUMBER ISSUED BY TRUSSCORP

Timber: Dry Softwood	Roofing: Metal Sheet 7 kg/m2	Wind / Ext / Int: N2 / 0.9 / 0.2
Pitch: 7.5 deg	T/C fix/res: Metal Roof Battens @900c/900c	Fascia Type: As per AS1684.1
Overhang: 0 mm	Ceiling: Pbd 10mm SupaSpan 7.1kg/m2	Ground Snow Load: Sg = 0.0 kPa
Spacing: 600 mm	BC fix/res: Direct Fixed/600c	Structure Type: House

SANDSKY DEVELOPMENTS (UNITS 7-10 (BUILDING-3))
UNITS 7-10 LOT 156 FINUCANE RD ALEXANDRA HILLS



70x35 benders on flat @ 3000mm ctrs max
Hanging Beams @ 2400 mm max

Detailer: LW
Date: 11/02/2014
Scale: 1:80
Job No: J16424

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐

Inspection Certificate for

☐

Stage of building work (for single detached class 1a or class 10 building or structure)

(indicate the stage)

☐

Aspect of building work

(indicate the aspect)



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

U 7 - 10 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 3

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 10
Version 3.1 (1/1)

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Retaining Wall,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,
YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical
BSA License

Licence number


PMT-O-11133 (HomeGuard 0020)
518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature



Date

12/02/2014



Compliance Certificate for building Design or Specification

15

NOTE

This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

FINUCANE RD 156 U7-10

ALEXANDRA HILLS QLD 4161

Lot & plan details (attach list if necessary)

In which local government area is the land situated?

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply & Install Shower Screens, Mirrors & Wardrobe Doors

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Manufactured to and glazed with

'A' Grade Safety Glass

In accordance with the National Construction Code.

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

Approved form 15
Version 2 02/08

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

As per construction drawings provided

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOW & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4030

Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

Dennis Parsons

Date

01/05/2014



Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>												
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>Lot 40 Finucane Road</p> <p>Alexander Hills</p> <p>Lot & plan details (attach list if necessary)</p> <p>Building 3 Units 7-10</p> <p>In which local government area is the land situated?</p>												
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>TIMBER PREFABRICATED FRAMING PANELS AND MEMBERS – Supply only</p> <p>All products are to be installed, fixed and braced in accordance with the specification published in AS1684-2010 Residential Timber Framed Construction</p> <p>General Property Design Details:</p> <table border="1"> <tr> <td>Wind Class</td> <td>: N2</td> <td>Truss Centres</td> <td>: 600mm</td> </tr> <tr> <td>Roof Material</td> <td>: Sheet Metal</td> <td>Roof Pitch</td> <td>: 7.5 Deg</td> </tr> <tr> <td>Ceiling Material</td> <td>: 10mm Supa Ceil Direct</td> <td>Wall Height</td> <td>: Various</td> </tr> </table>	Wind Class	: N2	Truss Centres	: 600mm	Roof Material	: Sheet Metal	Roof Pitch	: 7.5 Deg	Ceiling Material	: 10mm Supa Ceil Direct	Wall Height	: Various
Wind Class	: N2	Truss Centres	: 600mm										
Roof Material	: Sheet Metal	Roof Pitch	: 7.5 Deg										
Ceiling Material	: 10mm Supa Ceil Direct	Wall Height	: Various										
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>The prefabricated framing panels and members supplied to property have been designed utilizing Design in Hyne and/or Multinail Beam design software programs or the like.</p> <p>All designed prefabricated framing panels and members utilize the following codes: AS/NZS1170.0-2002 AS/NZS1170.1-2002 AS/NZS1170.2-2002 AS1720.1-2010.</p> <p>The prefabricated framing panels and member design assumes any supporting structure is braced and stable in its own right before the installation of the framing panels or members.</p> <p>The requirements for building practice, procedures and the selection, placement and fixing of structural members to be in accordance with AS1684.2-2010</p>												
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>PREFABRICATED FRAMING PANELS AND MEMBERS LAYOUT</p> <p>MEMBER DESIGN REPORTS</p>												

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Steve Cable

Company name (if applicable)

TRUSSCORP PTY LTD

Contact person

Jason Cochrane

Phone no. business hours

(07) 33819566

Mobile no.

Fax no.

(07) 33819576

Email address

sales@trusscorp.com.au

Postal address

P.O Box 6194

Yatala

Postcode 4207

Licence or registration number (if applicable)

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

27/06/14

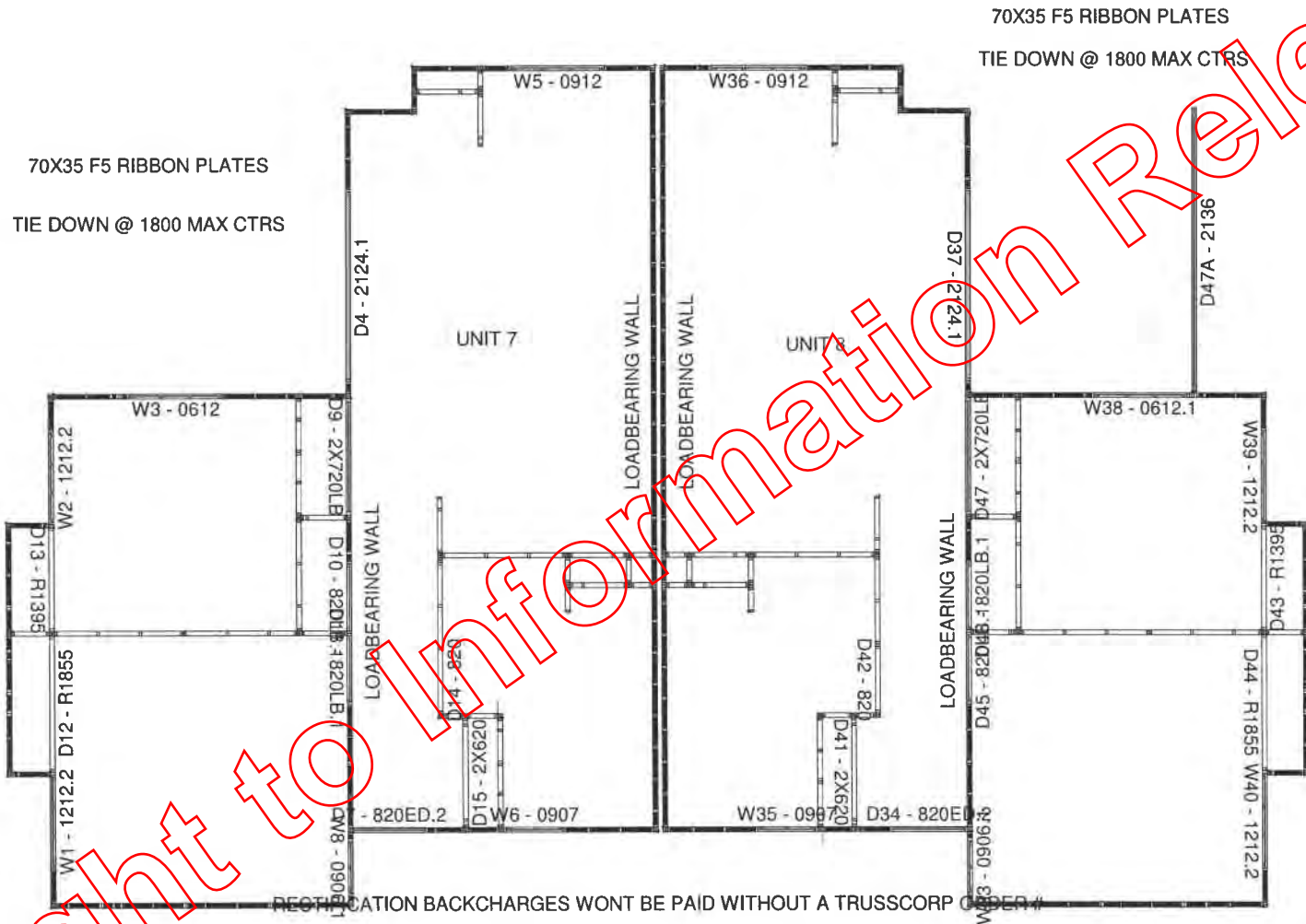
TrussCorp Pty Ltd

ABN: 99 124 771 848

General MacArthur Place, Redbank

Phone: (07) 3381 9566

Fax: (07) 3381 9576



SPECIFICATIONS:

Treatment:	H0	Ext Wall Height:	2455 mm	Int Wall Height:	2455/2560/355 mm
Wind Speed:	N2	Ext Wall S/Spacings:	450 mm	Int Wall S/Spacings:	450/600 mm
All Buildings - Multiple Levels		Total Lin.M Ext Walls:	84.56 m	Total Lin.M Int Walls:	69.10 m

SANDSKY DEVTS

LOT 40 # 156 UNITS 7-10 FINUCANE RD ALEXANDRA HILLS (BUILDING 3)



Detailer: STEVE CABLE

Date: 27/06/2014

Scale: NTS

Job No: 16424

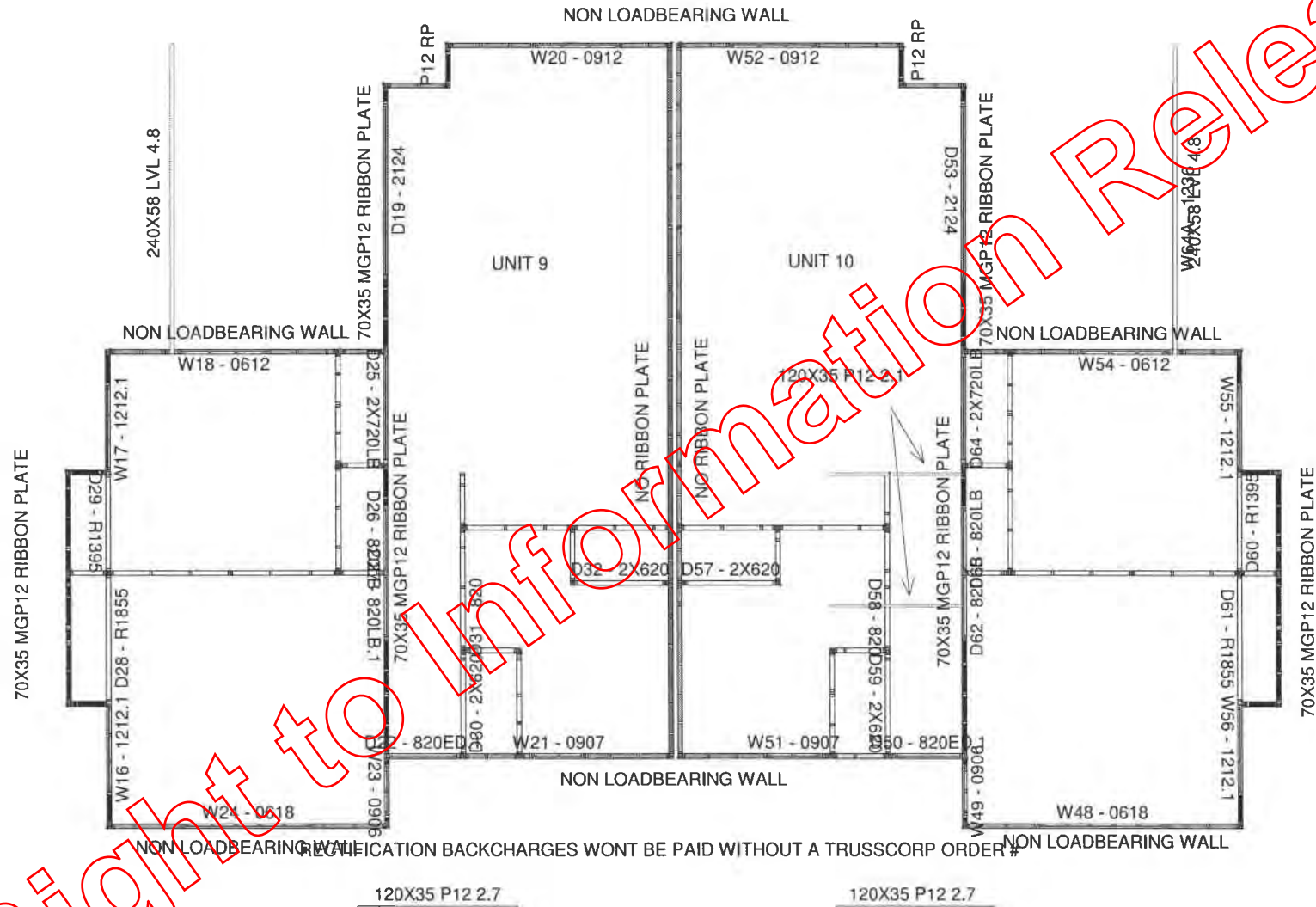
TrussCorp Pty Ltd


ABN: 99 124 771 848

General MacArthur Place, Redbank

Phone: (07) 3381 9566

Fax: (07) 3381 9576



SPECIFICATIONS:		Ext Wall Width:	70 mm	Int Wall Width:	70 mm	SANDSKY DEVTS LOT 40 # 156 UNITS 7-10 FINUCANE RD ALEXANDRA HILLS (BUILDING 3)	Detailer:	STEVE CABLE
Treatment:	H0	Ext Wall Height:	Various mm	Int Wall Height:	Various mm		Date:	27/06/2014
Wind Speed:	N2	Ext Wall S/Spacings:	450 mm	Int Wall S/Spacings:	450/600 mm		Scale:	NTS
All Buildings - Multiple Levels		Total Lin.M Ext Walls:	84.56 m	Total Lin.M Int Walls:	64.51 m		Job No:	16424

FrameSource v3.9.14

Form 15—Compliance Certificate for building Design or Specification

NOTE	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p>RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p>1. Property description This section need only be completed if details of street address and property description are applicable. EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application. The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>UNITS 7 - 10, 156 FINUCANE ROAD, ALEXANDRIA HILLS, QLD. Postcode: 4161</p> <p>Lot & plan details (attach list if necessary)</p> <p>In which local government area is the land situated?</p>
<p>2. Description of component/s certified Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Supply only Windows & Doors</p>
<p>3. Basis of certification Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>Manufactured & Glazed in accordance with the National Construction Code.</p> <p>Building Class: Housing Serviceability: 1000 pa Ultimate: 1500 pa Water Penetration: 150 pa</p>
<p>4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>As per construction drawings provided</p>

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

5. Building certifier reference number

Building certifier reference number

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

DENNIS PARSONS

Company name (if applicable)

BRADNAMS WINDOWS & DOORS

Contact person

Phone no. business hours

(07) 3131 3777

Mobile no.

Fax no.

(07) 3131 3888

Email address

brisbanesales@bradnams.com.au

Postal address

136 ZILLMERE ROAD

BOONDALL

Postcode 4034

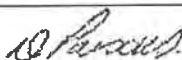
Licence or registration number (if applicable)

58885

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature



Date

14/02/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) _____



QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Installing HomeGuard termite management systems

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

U 7 - 10 156 Finucane Rd

ALEXANDRA HILLS

Postcode 4161

Lot & plan details (Attach list if necessary)

L 40 BUILDING 3

In which local government area is the land situated?

Redlands Shire

3. Building/structure description

Building/structure description

New House

Class of building / structure

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 16
Version 3 1/1/1

4. Description of component/s certified
Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

HomeGuard Termite Barrier to: Slab Penetrations, Cold Joint,

Not applicable for: Dwellings with a zero boundary. Clear visible access of the HomeGuard inspection zone can be gained by ladder looking down during annual inspections which are mandatory in order to maintain manufactures warranty.

5. Basis of certification
Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

CSIRO Appraisal 216 & 255
Building Code of Australia As 3660.1-2000

6. Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

BCA, A S 3660.1-2000 CSIRO Appraisal 216 & 255, the Development Permit (Building)

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection. The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

All Purpose Pest Control South East QLD

Contact person

Phone no. business hours

07 3382 7378

Mobile no.

Fax no.

07 3382 0355

Email address

jessica@allpurposepest.com.au

Postal address

Unit 10 / 42 Burnside Road,

YATALA

Postcode 4207

Licence class

Termite Management Physical & Chemical

BSA License

Licence number

PMT-O-11133 (HomeGuard 0020)

518431 / 1188012

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

13/02/2014

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .	
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work (indicate the aspect) _____ WATERPROOFING _____</p> <p><input checked="" type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Waterproofing to Retaining Walls _____ _____ _____</p>	
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details</p>	<p>Street address (include no., street, suburb / locality & postcode) Lot 40 Finucane Road Alexandra Hills Postcode _____</p> <p>Lot & plan details (Attach list if necessary) _____ _____</p> <p>In which local government area is the land situated? S.C.S.C. _____</p>	
<p>3. Building/structure description</p>	<p>Building/structure description</p> <p>Dwelling _____ _____ _____ _____</p>	<p>Class of building / structure</p> <p>1a _____ _____ _____ _____</p>
<p>LOCAL GOVERNMENT USE ONLY</p> <p>DATE RECEIVED _____ REFERENCE NUMBER/S _____</p>		

The *Building Act 1975* is administered by the
Department of Housing and Public Works



**Queensland
Government**

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Waterproofing to Retaining Walls

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

In accordance with A.S. 3740, A.S. 4858 and A.S. 4654 parts 1 & 2
B.C.A. 2006 3.8.1.1.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

7. Building certifier reference number and development approval number

Building certifier reference number Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Paul Cain

Company name if applicable

P C WATERPROOFING SERVICES

Contact person

Paul Cain

Phone no. business hours

Mobile no.

Fax no.

0407119950

Email address

pcwaterproofing@outlook.com

Postal address

128 Casarita Road

Cabarita Beach, NSW

Postcode 2488

Licence class

Waterproofing

Licence number

1258436

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Date

12/5/14

Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ **Inspection Certificate for**

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Sustainable Building Options _____

☐ **QBSA Licensee Aspect Certificate**

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".

Sustainable Building Options and Water Savings Target

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (Include no., street, suburb / locality & postcode)

156 Building 3 (U7-10), Finucane Road ALEXANDRA HILLS

Postcode: 4161

Lot & plan details (Attach list if necessary)

Lot: 40

SP:

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Dwelling

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Lighting, Plumbing Fixtures and Rainwater Tanks

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved Item 16
Version 2.1 (QP)

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

QDC MP4.1 and 4.2

In accordance with the National Construction Code

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Architectural Plans

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Craig Robert Fitzgerald

Company name if applicable

SandSky Developments Pty Ltd

Contact person

Lauren Threlfall

Phone no. business hours

1300 655 210

Mobile no.

Fax no.

1300 655 230

Email address

Postal address

PO Box 3353

Helensvale TC

Postcode 4212

Licence class

Builders

Licence number

1014147

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 239(2)(b) of the *Building Act 1975*.

Signature

Date

27/06/2014



Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

16

NOTE

This form is to be used for the purposes of section 10(c) and 239 of the *Building Act 1975* and/or sections 32, 35B, 43, 44 and 47 of the *Building Regulation 2006*.

1. Indicate the type of certificate

The stages of assessable building work are listed in section 24 of the *Building Regulation 2006* or as conditioned by the building certifier.

An aspect of building work is part of a stage (e.g. waterproofing).

☐ Inspection Certificate for

☐ Stage of building work (for single detached class 1a or class 10 building or structure)
(indicate the stage) _____

☐ Aspect of building work
(indicate the aspect) Drywall – Internal Linings

☐ QBSA Licensee Aspect Certificate

Scope of the work

Scope of the work covered by the licence class under the *Queensland Building Services Authority Regulation 2003* for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers"

Drywall Installation **THIS IS NOT A FIRE WALL CERTIFICATE-**

Sound rated walls and ceilings as required in scope of works

Certificate of Completion – As required by AWCI (Doug Smith AWCI 07 3844 2343)

2. Property description

The description must identify all land the subject of the application.

The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb / locality & postcode)

Lot 156 Finucane Rd.

Alexandra Hills

Postcode 4161

Lot & plan details (Attach list if necessary)

Lot 40

In which local government area is the land situated?

Redland City Council

3. Building/structure description

Building/structure description

New Buildings – 10 Units Development

Class of building / structure

1A

4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Supply and install 2 layers of **Firerated plasterboard** (13mm FYRCHEK) board with **R2.5 insulation** to Ground floor units 1, 3, 4, 7 and 8 ceilings.

Supply and install 1 layer of **Firerated plasterboard** (16mm FYRCHEK) board with **R2.5 insulation** to units partiwalls 3 to10

LOCAL GOVERNMENT USE ONLY

DATE RECEIVED

REFERENCE NUMBER/S

Approved form 18
Version 3.1 (1/1)

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Installed **R2.5 insulation** and 2-layers of **Firerated plasterboard** (13mm FYRCHEK) to complete **CSR System CSR 814** to achieve required **RW (RW+ CTR) 50 (42)**

Installed **R2.5 insulation** and 1-layer of **Firerated plasterboard** (16mm FYRCHEK) to both sides of internal Partiwalls to complete **CSR System CSR555** achieve required **RW (RW+ CTR) 55 (46)**

Insulation Installed to AS/NZS4859.1-2002

Wall and Ceiling Materials used on building comply with the BSA specification C1.10a

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

CSR System CSR 814 (Acoustic Opinion PKA-056)

CSR System CSR555 (Acoustic Opinion PKA-051)

Approved plans from builder

Purchase order from builder

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Company name if applicable

CRA Internal Linings Pty Ltd

Contact person

Simon Souris

Phone no. business hours

07 5522 8177

Mobile no.

0420 989 811

Fax no.

07 5530 3774

Email address

info@crainternallinings.com.au

Postal address

PO Box 2796 Nerang BC QLD

Postcode 4211

Licence class

Plastering Drywall

Licence number

1138960

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Victor Wang

Date

14/05/2014

Form 16—Inspection Certificate / Aspect Certificate / QBSA Licensee Aspect Certificate

NOTE	This form is to be used for the purposes of section 10(c) and 239 of the <i>Building Act 1975</i> and/or sections 32, 35B, 43, 44 and 47 of the <i>Building Regulation 2006</i> .									
<p>1. Indicate the type of certificate</p> <p>The stages of assessable building work are listed in section 24 of the <i>Building Regulation 2006</i> or as conditioned by the building certifier.</p> <p>An aspect of building work is part of a stage (e.g. waterproofing).</p>	<p><input checked="" type="checkbox"/> Inspection Certificate for</p> <p><input type="checkbox"/> Stage of building work (for single detached class 1a or class 10 building or structure) (indicate the stage) _____</p> <p><input checked="" type="checkbox"/> Aspect of building work <u>Bored Pier Footings and Monolithic Slab on Ground to</u> (indicate the aspect) <u>Buildings 1 – 3 inclusive.</u></p> <hr/> <p><input type="checkbox"/> QBSA Licensee Aspect Certificate</p> <p>Scope of the work Scope of the work covered by the licence class under the <i>Queensland Building Services Authority Regulation 2003</i> for the aspect being certified, e.g. scope of work for a waterproofing licence is "installing waterproofing materials or systems for preventing moisture penetration". An aspect being certified may include "wet area sealing to showers".</p> <p>Not Applicable</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>									
<p>2. Property description</p> <p>The description must identify all land the subject of the application.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb / locality & postcode)</p> <p>156 Finucane Rd, Alexandra Hills, Queensland.</p> <p>Postcode 4161</p> <p>Lot & plan details (Attach list if necessary)</p> <p>_____</p> <p>In which local government area is the land situated?</p> <p>Redland City Council.</p>									
<p>3. Building/structure description</p>	<table border="1"> <thead> <tr> <th data-bbox="502 1523 1157 1556">Building/structure description</th> <th data-bbox="1173 1523 1476 1556">Class of building / structure</th> </tr> </thead> <tbody> <tr> <td data-bbox="502 1556 1157 1601">Townhouse Development</td> <td data-bbox="1173 1556 1476 1601">Class 1a</td> </tr> <tr> <td data-bbox="502 1601 1157 1646">_____</td> <td data-bbox="1173 1601 1476 1646">_____</td> </tr> <tr> <td data-bbox="502 1646 1157 1691">_____</td> <td data-bbox="1173 1646 1476 1691">_____</td> </tr> </tbody> </table>		Building/structure description	Class of building / structure	Townhouse Development	Class 1a	_____	_____	_____	_____
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_____	_____									
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DATE RECEIVED		REFERENCE NUMBER/S								



4. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Certification of Bored Piers –Excavations inspected on 7 February 2014 (Engineering Inspection Report No. 19045) and 26 February 2014 (Engineering Inspection Report No. 19424) prior to Placement of Concrete.

Certification of Monolithic Slab on Ground to:

Building 1 – Inspected on 12th February 2014 (Engineering Inspection Report No. 19048);

Building 2 – Inspected on 14th February 2014 (Engineering Inspection Report No. 19050); and

Building 3 – Inspected on 10th March 2014 (Engineering Inspection Report No. 23232).

Excavation, Preparation and Steel Reinforcement were inspected prior to any concrete placement.

5. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The Building Code of Australia and all relevant Australian Standards including AS/NZS 1170 Parts 0, 1-2002; AS2870 – 1996; AS3600 – 2009 and AS4055-2010 as required.

We certify that the constructed structural elements listed in Item 4 above generally conformed with the engineering drawings, engineering inspection reports and other correspondence listed in section 6 below as issued during course of the work.

This certification has been issued on the basis that the head contractor has completed all instructed works listed with the Engineering Inspection Report nominated below in section 6.

By issuing this certification it shall not be construed as relieving any other party of their responsibilities to complete the works in accordance with the documents and instructions listed in section 6 below an the Building Code of Australia.

6. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Job Number: 30421-13CS including any Form 15s, reports & drawings prepared by Structerre Consulting Engineers.

Refer to Engineering Inspection Reports 19045, 19048, 19050, 19424 and 23232 as prepared by Structerre Consulting Engineers.

Geotechnical Report by Soil Survey Engineering Pty Ltd, Report Ref No. 1-15345, 2013-06-14, LR Rev 0 dated 14 June 2014.

Refer to Architectural Drawings Ref No. 12-05-01 - 12-05-08 as prepared by John Marrson & Associates Pty Ltd.

Refer to Statutory Declaration dated 8th June 2014 as prepared by Mr. Justin Loewe in relation to the Pier and Footing Constructions.

7. Building certifier reference number and development approval number

Building certifier reference number

Development approval number

8. Building Certifier, competent person or QBSA licensee details

A competent person must be assessed as competent before carrying out the inspection.

The builder for the work cannot give a stage certificate of inspection.

A competent person is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, because of the individual's skill, experience and qualifications. The competent person must be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Greg Anderson

Company name if applicable

Structerre Consulting Engineers

Contact person

Greg Anderson

Phone no. business hours

(07) 3307-8300

Mobile no.

Fax no.

(07) 3307-8301

Email address

brisbane@structerre.com.au

Postal address

PO Box 621

HAMILTON

Postcode 4007

Licence class

Licence number

FIEAust CPEng RPEQ 1359

Date approval to inspect received from building certifier

9. Signature of building certifier, competent person or QBSA licensee

Note: A building certifier must sign this form for temporary swimming pool fencing under section 4 of Schedule 1 of QDC MP 3.4.

Signature

Greg Anderson

Date

30 June 2014

Right to Information Release





Redland
CITY COUNCIL

COMPLIANCE CERTIFICATE

Owners Copy

Home Town Villas Ltd
PO Box 276
CLEVELAND QLD 4163

Dear Sir / Madam

File Number	PD230906
Inspection Type	Waste Rough-In Inspection
Inspection Result	Pass

The installation for Plumbing and Drainage Approval Number PD230906 at the Premises owned by Home Town Villas Ltd and located at 156 Finucane Road Alexandra Hills QLD 4161 has been inspected in accordance with the Plumbing and Drainage Act, The Standard Plumbing and Drainage Regulation and relevant Australian Standards.

Date: 21/03/2014 12:00:00 AM

Inspector: Delwyn Enkera

This Compliance Certificate is issued under the provisions of the Plumbing and Drainage Act and relevant Australian standards. It is the responsible person as defined under the Plumbing and Drainage Regulation in charge of the installations responsibility to ensure the requirements of the standard Plumbing and Drainage Regulation are achieved. The role of Council's Plumbing and Drainage Inspector is one of auditing and monitoring only. The standard of finish/quality of workmanship is a matter between the Plumber/Drainer and the Owner. Most inspections are conducted on a visual (only) basis.